



Board of Adjustment Staff Report

Meeting Date: August 6, 2026

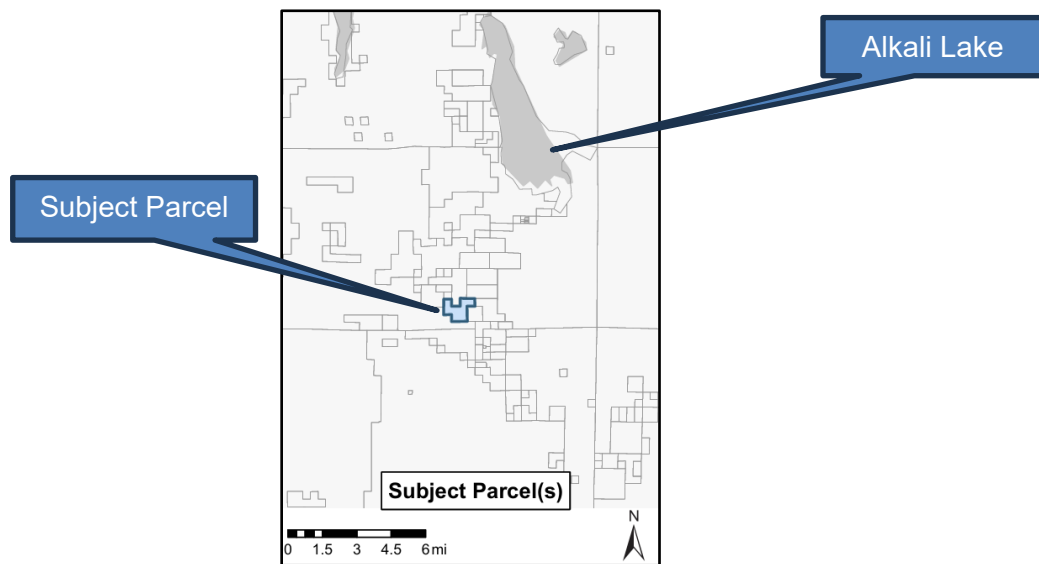
Agenda Item: 8A

SPECIAL USE PERMIT CASE NUMBER:	WSUP26-0012 (Vya North Cell Tower)
BRIEF SUMMARY OF REQUEST:	To erect a new, unmanned wireless communication facility serving the Vya area.
STAFF PLANNER:	Jolene Bertetto, Planner 775.328.6101 jbortetto@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit for the installation of a new unmanned telecommunications facility consisting of a 100-foot monopole with antennas/dishes and equipment cabinets within a fenced compound. This application is submitted by Comment Wireless, LLC, for construction on property owned by Entrust Group, Inc. The subject property is located at 0 State Route 34 (APN 061-050-56) and consists of approximately 320 acres. The project area is 10,000 square feet. The applicant is seeking to vary noise & lighting, parking, and landscaping standards.

The proposal is being reviewed under Development Code Article 810, Special Use Permit and Article 324, Communication Facilities and is situated within Commission District 5 - Commissioner Herman. The site is currently governed by the Rural Master Plan land use designation and the General Rural Regulatory Zone, within the boundaries of the High Desert planning area.



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

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Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. The Board of Adjustment is authorized to issue special use permits under NRS 278.315 and Washoe County Code (WCC) Article 810. Certain notice requirements must be met, which are discussed in this report. In approving the special use permit, the Board must consider and make five Findings of Fact, which are discussed below. [WCC Section 110.810.30] The notice requirements and findings are discussed in this report. The Board of Adjustment is allowed to grant approval of the special use permit that is subject to conditions of approval.

Conditions of approval are requirements that need to be completed during different stages of the proposed project, including conditions prior to permit issuance, prior to obtaining a final inspection and/or certificate of occupancy, prior to issuance of a business license, or ongoing “operational conditions” which must be continually complied with for the life of the project. The conditions of approval for this case are attached to this staff report as Exhibit A and will be included with the action order.

Request to Vary Standards

Additionally, Article 810 (Special Use Permits) allows the Board of Adjustment to vary development code standards in conjunction with the approval process per WCC 110.810.20(e). The applicant is seeking to vary noise & lighting, parking, and landscaping requirements. The Board of Adjustment will also be ruling on the requests to vary standards below:

Requested Standards to be Varied	Relevant Code
Waive all parking standards	Article 410
Waive all noise and lighting standards	Article 414
Waive landscaping standards	110.412.40(a)-(d); 110.412.65(a)-(h)

Special Communications Facility Requirements

The proposed facility is a “communications facility” under Article 324 of the County Development Code which imposes specialized requirements and provides that when approving a special use permit, the Board must adopt the three additional findings listed in WCC Section 110.324.75 which are discussed in this staff report.

Special Federal and State Rules.

The proposed facility is a “personal wireless service facility” protected by federal law (Telecommunications Act of 1996, 47 U.S.C. Section 332 (c) (7)) and state law (NRS 707.550 – 707. 920). Generally, federal and state laws provide that when regulating the placement, construction or modification of wireless facilities:

- We shall not unreasonably discriminate among providers of functionally equivalent services;
- We shall not prohibit or have the effect of prohibiting the provision of personal wireless services;

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- We must act within a reasonable time on applications for permits (presumed to be 150 days under FCC “shot clock” rules);
- If we deny a request to place, construct, or modify personal wireless service facilities, we must do so in separate writing, and the decision must be supported by substantial evidence (evidence that a reasonable mind might accept as adequate to support a conclusion) contained in a written record. State law (NRS 707.585) requires that a decision denying an application must set forth with specificity each ground on which the authority denied the approval of the application and must describe the documents relied on by the Board in making its decision.
- We may not regulate the placement, construction and modification of personal wireless facilities based on environmental effects of radio frequency emissions to the extent that such facilities comply with FCC regulations concerning such emissions.

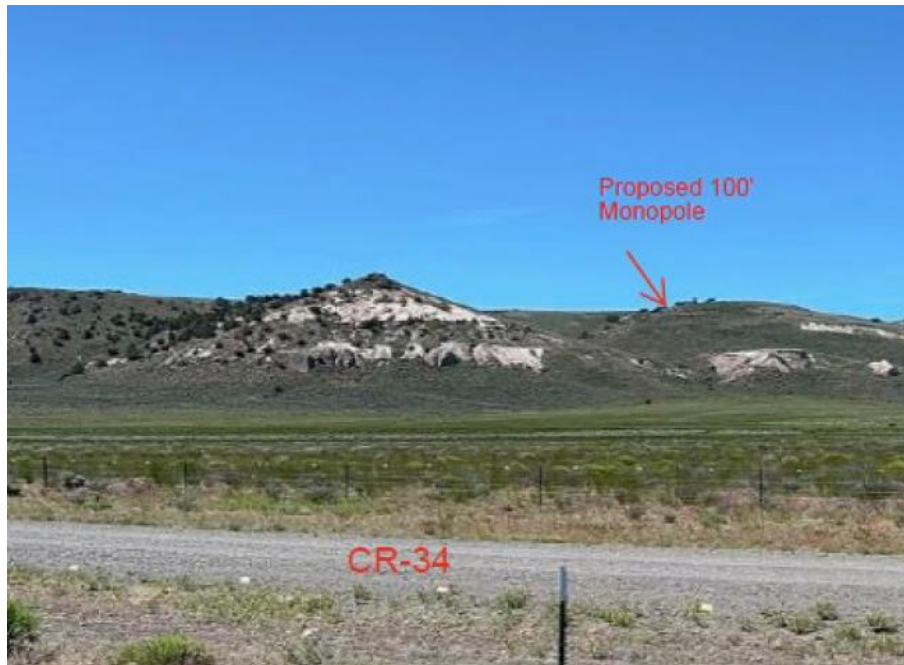
Section 110.324.40 Wireless Communication/Cellular Facilities: Definitions

Wireless communication facilities, including antennas mounted on structures and freestanding monopoles and lattice towers and supporting equipment which are used for the commercial broadcasting/receiving of telecommunication transmissions that are regulated under the Telecommunications Act of 1996 are a principal use and are classified under the communication facilities use type in Article 304, Use Classification System. The following definitions apply to the regulation of wireless communication facilities contained in this article:

- (a) Antenna An antenna is defined for the purposes of Sections 110.324.40 through 110.324.75 as a device that transmits and/or received an electronic signal for the purposes of facilitating the communication of personal wireless services that has the meaning ascribed to it in 47 U.S.C. §332(c)(7)(C) as that provision existed on July 1, 2003.
- (5) Monopole Mounted Antenna. A monopole mounted antenna means a communications receiving and/or transmitting device that is attached to a ground mounted, free-standing pole that is erected for the purposes of supporting one (1) or more antennas.

The following placement standards by type of antenna shall be complied with notwithstanding the preferred location and type of antenna enumerated in this section:

- (e) Monopole Antenna. The placement of a monopole antenna shall comply with the following criteria:
 - (2) Antennas shall be permitted in the General Rural (GR) and Open Space (OS) land use designations (see Open Space limitations within this article) with the placement standards depicted in Table 110.324.50.1, Antenna Placement Standards.

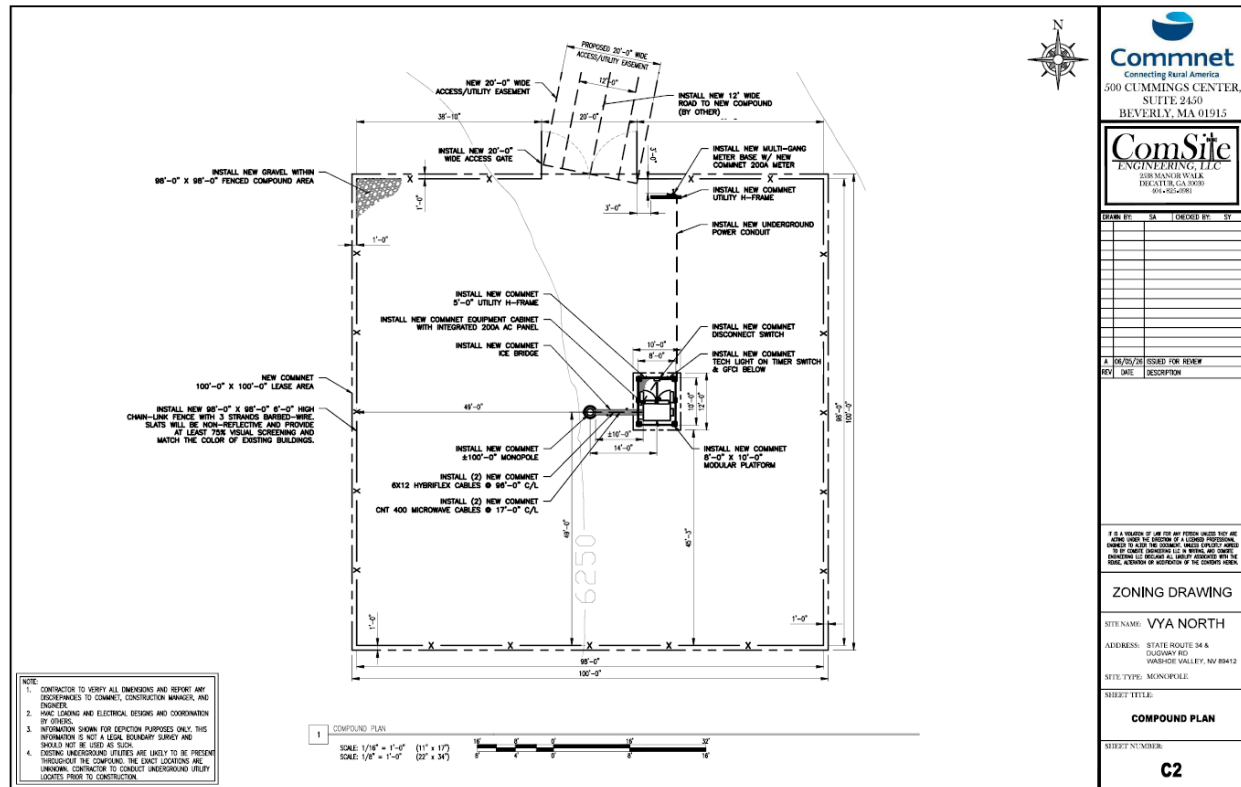
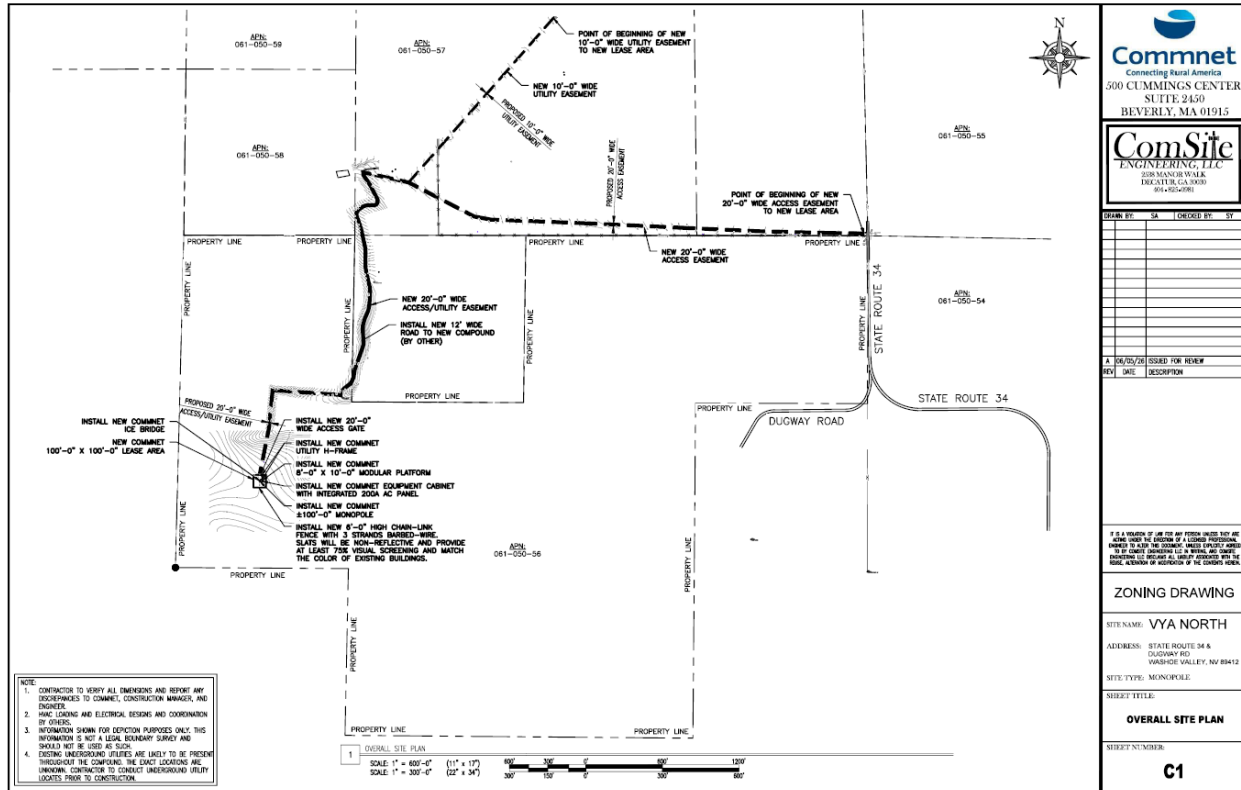


Before

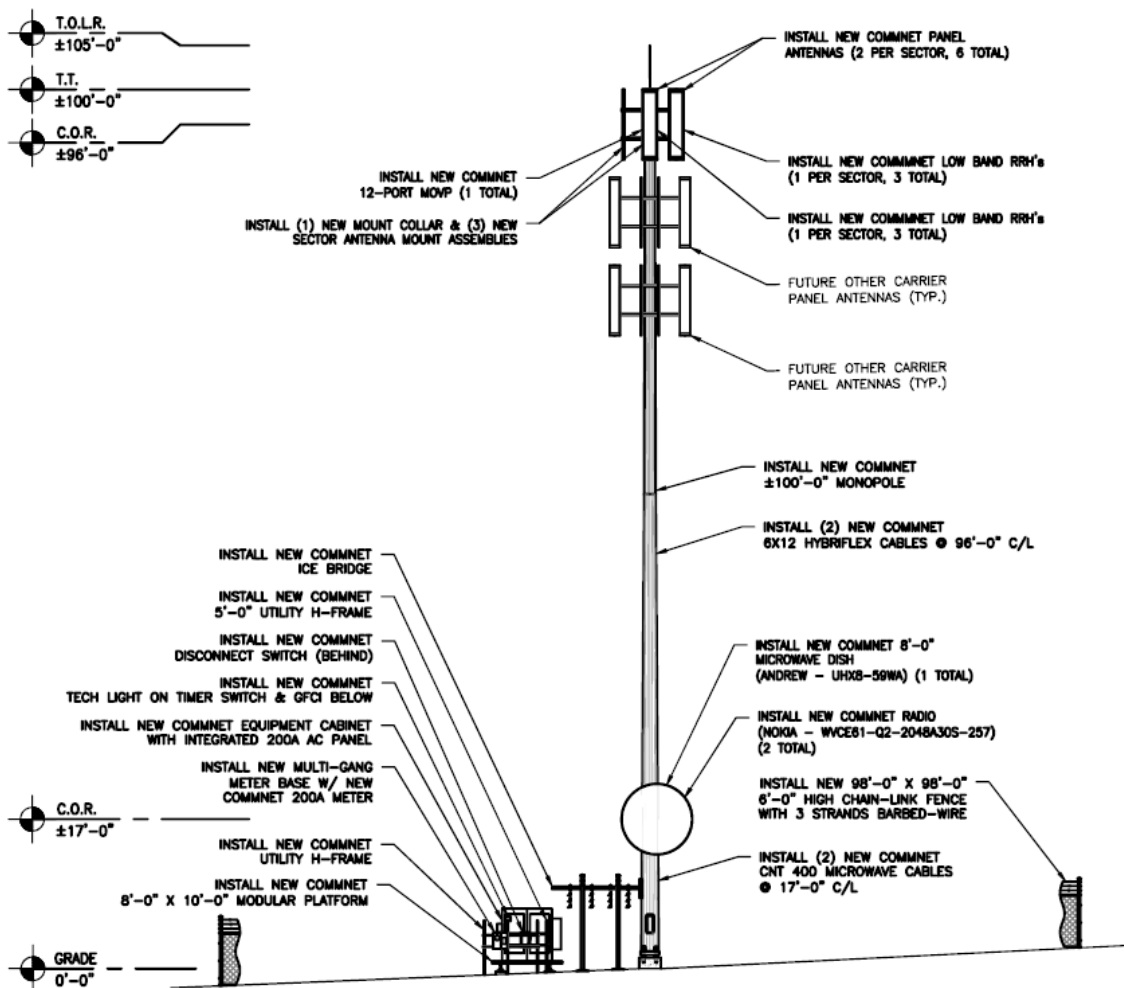


After

Photo Simulation



Site Plan



Tower Elevation

Project Evaluation

Commnet Wireless proposes installation of a new unmanned telecommunications facility consisting of a 100-foot monopole to accommodate twelve (12) panel antennas, associated remote radio units (RRUs), surge suppression equipment, fiber, power, and hybrid-flex cabling, as well as two (2) microwave dishes with associated outdoor units (ODUs) and coaxial cabling.

Ground equipment will be housed within an outdoor equipment cabinet mounted on a steel platform located inside a secured 98-foot by 98-foot fenced compound situated within a 100-foot by 100-foot lease area. The facility will be unmanned and will operate continuously, providing wireless communications services twenty-four (24) hours per day, seven (7) days per week. Construction would be conducted in one phase, taking between one and two months.

The purpose of the project is to improve AT&T cellular service coverage in and around Vya, Nevada. According to the applicants, the facility will provide coverage along approximately 12 miles of State Route 34 north of Vya, approximately 14 miles of State

Route 34 south of Vya, and approximately 7 miles of Highway 8 west of the Highway 8A/34 intersection.

In addition to providing improved commercial wireless service, the facility would support the FirstNet Nationwide Public Safety Broadband Network, ensuring reliable communications capabilities for first responders, including law enforcement, fire protection agencies, emergency medical services, and other public safety personnel operating within the region.

Existing Site Conditions

The subject property is zoned General Rural (GR) and is owned by Entrust Group, Inc. Adjacent properties consist primarily of federally managed lands owned by the United States and privately owned rural parcels. The project area is characterized by its remote nature and extremely low population density. The nearest concentration of residentially zoned medium-density suburban development is in Gerlach, Nevada, approximately 70 miles from the proposed facility.

Antenna Height

As the nearest residential property is over 2,000' from the proposed site, allowable height for antenna placement is 100+ feet as stated in Table 110.324.50.1. The proposed monopole is 100' and meets the design standards.

Table 110.324.50.1

ANTENNA PLACEMENT STANDARDS

Design Standards	Distance from Residential Property						
Distance from Residentially Zoned Property or Public Paved Right of Way (closest adjacent use will be applied)	50'	200'	400'	600'	1,000'	1,500'	2,000'
Permitted Height of Pole	45'	50'	60'	70'	80'	90'	+100'
Supporting Mechanism for Antenna System	2*	2.5*	3*	4*	5*	6*	+7*

Note: * = Specified number times diameter at base of pole equals allowed supporting mechanism for antenna system diameter.

Source: Washoe County Planning and Building Division

Access

The applicants are proposing construction of a new gravel access road extending from County Road 34 approximately 1.82 miles to the facility site. From the intersection of Nevada State Route 8A and County Road 34 in Vya, travel north on County Road 34 and proceed to the proposed access road located approximately 0.25 miles north of Dugway Road. Access and utility routes will also be located on adjacent parcels and secured through a third-party access easement.

Grading

Site grading will be performed to establish a level building area for the proposed monopole tower, equipment, and associated infrastructure. Additional grading activities will improve and widen the existing footpath/ATV trail to provide safe and reliable vehicular access for construction, operation, and ongoing maintenance of the facility. As a condition of approval, the applicants will need to include a detailed grading plan with all building permits associated with the SUP and obtain a major grading permit if needed according to WCC Section 110.438.28.

Radio Frequency

WillCo Telecom Consulting evaluated the proposed installation for compliance with Federal Communications Commission (FCC) radio-frequency (RF) emissions regulations. WillCo Telecom Consulting found that, at the time of installation, this facility would be transmitting at less than 5% of the applicable RF Emissions limits for the General Public in generally accessible areas, thus the facility will be in compliance. Re-evaluation of the site for compliance will happen if other carriers locate at the facility, if the current Wireless providers add additional frequencies, or if other equipment is added or changed.

Wildlife Impacts

The application was reviewed by the Nevada Department of Wildlife (NDOW). NDOW noted that while the overall project footprint is relatively small, the introduction of new infrastructure into undeveloped areas may contribute to habitat fragmentation and increased disturbance to wildlife.

The proposed project is within mapped crucial summer mule deer habitat and summer pronghorn habitat. As a condition of approval applicants will be required to incorporate wildlife-friendly Best Management Practices (BMPs) in fence design and installation to reduce the risk of injury or mortality to mule deer or other wildlife. Fencing designs that can cause harm include arrow-shaped post tops, barbed wire that does not meet rangeland specifications, and posts configured in a way that may result in wildlife entanglement.

Any temporary disturbance areas associated with construction, staging, or access improvements shall be reclaimed upon project completion and revegetated with appropriate native species to reduce the long-term loss of wildlife habitat and limit the spread of invasive annual grasses.

Noise and Lighting Standards to be Varied

Applicant seeks to vary Article 414 Noise and Lighting Standards. Specifically, 110.414.05(b) sets standards for residential abutment. The subject property abuts privately owned parcels zoned general rural that may be used for residences. However, due to the subject parcel's size, no residences are in the immediate vicinity of the proposed facility.

The facility is unmanned with minimal proposed lighting. Exterior lighting will only be provided outside the equipment cabinet and will be used during periodic maintenance visits. A condition of approval, as recommended by NDOW, is that all lighting be fully shielded, downward-directed fixtures and warm LEDs (≤ 3000 K) to minimize light spill and disturbance to nocturnal species.

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Parking Standards to be Varied

Table 110.410.10.3 (Commercial Use Types) specifies parking requirements of 1 parking space per antenna tower. Due to remote and rural location of the proposed facility, the applicants are requesting to vary the standard and remove the parking requirement. The facility is not open to the public and will typically be visited by a qualified technician once or twice per month for routine maintenance. The applicants propose utilizing open space within and adjacent to the fenced compound for temporary parking during maintenance activities.

Landscaping Standards to be Varied

The project site is in a remote, undeveloped high-desert environment with limited access to water resources and minimal visibility from surrounding roadways. The facility will be situated more than 2,000 feet from the nearest county-maintained gravel roadway and will not be readily visible to the public. Landscaping is not proposed to conserve water resources and eliminate the need for ongoing irrigation and maintenance activities. In addition, the size of the parent parcel (approximately 320 acres), would prevent Commnet from being able to meet the County's landscape coverage and buffering requirements.

Master Plan Consistency

The following are the pertinent priorities principles & policies for the High Desert planning area.

Priority Principles & Policies	Explanation of Conformance with Priority Principles & Policies
RFC Principle 2. utilize land use and transportation decisions to support a healthy economic base.	
Policy 2.5. Ensure that land use practices and regulations accommodate needs of rural communities, and changing trends regarding businesses, including home and accessory rural occupations	The proposed facility will improve wireless coverage throughout the project area, providing enhanced connectivity for residents, businesses, visitors, and motorists in Vya, NV.
NCR Principle 1. Maintain scenic resources within the County.	
Policy 1.1. Collaborate with all planning partners to identify and protect the region's significant visual gateways and viewsheds including ridge lines, buttes, mountains, and riparian corridors.	Given its remote location, the project will not be visible from existing populated areas while providing public safety and communications benefits.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
BLM - NV State Office	X			
BLM - US Fish & Wildlife	X			
Environmental Protection	X			
NDOW (Wildlife)	X	X	X	Cheyenne Acevedo, cheyanne.acevedo@ndow.org
Washoe County Building & Safety	X			
Washoe County Parks & Open Space	X			
Washoe County Water Rights Manager (All Apps)	X	X		
Washoe County Engineering (Land Development) (All)	X	X	X	Rob Wimer, rwimer@washoecounty.gov
Washoe County Engineering & Capital Projects Director (All Apps)	X			
NNPH Air Quality	X			
NNPH Environmental Health	X			
TMFPD	X	X	X	Jenny Williamson, jewilliamson@tmfpd.us
Airport Authority	X			
Washoe-Storey Conservation District	X	X	X	Jim Shaffer, shafferjam51@gmail.com
Gerlach GID	X			

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Findings required by WCC Section 110.810.30 for a Special Use Permit:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the High Desert Planning Area;

Staff Comment: The proposed communications facility is consistent with the Master Plan and the High Desert Planning Area policies, standards, and maps.

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven of the Development Code;

Staff Comment: The subject project is an unmanned facility that creates no need for sanitation, water supply, or other facilities associated with manned facilities. Washoe County's Engineering division reviewed the application and will evaluate drainage, grading, and the proposed roadway improvements at the time of the building permit.

- (c) Site Suitability. That the site is physically suitable for a telecommunications facility (100 foot monopole) for the intensity of such a development;

Staff Comment: The site is physically suitable for a communication facility.

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

The Electromagnetic Frequency (RF) exposure level proposed will be well below the maximum allowable by FCC Regulations.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation nearby.

Findings required by Section 110.324.75, for a telecommunications facility:

- (f) That the communications facility meets all the standards of Sections 110.324.40 through 110.324.60 as determined by the Director of Community Development and/or his/her authorized representative;

Staff Comment: Staff reviewed the standards and conclude that the standards have been met as conditioned.

- (g) That public input was considered during the public hearing review process; and

Staff Comment: The Board will hear and consider public comment during the public hearing.

- (h) That the monopole or lattice tower will not unduly impact the adjacent neighborhoods or the vistas and ridgelines of the County.

Staff Comment: Based on a review of the photographs and drawings in the Staff Report and Application, the proposed monopole will not unduly impact the adjacent neighborhoods or the vistas and ridgelines of the County.

After a thorough analysis and review, Special Use Permit Case Number WSUP26-0012 is recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP26-0012 for Comment Wireless, LLC, having made all five findings in accordance with Washoe County Code Section 110.810.30 and all three findings in accordance with Section 110.324.75, subject to the conditions contained in Exhibit A to the Staff Report.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.



Conditions of Approval

Special Use Permit Case Number WSUP26-0012

The project approved under Special Use Permit Case Number WSUP26-0012 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on August 6, 2026. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable codes.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division of the Washoe County Community Services Department.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this special use permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions."

These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of the Planning and Building Division of the Washoe County Community Services Department, which shall be responsible for determining compliance with these conditions.

Contact Name – Jolene Bertetto, Planner, 775.328.6101, jbertetto@washoecounty.gov

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- b. The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.**
- c. All applicable building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building permits) applied for as part of this special use permit.
- e. Construction hours are 7am to 7pm Monday through Saturday.
- f. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- g. Prior to the issuance of a building permit, the applicant shall provide a certification by a professional that the facility complies with Federal Communications Commission (FCC) regulations for Radio Frequency Emissions (RFE).
- h. Prior to the issuance of a building permit the applicant shall record a statement of assurance that the wireless communications facility shall be removed if the use of the facility is discontinued for a period of twelve (12) consecutive months.
- i. The monopole shall not exceed 100 feet in maximum height, as approved under this special use permit.
- j. All disturbed areas shall be revegetated with a seed mix consisting of native plants in consultation with the Washoe-Storey Conservation District.

Washoe County Conditions of Approval

- k. All lighting shall be dark-sky-compliant to minimize impacts on wildlife. Lighting should use fully shielded, downward-directed fixtures and warm LEDs (≤ 3000 K) to minimize light spill and disturbance to nocturnal species.
- l. Fence design and installation shall incorporate wildlife-friendly Best Management Practices (BMPs) to reduce the risk of injury or mortality to mule deer or other wildlife. Fencing designs that can cause harm and are prohibited include arrow-shaped post tops, barbed wire that does not meet rangeland specifications, and posts configured in a way that may result in wildlife entanglement.
- m. The following **operational conditions** shall be required for the life of the project:
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with the conditions of approval shall render this approval null and void. Compliance with this condition shall be determined by the Planning and Building Division.
 - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the special use permit to meet with the Planning and Building Division staff to review conditions of approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify the Planning and Building Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

Washoe County Engineering

- 2. The following condition is a requirement of Washoe County Engineering Division, which shall be responsible for determining compliance with this condition.

Contact Name – Robert Wimer, P.E. 775.328.2059, rwimer@washoecounty.gov

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed to be conveyed onto adjacent property.
- b. Final construction drawings shall comply with all applicable statutes, ordinances, rules, regulations, and policies in effect at the time of submitting the subsequent individual building permits.
- c. Prior to acceptance of public improvements and release of any financial assurances, the developer shall provide as-built construction drawings in an acceptable digital format prepared by a civil engineer and/or surveyor licensed in the State of Nevada.

- d. Any existing easements, facilities, or utilities that conflict with the development shall be relocated, quitclaimed, and/or abandoned, as appropriate.
- e. Any easement documents recorded for the project shall include an exhibit map that shows the location and limits of the easement in relationship to the project.
- f. Add the following note to the building permit civil improvement plans: "All public utilities shall be placed underground, except in the case where underground placement of utilities is shown not to be feasible, in which case the County Engineer may approve exceptions to this requirement."
- g. With each affected building permit application, provide written approval from all utility provider(s) for any improvements located within their easement, or under or over their facilities.
- h. Appropriate easements shall be granted for any existing or new utilities, with each affected building permit application.
- i. The following note shall be added to the construction drawings; "All properties, regardless of if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

Truckee Meadows Fire Protection District

- 3. The following condition is a requirement of Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

Contact Name – Jenny Williamson, Fire Marshal, 775.444.8521, jewilliamson@tmfpd.us.

- a. IFC 102.9 This project shall meet the requirements of the currently adopted International Fire Code, International Wildland Urban Interface Code, TMFPD Fire Amendments.

*** End of Conditions ***



Date: July 1, 2026

To: Jolene Bertetto, Planner

From: Janelle K. Thomas, P.E., C.F.M., Senior Licensed Engineer
Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit for **Vya North Cell Tower WSUP26-0012**
APN 061-050-56

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff have reviewed the above referenced application. The Special Use Permit is for the construction of a telecommunications facility and is located on approximately 320 acres at 0 State Route 34 in Vya. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement the applicable County Code and are based upon our review of the site and the application prepared by CIS Communications LLC. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please contact the staff's name referenced.

GENERAL CONDITIONS

Contact Information: Robert Wimer, P.E. (775) 328-2059

Conditions:

1. The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.
2. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed to be conveyed onto adjacent property.

GRADING (COUNTY CODE 110.438)

Contact Information: Robert Wimer, P.E. (775) 328-2059

Conditions:

1. Final construction drawings shall comply with all applicable statutes, ordinances, rules, regulations, and policies in effect at the time of submitting the subsequent individual building permits.

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EXHIBIT B

2. Prior to acceptance of public improvements and release of any financial assurances, the developer shall provide as-built construction drawings in an acceptable digital format prepared by a civil engineer and/or surveyor licensed in the State of Nevada.
3. A complete set of construction improvement drawings, including an onsite grading plan, shall be submitted to the County Engineer for approval prior to finalization of any portion of the special use permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading and drainage on each lot, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or disposal of any excavated material shall be indicated on the grading plan.
4. Any existing easements, facilities, or utilities that conflict with the development shall be relocated, quitclaimed, and/or abandoned, as appropriate.
5. Any easement documents recorded for the project shall include an exhibit map that shows the location and limits of the easement in relationship to the project.
6. Add the following note to the building permit civil improvement plans: "All public utilities shall be placed underground, except in the case where underground placement of utilities is shown not to be feasible, in which case the County Engineer may approve exceptions to this requirement."
7. With each affected building permit application, provide written approval from all utility provider(s) for any improvements located within their easement, or under or over their facilities.
8. Appropriate easements shall be granted for any existing or new utilities, with each affected building permit application.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

Conditions:

1. The following note shall be added to the construction drawings; "All properties, regardless of if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink, P.E. (775) 328-2050

1. No Traffic and Roadway comments or conditions.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Katrina Pascual, P.E. (775) 954-4648

1. No Utilities comments or conditions



Permit # WSUP26-0012 (Vya North Cell Tower)

0 State Route 34 (APN: 061-050-56)

Reviewed By: Jenny Williamson

Contact: jewilliamson@tmfpd.us or 775-444-8521

Planner: Jolene Bertetto

jbortetto@washoecounty.gov 775-328-6101

The following comments are for a pre-development review and are not all encompassing. Additional comments may be found during permit submittal review.

Plan Review Comments

1. IFC 102.9 This project shall meet the requirements of the currently adopted International Fire Code, International Wildland Urban Interface Code, TMFPD Fire Amendments.
2. No other comments at this time.



WSUP26-0012
EXHIBIT B



JOE LOMBARDI
Governor

STATE OF NEVADA

DEPARTMENT OF WILDLIFE

6980 Sierra Center Parkway, Suite 120

Reno, Nevada 89511

Phone (775) 688-1500 • Fax (775) 688-1595

ALAN JENNE
Director

JORDAN GOSHERT
Deputy Director

CALEB MCADOO
Deputy Director

MIKE SCOTT
Deputy Director

June 15, 2026

Jolene Bertetto, Planner
Washoe County Community Services Department
Planning and Building Division
1001 E. 9th Street
Reno, NV 89512
JBertetto@washoecounty.gov

RE: Special Use Permit Case Number WSUP26-0012 (Vya North Cell Tower)

Dear Ms. Bertetto,

The Nevada Department of Wildlife (the "Department") appreciates this opportunity to provide comment on the Special Use Permit for the Vya North Cell Tower project.

Please see Department comments below:

Both direct and indirect disturbances from development can significantly affect wildlife by altering movement and seasonal use patterns, breeding and nesting behavior, and overall demographic rates. Even when a project's physical footprint is relatively small or does not overlap with critical habitat or designated seasonal use areas, indirect and cumulative impacts from ongoing habitat encroachment can still lead to habitat loss, degradation, and fragmentation, ultimately causing long-term negative effects on wildlife populations.

Project location

The Department's review of the project application indicated that the proposed tower would be located within previously undeveloped habitat. While the overall project footprint is relatively small, the introduction of new infrastructure into undeveloped areas may contribute to habitat fragmentation and increased disturbance to wildlife. Therefore, the Department recommends minimizing the project footprint and implementing measures to avoid and minimize impacts to surrounding wildlife habitats.

Wildlife Considerations

The proposed project is within mapped crucial summer mule deer habitat and summer pronghorn habitat. If fencing is proposed, the Department recommends incorporating wildlife-friendly Best Management Practices (BMPs) in fence design and installation to reduce the risk of injury or mortality to mule deer or other wildlife. Fencing designs that can cause harm include arrow-shaped post tops, barbed wire that does not meet rangeland specifications, and posts configured in a way that may result in wildlife entanglement.

To the extent practicable, the Department recommends limiting disturbance to native vegetation outside the approved project footprint and utilizing existing roads and previously disturbed areas for construction access and staging. Any temporary disturbance areas associated with construction, staging, or access improvements should be reclaimed upon project completion and revegetated with appropriate native species to reduce the long-term loss of wildlife habitat and limit the spread of invasive annual grasses. The Department also recommends implementing appropriate wildfire prevention measures during construction and maintenance

activities. Equipment should be maintained in proper working order, vehicles should remain on designated roads and disturbed areas where practicable, and all applicable federal, state, and local fire restrictions should be followed. Preventing human-caused ignitions is particularly important in sagebrush ecosystems, where wildfire can result in long-term habitat loss and fragmentation for mule deer, pronghorn, and other wildlife species. The Department appreciates the applicant's consideration of co-location opportunities. Where complete co-location is not feasible, the Department encourages minimizing the extent of new disturbance and locating project features as close as practicable to existing infrastructure or previously disturbed areas to reduce habitat fragmentation and wildlife impacts.

The Department recommends incorporating dark-sky-compliant lighting measures to minimize further impacts on wildlife and the Massacre Rim Dark Sky Sanctuary. Lighting should use fully shielded, downward-directed fixtures and warm LEDs (≤ 3000 K) to minimize light spill and disturbance to nocturnal species. Uplighting and floodlighting of structures, vegetation, and water surfaces should be avoided where possible. Where feasible, the Department recommends considering the use of timers, motion sensors, or dimming controls to ensure lighting operates only when necessary. Reducing the duration, intensity, and extent of nighttime lighting will help minimize potential impacts on bats, migratory birds, and other wildlife that utilize the surrounding sagebrush ecosystem.

The Department appreciates your continued coordination on this project and is available to discuss these recommendations further. Please get in touch with me directly regarding any questions about our comments.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Cheyenne Trueblood', is positioned above the printed name.

Cheyenne Trueblood
Western Region Supervising Habitat Biologist
Nevada Department of Wildlife
(775) 688-1145
cheyenne.trueblood@ndow.org

WSUP26-0012
EXHIBIT B



Date: July 1, 2026

To: Jolene Bertetto, Planner

From: Timber Weiss, P.E., Licensed Engineer

Re: Special Use Permit Case Number WSUP26-0012 (Vya North Cell Tower)

GENERAL PROJECT DISCUSSION

For hearing, discussion, and possible action to approve a special use permit for the installation of a new unmanned telecommunications facility consisting of a 100-foot monopole with antennas/dishes and equipment cabinets within a fenced compound. This application is submitted by Commnet Wireless, LLC on behalf of Entrust Group, Inc. The subject property is located at 0 State Route 34 (APN 061-050-56) and consists of approximately 320 acres. The project area is 10,000 square feet.

The proposal is being reviewed under Development Code Article 810, Special Use Permit and Article 326, Communication Facilities and is situated within Commission District 5 - Commissioner Herman. The site is currently governed by the Rural Master Plan land use designation and the General Rural Regulatory Zone district, falling within the boundaries of the high dessert planning area.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

No water rights conditions for this SUP.

**WSUP26-0012
EXHIBIT B**



1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

June 26 ,2026

Washoe County Community Services Department

C/O Jolene Bertetto, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

Re: WSUP26-0012 Vya North Cell Tower

Dear Jolene,

In reviewing the special use permit for a 100-foot monopole telecommunications tower, the Conservation District has the following comments.

The District recommends the antennas/ dishes and equipment cabinets within the fenced compound painted a brown color to reflect the high desert landscape.

To soften the chain link fence appearance, the District requests brown slats added to the fence to blend with the natural environment.

While the existing vegetation and natural tree coverage provides buffering and screening, the District proposes a natural seed mix for the exposed 10,000 square feet area for additional treatment.

Thank you for providing us the opportunity to review the project.

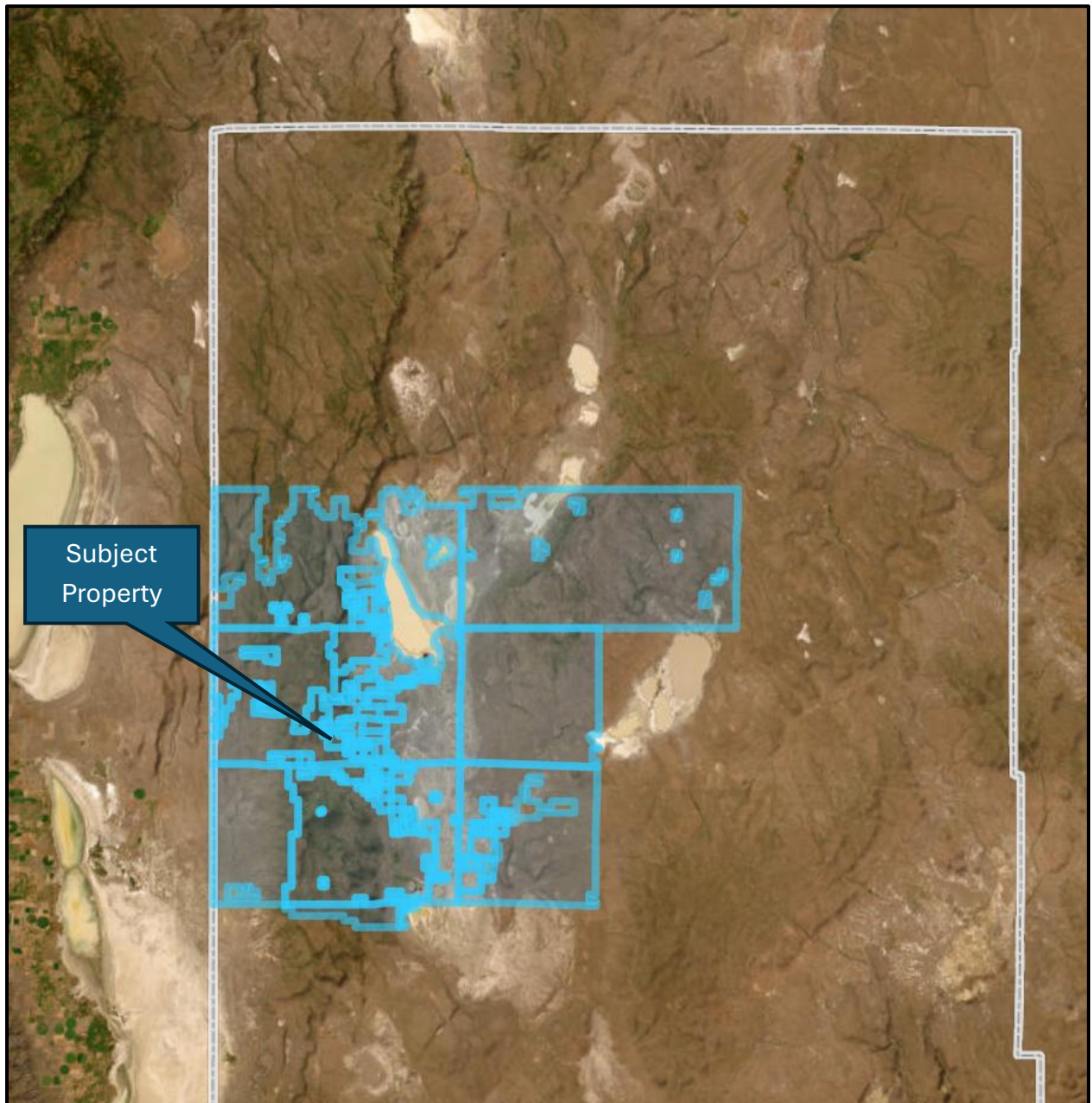
Sincerely,

Jim Shaffer

**WSUP26-0012
EXHIBIT B**

Public Notice

Public notice was sent to 58 property owners within 35,000 ft of the subject property.





Via OneNV.us

June 8, 2026

Washoe County
Planning and Development Division
1001 E. Ninth Street
Reno, NV 89512
Attn: Treavor Lloyd

RE: Application for Special Use Permit– Vya North, NV - 0 State Route 34, Vya, NV 89412 (Parcel 061-050-56)

Please find attached a Special Use Permit submittal application for a new Commnet Wireless telecommunications facility located at the above referenced location. The submittal contains the following documents.

This application is for the June 8, 2026, submittal.

1. Filing Fee submitted via OneNV.us
2. Commnet-CIS Letter of Authorization
3. Development Application – Special Use Permit
4. Project Support Statement
5. Owner's Affidavit (Entrust Group, Inc.)
6. Third party easement Affidavits (Stobiecki/Hagelthorn)
7. Zoning Drawing Site Plan
8. Photo simulation
9. Coverage Map
10. Radio Frequency Statement
11. Treasurer Statement
12. Site Photos

*Neighborhood Meeting waived by Washoe County, NV

If you have any questions or need additional materials, I can be reached at (314) 640-5182.

Sincerely,

Julie Krekeler
General Manager

749 Old Ballas Road, Creve Coeur, MO 63141 / (314) 569-2275 www.ciscomm.com

Attachments



June 3, 2006

Washoe County
Planning and Development Division
1001 E. Ninth Street
Reno, NV 89512
Attn: Treavor Lloyd

RE: LETTER OF AUTHORIZATION - Application for Special Use Permit for a new Communications Facility located at 0 State Route 34, Vya, NV 89412

Dear Mr. Lloyd:

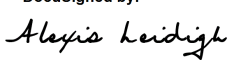
Please be advised that Commnet Wireless, LLC, authorizes CIS Communications to act as an agent on our behalf in all matters related to Commnet's application submittal for a Special Use Permit for the above referenced. Julie Krekeler, General Manager for CIS Communications, will be the primary contact for this project and her contact information is listed below:

Julie Krekeler
CIS Communications
749 Old Ballas Road
St. Louis, MO 63141
(314) 569-2275

Commnet understands and agrees that we shall remain responsible for all permit conditions, permit provisions, fees, deposits, additional charges and collections resulting from permit application processing, permit issuance and inspection of work.

Please feel free to contact me at (501) 351-4004 or at with any questions or concerns.

Best regards,

DocuSigned by:

E812FD341469451...

Alexis Leidigh
Associate Director Regulatory & Environmental Compliance
Commnet Wireless
500 Cummings Center, Suite 2450
Beverly, MA 01915

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:		Initial:	
County Commission District:		Planning Area:	
CAB(s):		Master Plan Designation(s):	
		Regulatory Zoning(s):	

Special Use Permit Application
Supplemental Information
(All required information may be separately attached)

1. What is the project being requested?

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

3. What is the intended phasing schedule for the construction and completion of the project?

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

☐ Yes	☐ No
------------------------------	-----------------------------

9. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

--

10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

COMMNET WIRELESS, LLC PROJECT SUPPORT STATEMENT

Project Name: Vya North, NV

Project Address: 0 State Route 34, Vya, NV 89412

Project APN: 061-050-56

Introduction

Commnet Wireless, LLC (“Commnet”) is dedicated to connecting rural America through reliable, carrier-grade communications networks that enhance public safety, improve quality of life, and support economic development. Commnet’s network expansion efforts focus primarily on underserved rural communities, state and national parks, seasonal-use areas, and the transportation corridors that connect these locations to surrounding regions.

The proposed Vya North wireless communications facility is intended to significantly improve cellular service coverage in and around Vya, Nevada. Specifically, the facility will provide coverage along approximately 12 miles of State Route 34 north of Vya, approximately 14 miles of State Route 34 south of Vya, and approximately 7 miles of Highway 8 west of the Highway 8A/34 intersection. The facility will also support the FirstNet nationwide public safety broadband network, providing critical communications infrastructure for first responders operating within the region.

Location

Commnet proposes to construct a new 100-foot monopole wireless communications facility in rural Vya, Nevada. The project site is located on property zoned General Rural (GR) and owned by Entrust Group, Inc. Adjacent properties consist primarily of federally managed lands owned by the United States and privately owned rural parcels.

The project area is characterized by its remote nature and extremely low population density. The nearest concentration of residentially zoned medium-density suburban development is in Gerlach, Nevada, approximately 70 miles from the proposed facility.

Project Description/Design

The proposed facility consists of a 100-foot monopole tower designed to support wireless communications equipment serving both commercial cellular users and FirstNet public safety users.

The tower will accommodate twelve (12) panel antennas, associated remote radio units (RRUs), surge suppression equipment, fiber, power, and hybrid-flex cabling, as well as two (2) microwave dishes with associated outdoor units (ODUs) and coaxial cabling.

Ground equipment will be housed within an outdoor equipment cabinet mounted on a steel platform located inside a secured 98-foot by 98-foot fenced compound situated within a 100-foot by 100-foot lease area. The facility will be unmanned and will operate continuously, providing wireless communications services twenty-four (24) hours per day, seven (7) days per week.

Public and Safety Benefits of Improved Wireless Service

Wireless communications have become an essential component of daily life, supporting personal, business, and emergency communications. The proposed facility will enhance network reliability and provide improved cellular coverage throughout the project area, including key transportation corridors that currently experience limited or unreliable service.

In addition to improving commercial wireless service, the facility will support FirstNet, the nationwide broadband network dedicated to public safety communications. FirstNet enables law enforcement personnel, firefighters, emergency medical responders, and other public safety agencies to communicate on a secure and interoperable network during routine operations and emergency situations.

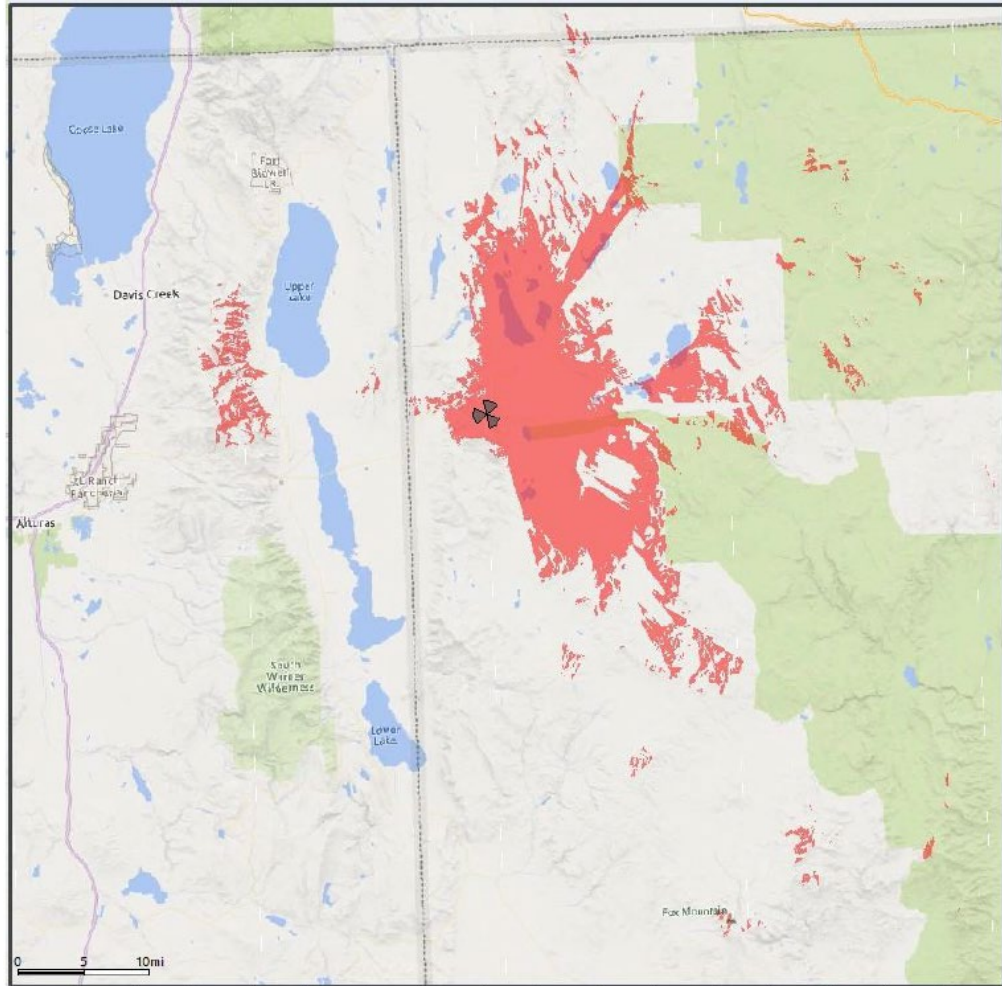
The proposed facility will improve emergency response capabilities, enhance traveler safety, and increase communications reliability in this remote portion of Washoe County.

Coverage Improvements

The proposed facility has been strategically located and engineered to address existing coverage deficiencies within the project area. Coverage modeling demonstrates significant improvements in wireless service availability throughout Vya and along the surrounding highway corridors identified in this application

Coverage with Proposed Tower

(see map on following page)



Visual and Aesthetic Impacts

Commnet proposes to install a 100-foot monopole designed to provide the elevation necessary to achieve the required coverage objectives while minimizing the overall footprint of the facility.

The proposed tower height has been determined based upon surrounding topography, radio frequency engineering requirements, and compliance with applicable County development standards. Due to the remote location of the site and limited visibility from public roadways and neighboring properties, the facility is expected to have minimal visual impact on the surrounding landscape.



Alternative Site Analysis

As part of its site selection process, Commnet first evaluates opportunities to collocate on existing communications towers and structures whenever feasible. Potential collocation candidates are assessed based on their ability to accommodate the required antenna elevations, equipment space, utility availability, site access, and coverage objectives.

Commnet initially evaluated existing communications facilities located on Fortynine Mountain. Three existing tower sites were identified and analyzed for potential collocation opportunities. However, each location was determined to be infeasible due to access restrictions and the inability to obtain authorization from the affected property owner.



Following a comprehensive evaluation of available alternatives, Commnet concluded that construction of a new wireless communications facility is necessary to meet the project's coverage objectives.

Existing Facility Evaluation

Option 1 – Bureau of Land Management Tower

This facility is located on Bureau of Land Management (BLM) property. The BLM advised Commnet that no additional users can be authorized at this location because access easements cross private property and the underlying landowner does not permit additional site users.

Option 2 – Bureau of Land Management Tower

This facility is also located on BLM-managed lands. Similar to Option 1, the BLM confirmed that access to the site requires crossing private property and that the affected landowner will not permit additional users.

Option 3 – Los Angeles Department of Water and Power Tower

This facility is located near Option 2 but is situated on property controlled by the same landowner who has declined to permit additional site users. In addition to the access restrictions, Commnet has previously attempted to pursue collocation opportunities on other Los Angeles Department of Water and Power facilities without receiving a response.

Based on these constraints, none of the existing facilities evaluated are viable collocation candidates.

Commitment to Future Collocation

The proposed tower has been structurally designed to accommodate future communications providers in addition to Commnet's planned equipment installation. Commnet supports the collocation of compatible communications facilities whenever feasible and will make space available for future users subject to structural, technical, and regulatory requirements.

Lighting and Signage

Unless specifically required by the Federal Aviation Administration (FAA), no exterior lighting is proposed for the facility.

All required Federal Communications Commission (FCC), safety, and regulatory signage will be installed on the equipment enclosure and/or perimeter fence as required.

The facility will comply with Washoe County's dark-sky objectives by eliminating unnecessary exterior lighting. Exterior lighting will be provided outside the equipment cabinet and will be used only during periodic maintenance visits.

Noise and Lighting Variance Request

Commnet respectfully requests a waiver from the provisions of Washoe County Code Section 110.414.00 related to noise and lighting requirements.

The facility will receive electrical service from the nearest utility transformer routed to a new meter bank within the fenced compound. The site will contain FirstNet public safety communications equipment, which qualifies as emergency communications infrastructure. Pursuant to Section 110.414.20(b), emergency equipment is exempt from these requirements.

Because the facility is unmanned and no exterior lighting is proposed, the intent of the County's noise and lighting standards is effectively achieved.

Access, Utilities, and Parking

Access to the facility will be provided from County Road 34. From the intersection of Nevada State Route 8A and County Road 34 in Vya, travel north on County Road 34 and proceed to the proposed access road located approximately 0.25 miles north of Dugway Road. The gravel access road will extend from County Road 34 approximately 1.82 miles to the facility site.

Access and utility routes will also be located on adjacent parcels and secured through a third-party access easement.

Electrical service will be installed underground within conduit extending from the nearest utility transformer to a new meter bank located inside the fenced compound. Backup battery systems will provide emergency power in the event of a utility outage.

Parking Variance Request

Commnet respectfully requests a waiver from the requirements of Washoe County Code Section 110.410.00 related to parking.

Due to the unique nature of this unmanned communications facility and its remote rural location, strict compliance with standard parking design requirements would be unnecessary and impractical. The facility is not open to the public and will typically be visited by a qualified technician only once or twice per month for routine maintenance.

Adequate space exists within and adjacent to the fenced compound for temporary parking during maintenance activities. Therefore, the requested parking waiver is appropriate and consistent with the operational characteristics of the proposed use.

Maintenance and Backup Power

The proposed facility will be equipped with backup battery systems designed to maintain communications service during utility power interruptions.

Because the facility will support FirstNet public safety communications, maintaining uninterrupted operation during emergencies, natural disasters, and power outages is critical. The backup power system will provide redundancy and reliability necessary to support continued operation during such events.

Routine maintenance inspections will be conducted approximately one to two times per month by qualified telecommunications technicians.

Landscaping Variance Request

Commnet respectfully requests a waiver from the requirements of Washoe County Code Section 110.412.00 related to landscaping.

The project site is in a remote, undeveloped high-desert environment with limited access to water resources and minimal visibility from surrounding roadways. The facility will be situated more than 2,000 feet from the nearest county-maintained gravel roadway and will not be readily visible to the public.

Landscaping is not proposed to conserve water resources and eliminate the need for ongoing irrigation and maintenance activities.

Furthermore, given the size of the parent parcel (approximately 320 acres), it would be unreasonable for Commnet to meet the County's landscape coverage and buffering requirements.

Grading

Site grading will be performed to establish a level building area for the proposed monopole tower, equipment, and associated infrastructure.

Additional grading activities will improve and widen the existing footpath/ATV trail to provide safe and reliable vehicular access for construction, operation, and ongoing maintenance of the facility. All grading activities will be limited to the minimum extent necessary to support the proposed development.

Significant Hydrological Resources

The project site is located within the High Desert Planning Area. Pursuant to Washoe County Code Section 110.418.05(e), the provisions of the Significant Hydrological Resources article do not apply to development within the High Desert Planning Area.

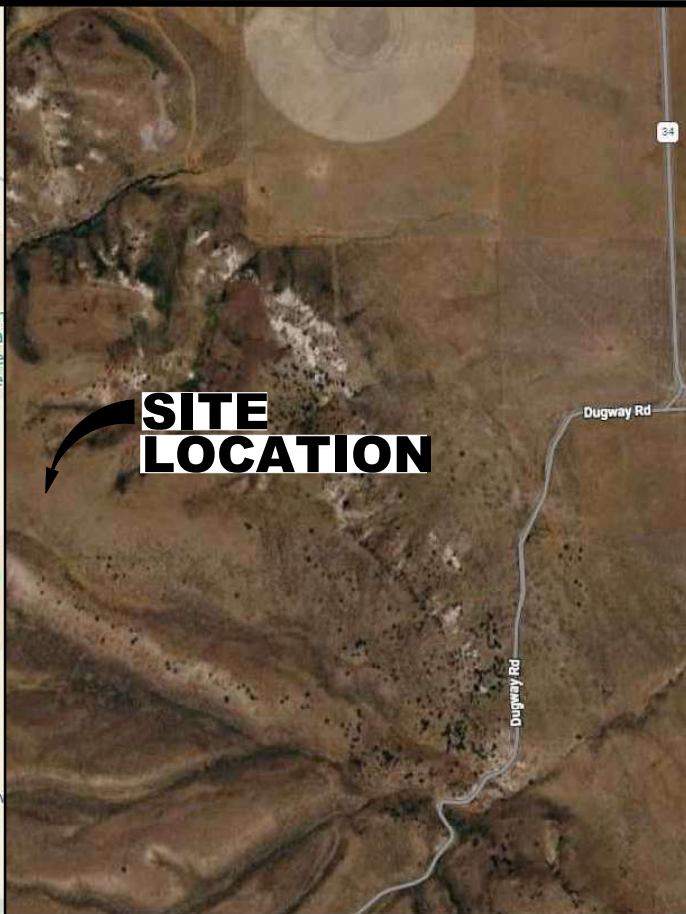
Accordingly, the project is exempt from the requirements of this section.



PROPERTY INFORMATION		PROJECT TEAM	
SITE COORDINATES: (LAT/LONG)	41.606667° / -119.886111° 41° 36' 24.000"N / 119° 53' 10.00"W	SITE REP:	COMMNET CONSTRUCTION MANAGER FORREST BAKER
GROUND ELEV:	6,250' AMSL (NAVD88)	PHONE:	623.933.8009
JURISDICTION:	WASHOE COUNTY	ENGINEERING FIRM: ADDRESS:	COMSITE ENGINEERING, LLC 2538 MANOR WALK DECATUR, GA 30030
COUNTY:	WASHOE	CONTACT: PHONE:	PATRICK COLLINS 404.825.0981
CITY/TOWN:	WASHOE VALLEY	STRUCTURAL ENGINEER: ADDRESS:	XXX
APPLICANT/LESSEE: ADDRESS:	COMMNET WIRELESS, LLC 500 CUMMINGS CENTER, SUITE 2450 BEVERLY, MA 01915	APPROVALS DATE: _____ COMMNET SITE AQ: _____ COMMNET RF: _____ COMMNET CONST.: _____ COMMNET OPS: _____ LANDLORD: _____	
TOTAL LEASE AREA:	XXX SQ. FT.		
PROPERTY OWNER: ADDRESS:	ENTRUST GROUP INC FBO DONALD MCMURRAY IRA 555 12TH ST STE 900 OAKLAND, CA 94607		
CONTACT: PHONE:	XXX XXX		
TOWER OWNER: ADDRESS:	COMMNET WIRELESS, LLC 500 CUMMINGS CENTER, SUITE 2450 BEVERLY, MA 01915		
CONTACT: PHONE:	FORREST BAKER 623.933.8009		
POWER COMPANY:	SURPRISE VALLEY ELECTRICAL CORP		
TELCO COMPANY:	XXX		

[illegible]

DRAWN BY:		SA	CHECKED BY:	SY
A	06/05/26	ISSUED FOR REVIEW		
REV	DATE	DESCRIPTION		



PROJECT DESCRIPTION & SCOPE

THIS PROJECT WILL BE COMPRISED OF:

NEW 100'-0" TOWER WITH COMMNET EQUIPMENT: @96'-0" & @17'-0"

- INSTALL NEW 100'-0" MONOPOLE WITH NEW CONCRETE FOUNDATION
- INSTALL (6) NEW PANEL ANTENNAS
- INSTALL (6) NEW RRH's
- INSTALL (1) NEW 8'-0" MICROWAVE DISH & (1) NEW MICROWAVE RADIO
- INSTALL (1) NEW MOUNT COLLAR & (3) NEW SECTOR ANTENNA MOUNT ASSEMBLIES
- INSTALL (1) NEW 12-PORT MOVP
- INSTALL (2) NEW 6X12 HYBRIFLEX & (2) NEW CNT 400 MICROWAVE CABLES

CHANGES TO THE EXISTING COMMNET GROUND EQUIPMENT:

- INSTALL (1) NEW EQUIPMENT CABINET ON NEW 8'-0" X 10'-0" MODULAR PLATFORM
- INSTALL (2) NEW UTILITY H-FRAMES WITH NEW ELECTRICAL SERVICE
- INSTALL NEW GRAVEL COMPOUND
- INSTALL NEW 6' CHAIN LINK FENCE WITH 12' GATE
- INSTALL NEW GROUND RING SYSTEM

ZONING NOTES

HEALTH ISSUES:
EVERY WIRELESS TELECOMMUNICATIONS FACILITY SHALL MEET HEALTH AND SAFETY STANDARDS FOR ELECTROMAGNETIC FIELD EMISSIONS AS ESTABLISHED BY THE FEDERAL COMMUNICATIONS COMMISSION OR ANY SUCCESSOR THEREOF, AND ANY OTHER FEDERAL OR STATE AGENCY.

FCC:
EVERY WIRELESS COMMUNICATIONS FACILITY SHALL MEET THE REGULATIONS OF THE FCC REGARDING PHYSICAL AND ELECTROMAGNETIC INTERFERENCE. THE ONLY SIGNAGE WHICH IS PERMITTED IS THAT WHICH IS REQUIRED BY STATE AND FEDERAL LAW.

LIGHTING/SIGNAGE:
EVERY WIRELESS TELECOMMUNICATIONS FACILITY SHALL MEET THE NIGHT SKY RESTRICTIONS OF THE COMPREHENSIVE CITY ZONING CODE. LIGHTING OR SIGNS WILL BE PROVIDED ONLY AS REQUIRED BY FEDERAL OR STATE AGENCIES.

FCC COMPLIANCE
RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.

ADA COMPLIANCE
THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXITS SHALL COMPLY WITH ALL APPLICABLE BUILDINGS CODES.

CODE COMPLIANCE NOTES

ALL CONTRACTOR'S & SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE WASHOE COUNTY DEVELOPMENT CODE HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE: INTERNATIONAL BUILDING CODE 2021
ELECTRICAL CODE: NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70
NATIONAL ELECTRICAL CODE 2020
LIGHTNING PROTECTION CODE: NFPA 780 - 2014, LIGHTNING PROTECTION CODE

ALL CONTRACTOR'S & SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES:
- TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM
- IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT
- IEEE 682.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
- TELCORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS
- TELCORDIA GR-1503, COAXIAL CABLE CONNECTIONS
- ANSI T1.311, FOR TELECOM – DC POWER SYSTEMS – TELECOM, ENVIRONMENTAL PROTECTION

GENERAL COMPLIANCE

1. NO HAZARDOUS OR COMBUSTIBLE MATERIAL WILL BE STORED WITHIN THE FACILITY.
2. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES..

FIRE COMPLIANCE

1. CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF 2A-10BC OR BETTER.
2. CONTRACTOR TO INSTALL FIRE DEPARTMENT APPROVED "KNOX BOX" PER DEPARTMENT REGULATIONS.

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

CONTRACTOR GENERAL NOTES

1. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE INSTALL PROJECT.

2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.

3. ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A COMMNET REPRESENTATIVE.

4. INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, UNLESS INDICATED OTHERWISE.

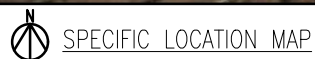
5. NOTIFY COMMET, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A COMMET REPRESENTATIVE AND ADJUSTING THE BID ACCORDINGLY.

6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.

7. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A COMMNET REPRESENTATIVE.

8. THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY COMMNET, THE CONTRACTOR SHALL PROVIDE COMMNET WITH ONE COPY OF ALL RED-LINED DRAWINGS.

9. VERIFY ALL FINAL EQUIPMENT WITH A COMMNET REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY COMMNET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS



Know what's below.
39 Call before you dig.

DRIVING DIRECTIONS

DIRECTIONS (FROM VYA, NEVADA): FROM THE INTERSECTION OF NV-8A AND CR-34, HEAD NORTH ON COUNTY ROAD 34. TURN LEFT ON NEW ACCESS ROAD OFF CR-34 N (.25 MILES PAST DUGWAY ROAD). CONTINUE ON NEW ACCESS ROAD FOR APPROX MILES TO THE SITE.

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT. UNLESS EXPLICITLY AGREED TO BY COMSITE ENGINEERING LLC IN WRITING, AND COMSITE ENGINEERING LLC DISCLAIMS ALL LIABILITY ASSOCIATED WITH THE REUSE, ALTERATION OR MODIFICATION OF THE CONTENTS HEREIN.

ZONING DRAWING

SITE NAME: VYA NORTH

ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

SITE TYPE: MONOPOLE

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T1
WSUP26-0012
EXHIBIT D



ComSite
ENGINEERING, LLC
2538 MANOR WALK
DECATUR, GA 30030
404.825.0981

[illegible][illegible]

SITE NAME: **VYA NORTH**

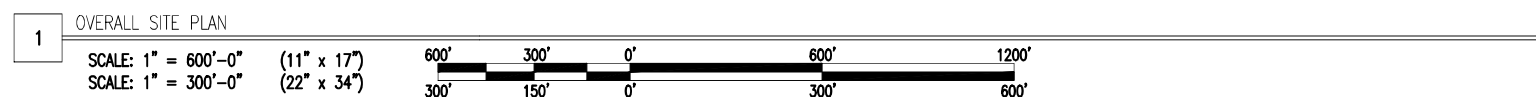
SITE TYPE: MONOPOLE

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

C1
WSUP26-0012



- NOTE:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO COMMNET, CONSTRUCTION MANAGER, AND ENGINEER.
 2. HVAC LOADING AND ELECTRICAL DESIGNS AND COORDINATION BY OTHERS.
 3. INFORMATION SHOWN FOR DEPICTION PURPOSES ONLY. THIS INFORMATION IS NOT A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH.
 4. EXISTING UNDERGROUND UTILITIES ARE LIKELY TO BE PRESENT THROUGHOUT THE COMPOUND. THE EXACT LOCATIONS ARE UNKNOWN. CONTRACTOR TO CONDUCT UNDERGROUND UTILITY LOCATES PRIOR TO CONSTRUCTION.



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ENGINEERING, LLC
2538 MANOR WALK
DECATUR, GA 30030
404 • 825-0981

[illegible]

ZONING DRAWING

SITE NAME: VYA NORTH

ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

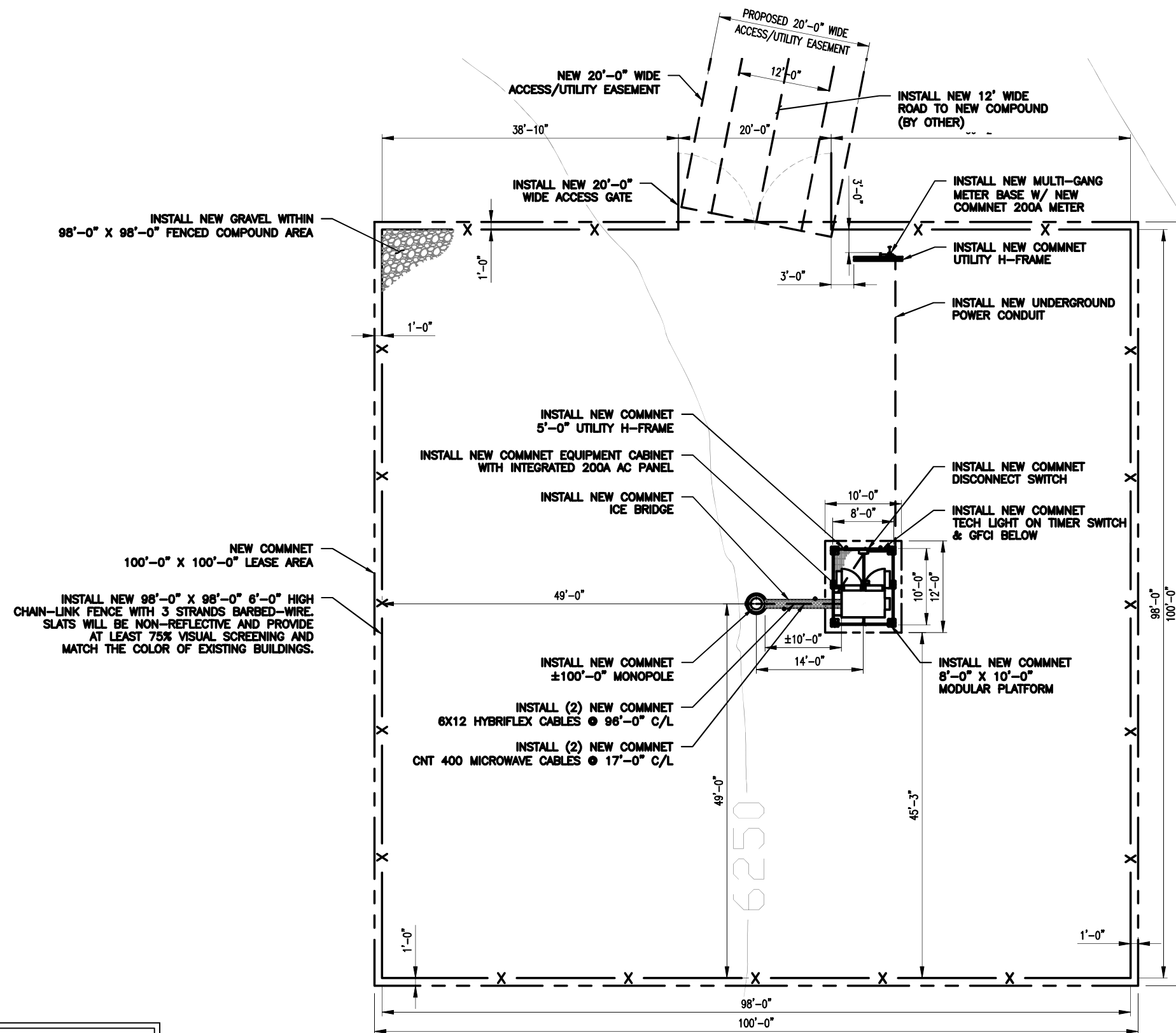
SITE TYPE: MONOPOLE

SHEET TITLE:

COMPOUND PLAN

SHEET NUMBER: _____

C2
WSUP26-0012



NOTE:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO COMMNET, CONSTRUCTION MANAGER, AND ENGINEER.
2. HVAC LOADING AND ELECTRICAL DESIGNS AND COORDINATION BY OTHERS.
3. INFORMATION SHOWN FOR DEPICTION PURPOSES ONLY. THIS INFORMATION IS NOT A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH.
4. EXISTING UNDERGROUND UTILITIES ARE LIKELY TO BE PRESENT THROUGHOUT THE COMPOUND. THE EXACT LOCATIONS ARE UNKNOWN. CONTRACTOR TO CONDUCT UNDERGROUND UTILITY LOCATES PRIOR TO CONSTRUCTION.

1 COMPOUND PLAN

SCALE: 1/16" = 1'-0" (11" x 17")
SCALE: 1/8" = 1'-0" (22" x 34")





A	06/05/26	ISSUED FOR REVIEW
REV	DATE	DESCRIPTION

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ZONING DRAWING

SITE NAME: VYA NORTH

ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

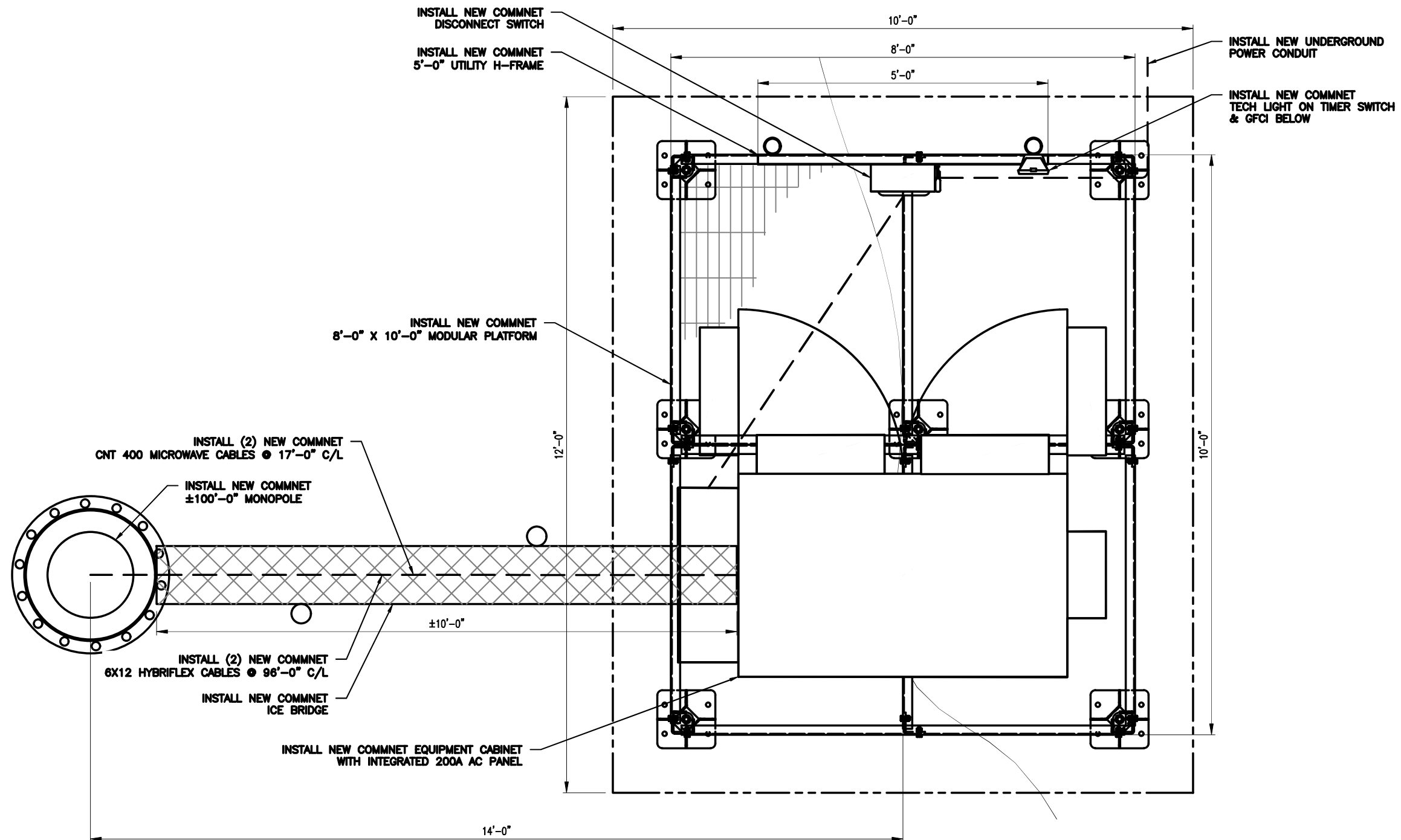
SITE TYPE: MONOPOLE

SHEET TITLE:

EQUIPMENT PLAN

SHEET NUMBER:

C3
WSUP26-0012



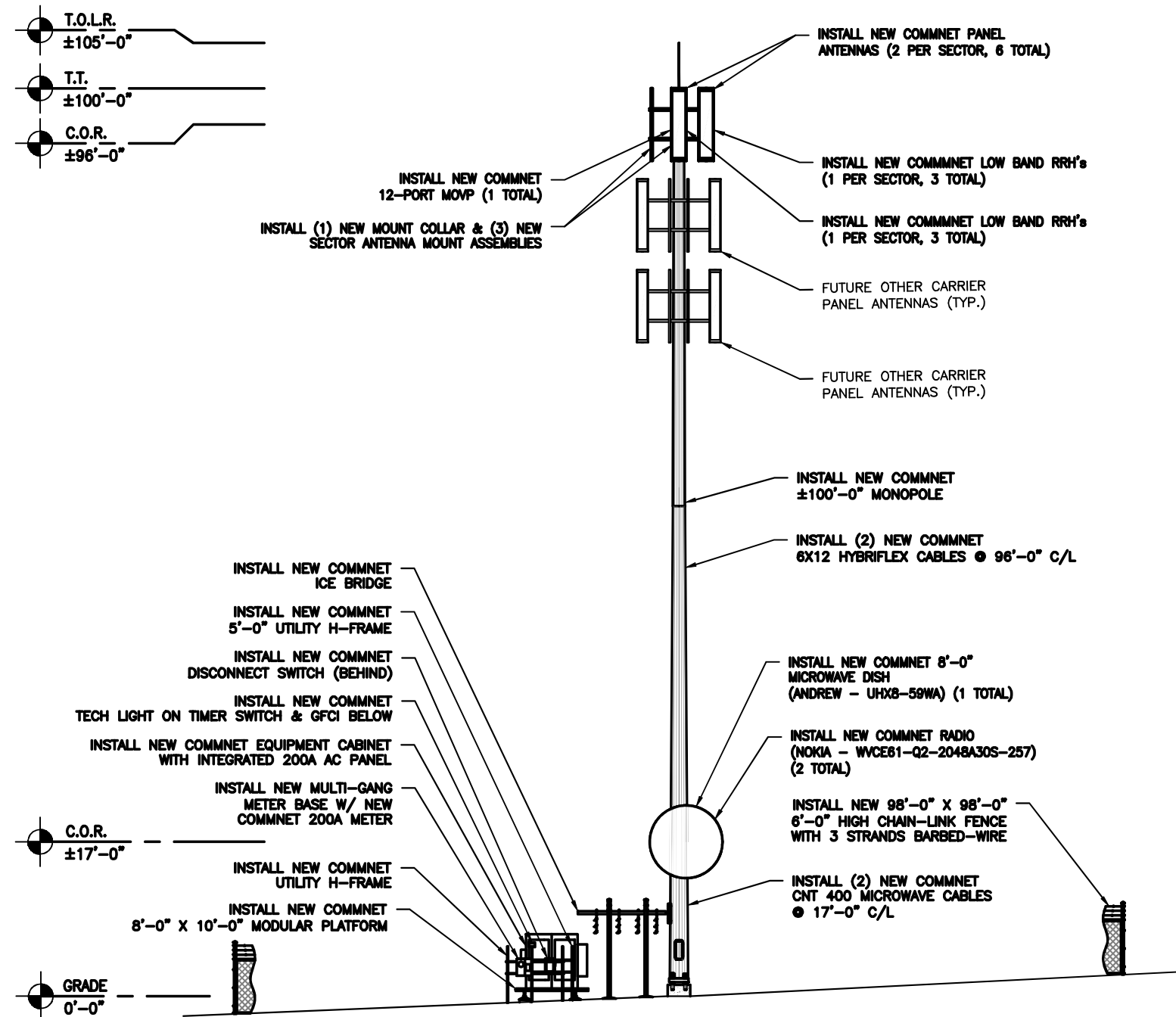
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO COMMNET, CONSTRUCTION MANAGER, AND ENGINEER.
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4. EXISTING UNDERGROUND UTILITIES ARE LIKELY TO BE PRESENT THROUGHOUT THE COMPOUND. THE EXACT LOCATIONS ARE UNKNOWN. CONTRACTOR TO CONDUCT UNDERGROUND UTILITY LOCATES PRIOR TO CONSTRUCTION.

☐ EQUIPMENT PLAN

SCALE: $1/2" = 1'-0"$ (11" x 17")
SCALE: $1" = 1'-0"$ (22" x 34")

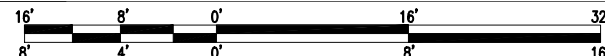


NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT
ANY DISCREPANCIES TO COMMNET CONSTRUCTION
MANAGER AND ENGINEER



PROPOSED ELEVATION

SCALE: $1/16" = 1'-0"$ (11" x 17")
SCALE: $1/8" = 1'-0"$ (22" x 34")



1. COMSITE ENGINEERING, LLC HAS NOT PERFORMED A STRUCTURAL ANALYSIS FOR THE STRUCTURAL CAPACITY OF THE TOWER, FOUNDATION, MOUNTS, ANTENNAS, RADIOS, CABLES OR ANY OTHER APPURTENANCES ON THE STRUCTURE. THE CONTRACTOR AND SUBCONTRACTOR SHALL COORDINATE WITH AND COMPLY WITH THE PROVISIONS OF THE STRUCTURAL ANALYSIS PREPARED BY OTHERS FOR THIS SITE AND PROJECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT ON THE STRUCTURE. IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND THE STRUCTURAL ANALYSIS TO COMMNET AND THE ENGINEER.
2. REFER TO THE STRUCTURAL ANALYSIS AND/OR STRUCTURAL LETTER FOR THE APPROVAL OF ALL MODIFICATIONS TO AND ADDING EQUIPMENT OF NEW APPURTENANCES.
3. REFER TO ADDITIONAL DRAWINGS SPECIFIC TO STRUCTURE REINFORCEMENT FOR THIS SITE SHOULD THERE BE A REQUIREMENT FOR ANY REINFORCEMENT.
4. REFER TO STRUCTURAL ANALYSIS FOR COAXIAL AND OTHER CABLE SUPPORT AND CONFIGURATION DETAILS.
5. REFER TO STRUCTURAL ANALYSIS FOR ALL CARRIERS' APPURTENANCES AS THEY MAY NOT BE SHOWN IN ELEVATION DETAIL.



ComSite
ENGINEERING, LLC
2538 MANOR WALK
DECATUR, GA 30030
404 • 825-0981

DRAWN BY:	SA	CHECKED BY:	SY
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REV	DATE	DESCRIPTION

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ZONING DRAWING

SITE NAME: VYA NORTH

ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

SITE TYPE: MONOPOLE

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER:

C4
WSUP26-0012

NOTE:
CONTRACTOR TO VERIFY THE FINAL RF CONFIGURATION
MATCHES THESE DRAWINGS PRIOR TO THE INSTALLATION
OF ANY EQUIPMENT. CONTRACTOR TO REPORT ALL
DISCREPANCIES TO COMMNET CONSTRUCTION MANAGER
AND ENGINEER.



Commnet
Connecting Rural America
500 CUMMINGS CENTER,
SUITE 2450
BEVERLY, MA 01915

ComSite
ENGINEERING, LLC
2538 MANOR WALK
DECATUR, GA 30030
404-825-0981

DRAWN BY: SA CHECKED BY: SY

REV	DATE	DESCRIPTION
A	06/05/26	ISSUED FOR REVIEW

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ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER TO ALTER THIS DOCUMENT, UNLESS EXPLICITLY AGREED
TO BY COMSITE ENGINEERING LLC IN WRITING, AND COMSITE
ENGINEERING LLC DISCLAIMS ALL LIABILITY ASSOCIATED WITH THE
REUSE, ALTERATION OR MODIFICATION OF THE CONTENTS HEREIN.

ZONING DRAWING

SITE NAME: VYA NORTH

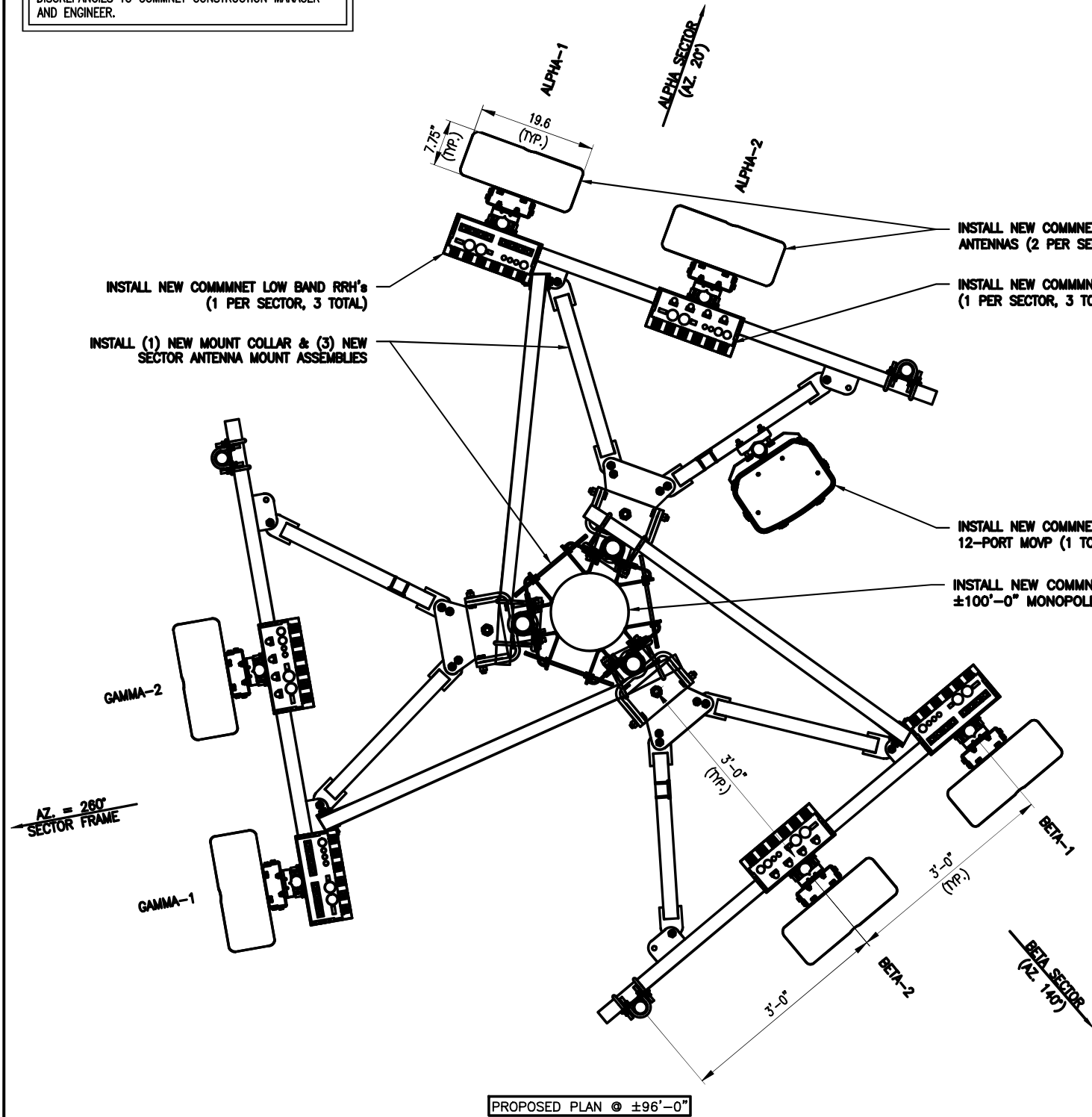
ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

SITE TYPE: MONOPOLE

SHEET TITLE:
ANTENNA PLAN

SHEET NUMBER:

C5
WSUP26-0012
EXHIBIT D



INSTALL NEW COMMNET RADIO
(NOKIA - WVCE61-Q2-2048A30S-257)
(2 TOTAL)

INSTALL NEW COMMNET
±100'-0" MONOPOLE

INSTALL NEW COMMNET
12-PORT MOVP (1 TOTAL)

INSTALL NEW COMMNET
±100'-0" MONOPOLE

INSTALL NEW COMMNET 8'-0"
MICROWAVE DISH
(ANDREW - UHX8-59WA) (1 TOTAL)

PROPOSED PLAN @ ±96'-0"

PROPOSED PRELIM PLAN @ ±17'-0"

1 PROPOSED ANTENNA PLAN

ELEMENTS OF THE ORIENTATION DIAGRAM SHOWN ABOVE ARE SCALED TO:

SCALE: 1/2" = 1'-0" (11" x 17")
SCALE: 1" = 1'-0" (22" x 34")



THESE ELEMENTS ARE: THE ANTENNA MOUNT FACE WIDTH, ANTENNA WIDTH, DISTANCE BETWEEN ANTENNAS (EDGE-TO-EDGE) & DETAIL

1. COMSITE ENGINEERING, LLC HAS NOT PERFORMED A STRUCTURAL ANALYSIS FOR THE STRUCTURAL CAPACITY OF THE TOWER, FOUNDATION, MOUNTS, ANTENNAS, RADIOS, CABLES OR ANY OTHER APPURTENANCE ON THE STRUCTURE. THE CONTRACTOR AND SUBCONTRACTOR SHALL COORDINATE WITH AND COMPLY WITH THE PROVISIONS OF THE STRUCTURAL ANALYSIS PREPARED BY OTHERS FOR THIS SITE AND PROJECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT ON THE STRUCTURE. IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND THE STRUCTURAL ANALYSIS TO COMMNET AND THE ENGINEER.
2. REFER TO THE STRUCTURAL ANALYSIS AND/OR STRUCTURAL LETTER FOR THE APPROVAL OF ALL MODIFICATIONS TO AND ADDING EQUIPMENT OF NEW APPURTENANCES.
3. REFER TO ADDITIONAL DRAWINGS SPECIFIC TO STRUCTURE REINFORCEMENT FOR THIS SITE SHOULD THERE BE A REQUIREMENT FOR ANY REINFORCEMENT.
4. REFER TO STRUCTURAL ANALYSIS FOR COAXIAL AND OTHER CABLE SUPPORT AND CONFIGURATION DETAILS.
5. REFER TO STRUCTURAL ANALYSIS FOR ALL CARRIERS' APPURTENANCES AS THEY MAY NOT BE SHOWN IN ELEVATION DETAIL.

PROJECT INFORMATION

RAWLAND BUILD

VYANORTH, NV

STATE ROUTE 34
VYA, NV 89412

PROJECT OWNER



LOCATION MAP



PROJECT INFORMATION

RAWLAND BUILD

VYANORTH, NV

STATE ROUTE 34
VYA, NV 89412

PROJECT OWNER



Looking West Toward Proposed Monopole (Before)



PROJECT INFORMATION

RAWLAND BUILD

VYANORTH, NV

STATE ROUTE 34
VYA, NV 89412

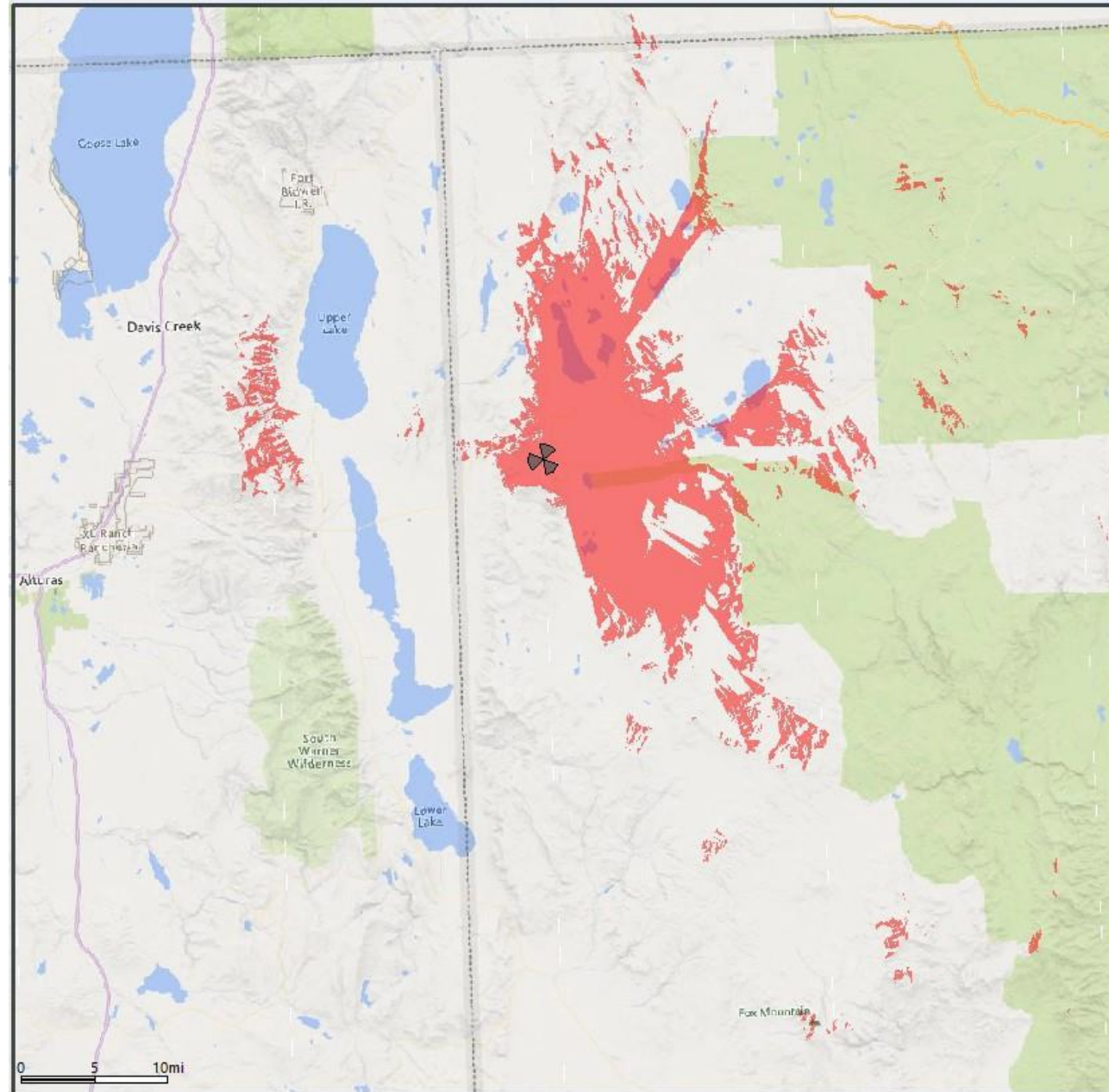
PROJECT OWNER



Looking West Toward Proposed Monopole (After)



Vya– Predicted Proposed Coverage for 700 Carrier



Legends

 RSRP DL => -116(dBm)

WSUP26-0012
EXHIBIT D

WillCo Telecom Consulting

2000 Mallory Lane Ste 130-346
Franklin, TN 37067



June 5, 2026

From: E. Wayne Neal, Principal Engineer

Re: RF Emissions Analysis of Proposed Facility - Vya, NV

Commnet of Nevada is proposing to install a wireless telecommunications facility at Vya, NV, in Washoe County at the following coordinates: 41° 36' 24.0" N, 119° 53' 10.0" W.

The proposed installation was evaluated for RF Emissions compliance. The computations, analysis, and conclusions were based on applicable FCC guidelines and regulations for maximum permissible exposure to humans consistent with FCC OET Bulletin 65. At the time of installation, this facility will be transmitting at less than 5% of the applicable RF Emissions limits for the General Public in generally accessible areas, thus the facility will be in compliance with applicable FCC regulations for RF Emissions. Re-evaluation of the site for compliance will happen if other carriers locate at the facility, if the current Wireless providers add additional frequencies, or if other equipment is added or changed.

I certify that the analysis is correct to the best of my knowledge, and all calculations, assumptions and conclusions are based on generally accepted engineering practices.

Sincerely,

Wayne Neal
Principal
Willco Telecom Consulting

WASHOE COUNTY
PO BOX 30039
RENO, NV 89520-3039
775-328-2510

PIN: 06105056
AIN:

Balance Good Through:	06/03/2026
Current Year Balance:	\$0.00
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$0.00

AUTO

|||||

ENTRUST GROUP INC FBO DONALD MCMURRAY IR
555 12TH ST STE 900
OAKLAND CA 94607

Description:

Situs: STATE ROUTE 34
WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.gov/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
06105056	2025	2025154202	1	08/18/2025	36.69	0.00	0.00	36.69	0.00
Current Year Totals					36.69	0.00	0.00	36.69	0.00

Prior Years							
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance
		Totals					
Prior Years Total							

Overall Totals

36.690.000.0036.690.00

Vya North, NV Photos

Vya North Tower Looking North



Vya North Tower Looking East



Vya North Tower Looking West



Vya North Tower Looking South

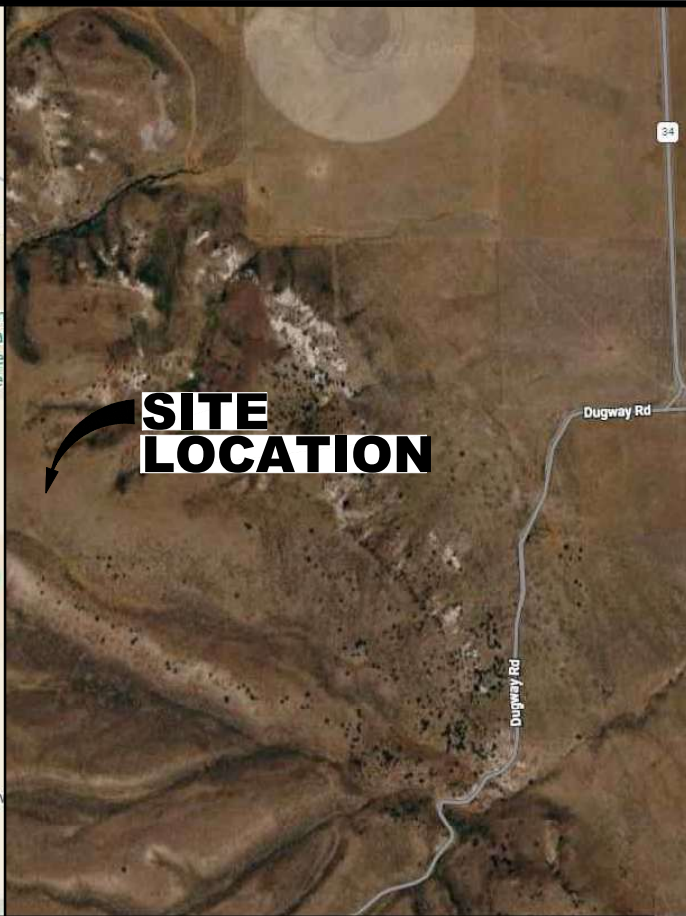




PROPERTY INFORMATION		PROJECT TEAM	
SITE COORDINATES: (LAT/LONG)	41.606667° / -119.886111° 41° 36' 24.000"N / 119° 53' 10.00"W	SITE REP:	COMMNET CONSTRUCTION MANAGER FORREST BAKER
GROUND ELEV:	6,250' AMSL (NAVD88)	PHONE:	623.933.8009
JURISDICTION:	WASHOE COUNTY	ENGINEERING FIRM: ADDRESS:	COMSITE ENGINEERING, LLC 2538 MANOR WALK DECATUR, GA 30030
COUNTY:	WASHOE	CONTACT: PHONE:	PATRICK COLLINS 404.825.0981
CITY/TOWN:	WASHOE VALLEY	STRUCTURAL ENGINEER: ADDRESS:	XXX
APPLICANT/LESSEE: ADDRESS:	COMMNET WIRELESS, LLC 500 CUMMINGS CENTER, SUITE 2450 BEVERLY, MA 01915	APPROVALS DATE: _____	
TOTAL LEASE AREA:	XXX SQ. FT.		
PROPERTY OWNER: ADDRESS:	ENTRUST GROUP INC FBO DONALD MCMURRAY IRA 555 12TH ST STE 900 OAKLAND, CA 94607	COMMNET SITE AQ:	_____
CONTACT: PHONE:	XXX XXX	COMMNET RF:	_____
TOWER OWNER: ADDRESS:	COMMNET WIRELESS, LLC 500 CUMMINGS CENTER, SUITE 2450 BEVERLY, MA 01915	COMMNET CONST.:	_____
CONTACT: PHONE:	FORREST BAKER 623.933.8009	COMMNET OPS:	_____
POWER COMPANY:	SURPRISE VALLEY ELECTRICAL CORP	LANDLORD:	_____
TELCO COMPANY:	XXX		_____

[illegible]

DRAWN BY:		SA	CHECKED BY:	SY
A	06/05/26	ISSUED FOR REVIEW		
REV	DATE	DESCRIPTION		



PROJECT DESCRIPTION & SCOPE

THIS PROJECT WILL BE COMPRISED OF:

NEW 100'-0" TOWER WITH COMMNET EQUIPMENT: @96'-0" & @17'-0"

- INSTALL NEW 100'-0" MONOPOLE WITH NEW CONCRETE FOUNDATION
- INSTALL (6) NEW PANEL ANTENNAS
- INSTALL (6) NEW RRH's
- INSTALL (1) NEW 8'-0" MICROWAVE DISH & (1) NEW MICROWAVE RADIO
- INSTALL (1) NEW MOUNT COLLAR & (3) NEW SECTOR ANTENNA MOUNT ASSEMBLIES
- INSTALL (1) NEW 12-PORT MOVVP
- INSTALL (2) NEW 6X12 HYBRIFLEX & (2) NEW CNT 400 MICROWAVE CABLES

CHANGES TO THE EXISTING COMMNET GROUND EQUIPMENT:

- INSTALL (1) NEW EQUIPMENT CABINET ON NEW 8'-0" X 10'-0" MODULAR PLATFORM
- INSTALL (2) NEW UTILITY H-FRAMES WITH NEW ELECTRICAL SERVICE
- INSTALL NEW GRAVEL COMPOUND
- INSTALL NEW 6' CHAIN LINK FENCE WITH 12' GATE
- INSTALL NEW GROUND RING SYSTEM

ZONING NOTES

HEALTH ISSUES:
EVERY WIRELESS TELECOMMUNICATIONS FACILITY SHALL MEET HEALTH AND SAFETY STANDARDS FOR ELECTROMAGNETIC FIELD EMISSIONS AS ESTABLISHED BY THE FEDERAL COMMUNICATIONS COMMISSION OR ANY SUCCESSOR THEREOF, AND ANY OTHER FEDERAL OR STATE AGENCY.

FCC:
EVERY WIRELESS COMMUNICATIONS FACILITY SHALL MEET THE REGULATIONS OF THE FCC REGARDING PHYSICAL AND ELECTROMAGNETIC INTERFERENCE. THE ONLY SIGNAGE WHICH IS PERMITTED IS THAT WHICH IS REQUIRED BY STATE AND FEDERAL LAW.

LIGHTING/SIGNAGE:
EVERY WIRELESS TELECOMMUNICATIONS FACILITY SHALL MEET THE NIGHT SKY RESTRICTIONS OF THE COMPREHENSIVE CITY ZONING CODE. LIGHTING OR SIGNS WILL BE PROVIDED ONLY AS REQUIRED BY FEDERAL OR STATE AGENCIES.

FCC COMPLIANCE
RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.

ADA COMPLIANCE
THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXITS SHALL COMPLY WITH ALL APPLICABLE BUILDINGS CODES.

CODE COMPLIANCE NOTES

ALL CONTRACTOR'S & SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE WASHOE COUNTY DEVELOPMENT CODE HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE: INTERNATIONAL BUILDING CODE 2021
ELECTRICAL CODE: NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70
NATIONAL ELECTRICAL CODE 2020
LIGHTNING PROTECTION CODE: NFPA 780 – 2014, LIGHTNING PROTECTION CODE

ALL CONTRACTOR'S & SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES:
- TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM
- IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT
- IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
- TELCORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS
- TELCORDIA GR-1503, COAXIAL CABLE CONNECTIONS
- ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

GENERAL COMPLIANCE

1. NO HAZARDOUS OR COMBUSTIBLE MATERIAL WILL BE STORED WITHIN THE FACILITY.
 2. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES..
- FIRE COMPLIANCE
1. CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF 2A-10BC OR BETTER.
 2. CONTRACTOR TO INSTALL FIRE DEPARTMENT APPROVED "KNOX BOX" PER DEPARTMENT REGULATIONS.

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

CONTRACTOR GENERAL NOTES

1. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE INSTALL PROJECT.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
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4. INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, UNLESS INDICATED OTHERWISE.
5. NOTIFY COMINET, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A COMINET REPRESENTATIVE AND ADJUSTING THE BID ACCORDINGLY.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
7. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A COMINET REPRESENTATIVE.
8. THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY COMINET, THE CONTRACTOR SHALL PROVIDE COMINET WITH ONE COPY OF ALL RED-LINED DRAWINGS.
9. VERIFY ALL FINAL EQUIPMENT WITH A COMINET REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY COMINET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THIS/HER WORK WITH THE CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

DRIVING DIRECTIONS

DIRECTIONS (FROM VYA, NEVADA): FROM THE INTERSECTION OF NV-8A AND CR-34, HEAD NORTH ON COUNTY ROAD 34. TURN LEFT ON NEW ACCESS ROAD OFF CR-34 N (.25 MILES PAST DUGWAY ROAD). CONTINUE ON NEW ACCESS ROAD FOR APPROX MILES TO THE SITE.



Know what's below.
Call before you dig.



ComSite
ENGINEERING, LLC
2538 MANOR WALK
DECATUR, GA 30030
404.825.0981

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ZONING DRAWING

SITE NAME: VYA NORTH

ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

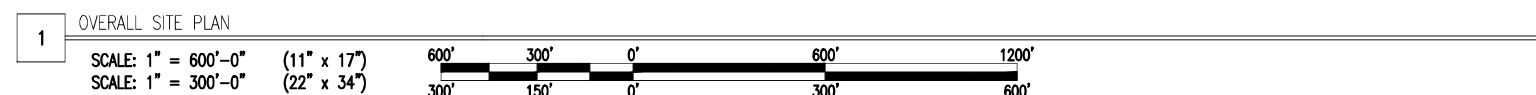
SITE TYPE: MONOPOLE

SHEET TITLE:	
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OVERALL SITE PLAN

SHEET NUMBER:

C1
WSUP26-0012



- | | |
|-------|---|
| NOTE: | <ol style="list-style-type: none"> 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO COMMNET, CONSTRUCTION MANAGER, AND ENGINEER. 2. HVAC LOADING AND ELECTRICAL DESIGNS AND COORDINATION BY OTHERS. 3. INFORMATION SHOWN FOR DEPICTION PURPOSES ONLY. THIS INFORMATION IS NOT A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. 4. EXISTING UNDERGROUND UTILITIES ARE LIKELY TO BE PRESENT THROUGHOUT THE COMPOUND. THE EXACT LOCATIONS ARE UNKNOWN. CONTRACTOR TO CONDUCT UNDERGROUND UTILITY LOCATES PRIOR TO CONSTRUCTION. |
|-------|---|



DRAWN BY:		SA	CHECKED BY:	SY
A	06/05/26	ISSUED FOR REVIEW		
REV	DATE	DESCRIPTION		

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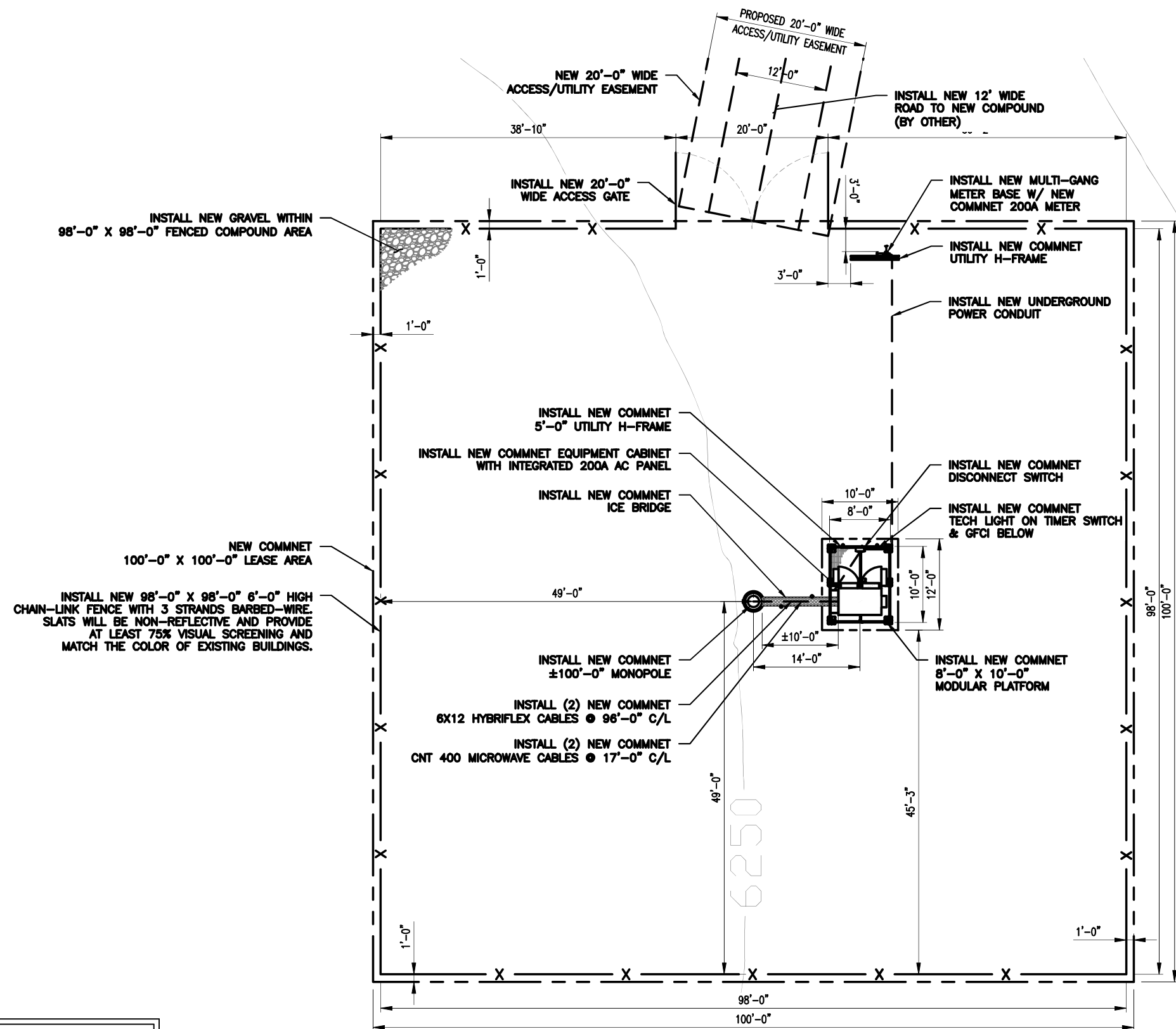
ZONING DRAWING

SITE NAME: **VYA NORTH**

ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

SITE TYPE: MONOPOLE

SHEET TITLE:	COMPOUND PLAN
SHEET NUMBER:	C2 WSUP26-0012
EXHIBIT D	



NOTE:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO COMMNET, CONSTRUCTION MANAGER, AND ENGINEER.
2. HVAC LOADING AND ELECTRICAL DESIGNS AND COORDINATION BY OTHERS.
3. INFORMATION SHOWN FOR DEPICTION PURPOSES ONLY. THIS INFORMATION IS NOT A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH.
4. EXISTING UNDERGROUND UTILITIES ARE LIKELY TO BE PRESENT THROUGHOUT THE COMPOUND. THE EXACT LOCATIONS ARE UNKNOWN. CONTRACTOR TO CONDUCT UNDERGROUND UTILITY LOCATES PRIOR TO CONSTRUCTION.

1 COMPOUND PLAN

SCALE: 1/16" = 1'-0" (11" x 17")
SCALE: 1/8" = 1'-0" (22" x 34")





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ZONING DRAWING

SITE NAME: VYA NORTH

ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

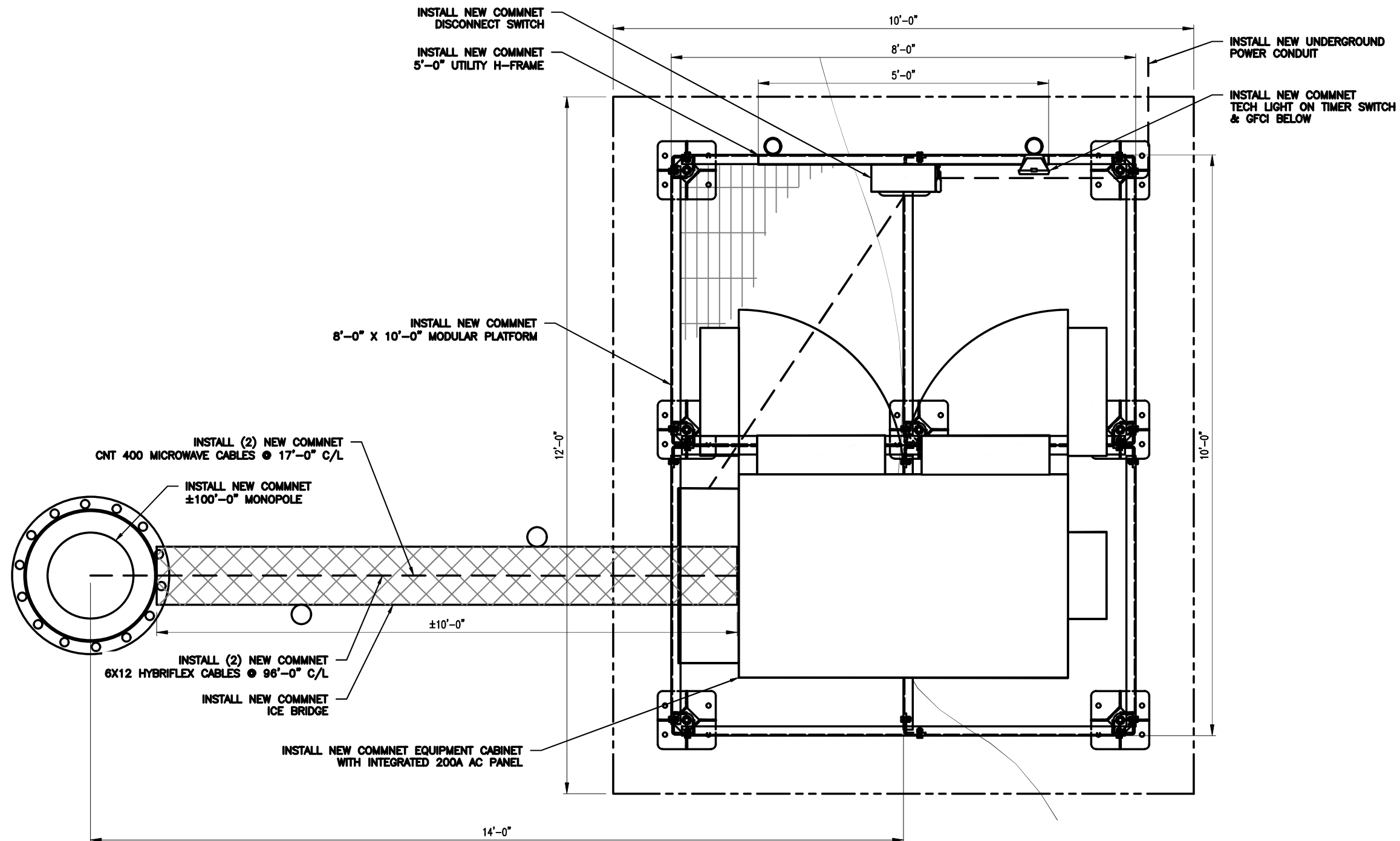
SITE TYPE: MONOPOLE

SHEET TITLE:

EQUIPMENT PLAN

SHEET NUMBER:

C3
WSUP26-0012



NOTE:

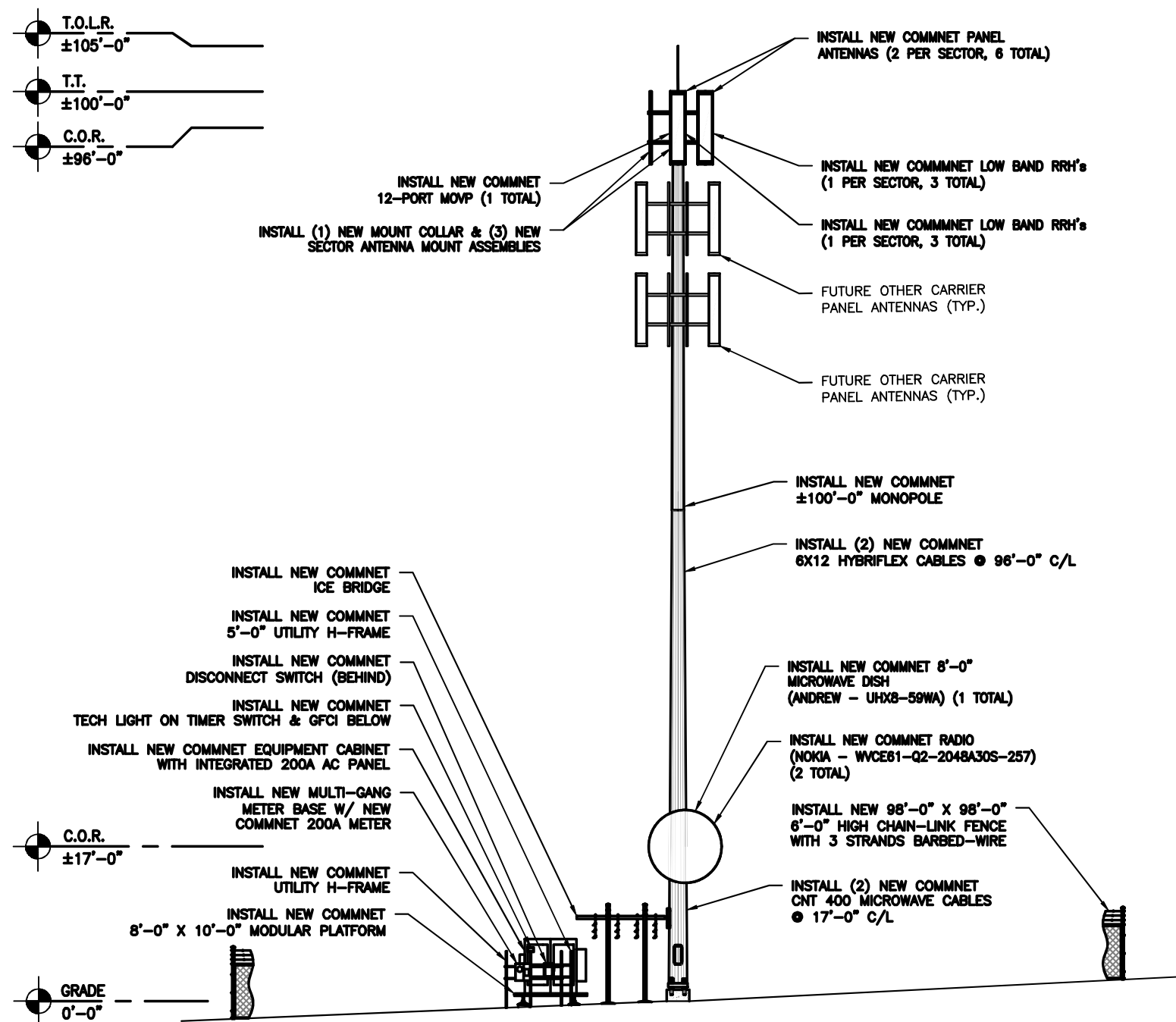
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2. HVAC LOADING AND ELECTRICAL DESIGNS AND COORDINATION BY OTHERS.
3. INFORMATION SHOWN FOR DEPICTION PURPOSES ONLY. THIS INFORMATION IS NOT A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH.
4. EXISTING UNDERGROUND UTILITIES ARE LIKELY TO BE PRESENT THROUGHOUT THE COMPOUND. THE EXACT LOCATIONS ARE UNKNOWN. CONTRACTOR TO CONDUCT UNDERGROUND UTILITY LOCATES PRIOR TO CONSTRUCTION.

☐ EQUIPMENT PLAN

SCALE: $1/2" = 1'-0"$ (11" x 17")
SCALE: $1" = 1'-0"$ (22" x 34")

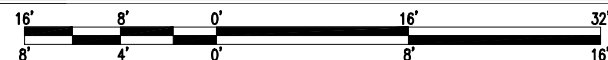


NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT
ANY DISCREPANCIES TO COMMNET CONSTRUCTION
MANAGER AND ENGINEER



PROPOSED ELEVATION

SCALE: $1/16" = 1'-0"$ (11" x 17")
SCALE: $1/8" = 1'-0"$ (22" x 34")



1. COMSITE ENGINEERING, LLC HAS NOT PERFORMED A STRUCTURAL ANALYSIS FOR THE STRUCTURAL CAPACITY OF THE TOWER, FOUNDATION, MOUNTS, ANTENNAS, RADIOS, CABLES OR ANY OTHER APPURTENANCE ON THE STRUCTURE. THE CONTRACTOR AND SUBCONTRACTOR SHALL COORDINATE WITH AND COMPLY WITH THE PROVISIONS OF THE STRUCTURAL ANALYSIS PREPARED BY OTHERS FOR THIS SITE AND PROJECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT ON THE STRUCTURE. IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND THE STRUCTURAL ANALYSIS TO COMMINET AND THE ENGINEER.
2. REFER TO THE STRUCTURAL ANALYSIS AND/OR STRUCTURAL LETTER FOR THE APPROVAL OF ALL MODIFICATIONS TO AND ADDING EQUIPMENT OF NEW APPURTENANCES.
3. REFER TO ADDITIONAL DRAWINGS SPECIFIC TO STRUCTURE REINFORCEMENT FOR THIS SITE SHOULD THERE BE A REQUIREMENT FOR ANY REINFORCEMENT.
4. REFER TO STRUCTURAL ANALYSIS FOR COAXIAL AND OTHER CABLE SUPPORT AND CONFIGURATION DETAILS.
5. REFER TO STRUCTURAL ANALYSIS FOR ALL CARRIERS' APPURTENANCES AS THEY MAY NOT BE SHOWN IN ELEVATION DETAIL.



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REV	DATE	DESCRIPTION

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ZONING DRAWING

SITE NAME: VYA NORTH

ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

SITE TYPE: MONOPOLE

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER:

C4
WSUP26-0012

NOTE:
CONTRACTOR TO VERIFY THE FINAL RF CONFIGURATION
MATCHES THESE DRAWINGS PRIOR TO THE INSTALLATION
OF ANY EQUIPMENT. CONTRACTOR TO REPORT ALL
DISCREPANCIES TO COMMNET CONSTRUCTION MANAGER
AND ENGINEER.



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DECATUR, GA 30030
404 • 825-0981

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ADDRESS: STATE ROUTE 34 &
DUGWAY RD
WASHOE VALLEY, NV 89412

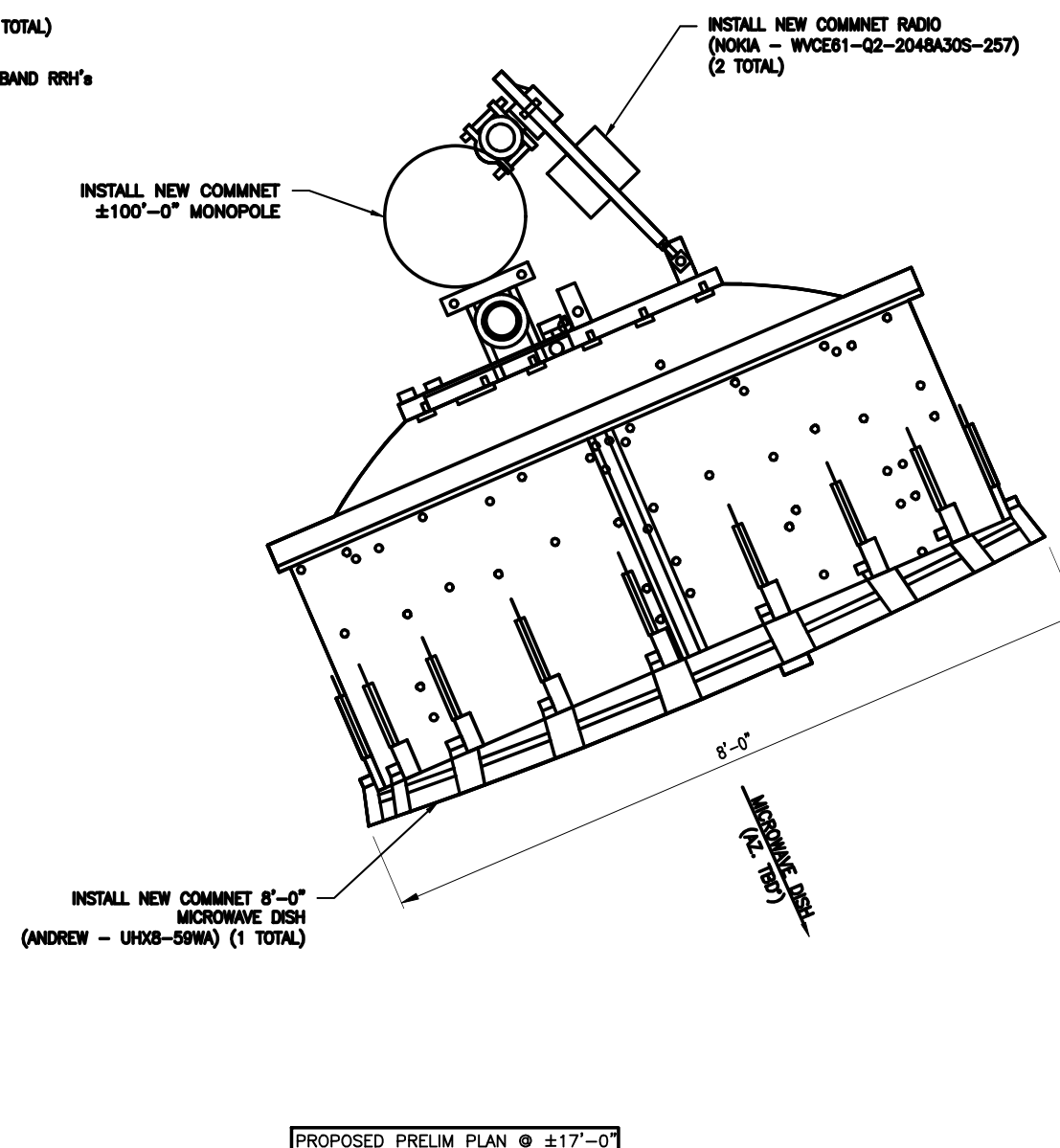
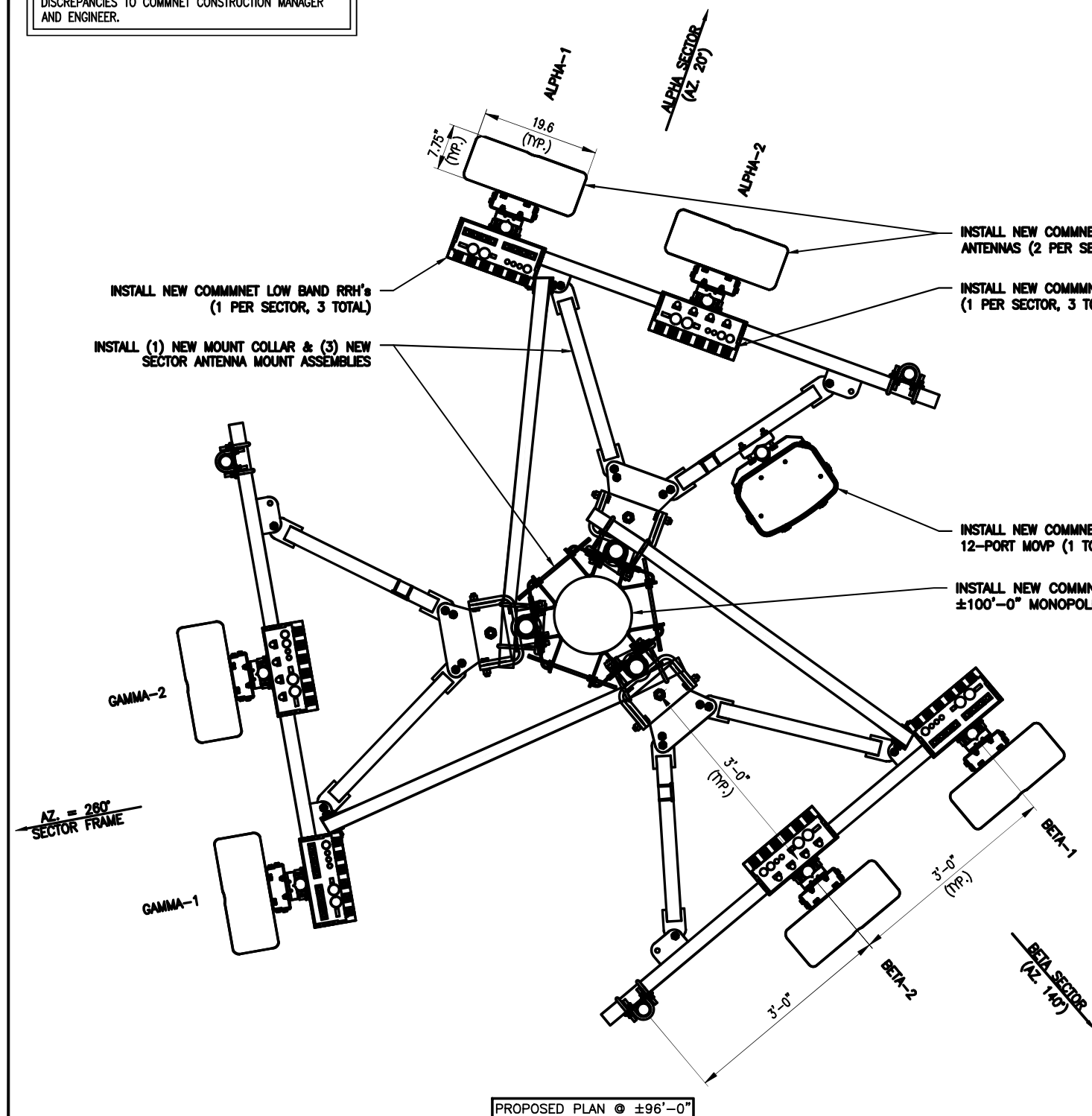
SITE TYPE: MONOPOLE

SHEET TITLE:

ANTENNA PLAN

SHEET NUMBER:

C5
WSUP26-0012



PROPOSED ANTENNA PLAN

ELEMENTS OF THE ORIENTATION DIAGRAM SHOWN ABOVE ARE SCALED TO:

SCALE: $1/2" = 1'-0"$ (11" x 17")
SCALE: $1" = 1'-0"$ (22" x 34")

THESE ELEMENTS ARE: THE ANTENNA MOUNT FACE WIDTH, ANTENNA WIDTH, DISTANCE BETWEEN ANTENNAS (EDGE-TO-EDGE) & DETAIL

1. COMSITE ENGINEERING, LLC HAS NOT PERFORMED A STRUCTURAL ANALYSIS FOR THE STRUCTURAL CAPACITY OF THE TOWER, FOUNDATION, MOUNTS, ANTENNAS, RADIOS, CABLES OR ANY OTHER APPURTENANCE ON THE STRUCTURE. THE CONTRACTOR AND SUBCONTRACTOR SHALL COORDINATE WITH AND COMPLY WITH THE PROVISIONS OF THE STRUCTURAL ANALYSIS PREPARED BY OTHERS FOR THIS SITE AND PROJECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT ON THE STRUCTURE. IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND THE STRUCTURAL ANALYSIS TO COMMNET AND THE ENGINEER.
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