



WASHOE COUNTY

Integrity Communication Service

www.washoecounty.gov

24-0286

STAFF REPORT

BOARD MEETING DATE: May 14, 2024

DATE: Monday, May 06, 2024

TO: Board of County Commissioners

FROM: Quinn Korbulic, Information Technology Manager
Technology Services, 775-328-2348, qkorbulic@washoecounty.gov

THROUGH: Behzad Zamanian, Chief Information Officer

SUBJECT: Recommendation to approve and sign a lease agreement between Washoe County and Desert View Commercial Properties, LLC for Washoe County to rent real property known as East Red Peak (APN 502-250-07) for the purpose of constructing, installing, and operating a communications site for the Nevada Shared Radio System for a period of ten (10) years beginning on July 1, 2024 and ending on June 30, 2034, with the option to renew for one additional term of ten (10) years; for an initial cost of \$2,000.00 per month and subsequent cost increases to the monthly rent each year beginning on January 1, 2025, equal to the effective interest rates earned by the invested assets of the Old-Age and Survivors Insurance (OASI) and Disability Insurance (DI) trust funds combined, not to exceed 10% annually. (All Commission Districts) FOR POSSIBLE ACTION

SUMMARY

Desert View Commercial Properties, LLC is the owner of real property in Washoe County known as East Red Peak (APN 502-250-07).

Washoe County, through the Washoe County Regional Communication System (WCRCS), operates a public safety radio communication network that serves public safety, law enforcement and emergency response organizations in the region. The WCRCS relies on a number of third party-owned sites, land, and equipment to operate its radio communication network. As part of the Nevada Shared Radio System (NSRS) P25 Radio System construction, Washoe County has plans to construct a new radio site on East Red Peak. In order to construct the site at that location, Washoe County needs to rent the East Red Peak property from Desert View Commercial Properties, LLC. The East Red Peak Lease Agreement establishes terms and conditions of Washoe County's use of the land owned by Desert View Commercial Properties, LLC.

Staff recommends approval of the "East Red Peak Lease Agreement" between Washoe County and Desert View Commercial Properties, LLC for Washoe County to lease real property from Desert View Commercial Properties, LLC for the purpose of constructing, installing, and operating a communications site for the Nevada Shared Radio System for a

AGENDA ITEM # 8G1

period of ten (10) years beginning on July 1, 2024, and ending on June 30, 2034, with an option to renew the lease for one additional period of ten (10) years. The initial cost of rent is \$2,000.00 per month. Every year beginning on January 1, 2025, the monthly rent will increase in an amount equal to the effective interest rates earned by the invested assets of the OASI and DI trust funds combined, not to exceed 10% annually.

Washoe County Strategic Objective supported by this item: Fiscal Sustainability

PREVIOUS ACTION

On November 15, 2016, the Board of County Commissioners approved the License Agreement between American Tower LLC and Washoe County to correctively amend the site information commonly known as East Red Peak Tower 3 and to modify the equipment at the Tower Site in support of the County's 800 MHz Regional Radio System.

On December 19, 2000, the Board of County Commissioners approved the License Agreement between Washoe County and ATC Operating Inc. (American Tower Corporation), concerning lease of tower space and adjacent land on Red Peak to construct a communications shelter for the County's 800 MHz Regional Radio System.

BACKGROUND

Washoe County, in partnership with the Nevada Department of Transportation, and NV Energy, are in the process of building the Nevada Shared Radio System (NSRS). The NSRS is a statewide public safety radio system used by first responder agencies across the state. Use of third party-owned sites, land, and equipment to operate the NSRS is common. Washoe County currently operates on East Red Peak through leased space on a radio tower owned by American Tower LLC. By renting the East Red Peak property, Washoe County can construct its own tower, avoid future fees and fee increases required through its lease with American Tower, avoid radio frequency interference present at the current American Tower site location, and gain a more favorable site location from which to transmit public safety radio communications.

FISCAL IMPACT

Budget authority is being recommended in FY25 for this lease in the special revenue fund, Regional Communication System Fund (210), LT Lease-Land (710610) in the amount of \$24,000. Over the ten-year term of the lease, the cost of rent may increase annually based on the effective interest rates earned by the invested assets of the Old-Age and Survivors Insurance (OASI) and Disability Insurance (DI) trust funds combined, not to exceed 10%, for a total ten-year cost not to exceed \$382,500.

RECOMMENDATION

It is recommended the Board approve and sign a lease agreement between Washoe County and Desert View Commercial Properties, LLC for Washoe County to rent real property known as East Red Peak (APN 502-250-07) for the purpose of constructing, installing, and operating a communications site for the Nevada Shared Radio System for a period of ten (10) years beginning on July 1, 2024 and ending on June 30, 2034, with the option to renew for one (1) additional term of ten (10) years; for an initial cost of \$2,000.00 per month and subsequent cost increases to the monthly rent each year beginning on January 1, 2025, equal

to the effective interest rates earned by the invested assets of the Old-Age and Survivors Insurance (OASI) and Disability Insurance (DI) trust funds combined, not to exceed 10% annually.

POSSIBLE MOTION

Should the Board agree with the recommendation, a possible motion would be: “Move to approve and sign a lease agreement between Washoe County and Desert View Commercial Properties, LLC for Washoe County to rent real property known as East Red Peak (APN 502-250-07) for the purpose of constructing, installing, and operating a communications site for the Nevada Shared Radio System for a period of ten (10) years beginning on July 1, 2024 and ending on June 30, 2034, with the option to renew for one (1) additional term of ten (10) years; for an initial cost of \$2,000.00 per month and subsequent cost increases to the monthly rent each year beginning on January 1, 2025, equal to the effective interest rates earned by the invested assets of the Old-Age and Survivors Insurance (OASI) and Disability Insurance (DI) trust funds combined, not to exceed 10% annually.”

EAST RED PEAK LEASE AGREEMENT

This Lease Agreement (“Agreement”) is entered into this 1st day of July, 2024 (“Effective Date”) between **Desert View Commercial Properties, LLC**, a Nevada limited liability company, hereinafter referred to as “Lessor”, and **Washoe County**, a political subdivision of the State of Nevada, hereinafter referred to as “Lessee.” For good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Lessor and Lessee hereby agree as follows:

1. Premises and Use.

(a) Lessor exclusively owns certain real property assigned Assessor’s Parcel Number (APN) 502-250-07, commonly known as East Red Peak, in the County of Washoe, State of Nevada, as described in the attached Exhibit A (the “Property”). Subject to the following terms and conditions, Lessee desires to lease a specific portion of the Property, located at the northeastern portion of Parcel 502-250-07, centered at 39°35’4.13” N 119°47’53.73,” and consisting of the area within the boundaries of the chain link fence to be constructed by Lessee on the Property, together with easements for access and utilities, described and depicted in the attached Exhibit B (collectively referred to hereinafter as the “Premises”). The location of the easements for access and utilities is described and depicted in the attached Exhibit B.

(b) Subject to the following terms and conditions, Lessor agrees to lease the Premises unto Lessee and Lessee agrees to lease the Premises from Lessor for such uses as will accommodate the Lessee’s construction, installation and operation of a communications site on the subject property including but not limited to a lattice radio tower, a building, radio and microwave antennas, radio transceivers, fiber optic equipment, multiplexers, servers and network equipment, data acquisition and control devices, Remote Weather Information Systems (RWIS), emergency power systems, battery systems, and generators. All equipment at the site, except for the lattice tower, and building is to be housed inside the building or attached to the tower, as shown in attached Exhibit B.

(c) Access: Lessee personnel or contractors shall only access the site during construction of the communications site; for preventative maintenance as necessary; or for emergency communication site repairs.

2. Commencement Date.

The “Commencement Date” of this Agreement shall be the date the radio transceivers installed by Lessee on the Premises begin sending and/or receiving signals, but in no event shall it be more than one hundred eighty (180) days after the Effective Date of this Agreement.

3. Term.

Lessor hereby agrees to LEASE unto Lessor and Lessee hereby agrees to LEASE from Lessor, the subject premises with the term of this Agreement beginning on the Commencement Date and terminating ten (10) years thereafter (the “Term”) unless this Agreement is terminated earlier or is renewed in accordance with the provisions of this Agreement.

4. Option to Renew.

Provided that Lessee is not then in breach of default of any obligation under this Agreement, Lessee shall have the option at its sole discretion to renew this lease for one (1) additional term of ten (10) years by giving the Lessor written notice at least ninety (90) days before the expiration of the initial term of this lease. If Lessee exercises its option to renew this Agreement for an additional ten (10) year period, the option period shall commence on the next day after the expiration of the initial term of this Agreement and all the terms and conditions set forth in this Agreement shall apply throughout the renewal period.

5. Rent.

Lessee shall pay to Lessor as rent Two Thousand Dollars and 00/100 Cents (\$2,000.00) on the Commencement Date and on the 15th day of each month after the Commencement Date (“monthly rent”). On January 1, 2025, and on January 1 of each year thereafter, Lessee shall pay to Lessor as additional rent a percentage increase to the monthly rent of \$2,000.00 equal to the Effective Interest Rates Earned By the Invested Assets of the OASI and DI Trust Funds combined, not to exceed 10%, for the preceding year as determined by the United States Social Security Administration. Lessee’s rent shall not be increased each year if the Effective Interest Rates Earned by the Invested Assets of the OASI and DI Trust Funds combined is zero for the preceding year as determined by the United States Social Security Administration.

6. Purpose.

(a) The Premises may be used by Lessee to construct, install, and operate a communications site on the subject property for Washoe County public safety services for the purpose of permitting communications within public safety agencies within the County of Washoe, State of Nevada and to support interoperability between those agencies for communications (“Interagency Public Radio System”). This includes the transmission and reception of radio communication signals in all frequencies authorized by governmental entities (“Permitted Use”), and further includes the placement of radio and microwave equipment licensed by the FCC to Washoe County. Lessee is granted permission to place FCC licensed public safety radio equipment and antennas within the subject premises exclusively for the partner agencies of the Interagency Public Radio System.

(b) Lessee specifically acknowledges and agrees that only support equipment utilized for the Interagency Public Radio System and pertaining to the above-identified agencies shall be installed under this Agreement, and further acknowledges and agrees that Lessee is expressly prohibited from assigning and/or subleasing any of its rights under this Agreement to anyone other than a partner agency to the Interagency Public Radio System. In no event shall Lessor approve additional users for the Premises without Lessee’s prior written approval, said approval may be withheld or approved at Lessee’s sole discretion.

(c) Lessor and Lessee agree and acknowledge that Lessor has existing agreements in place with other governmental and quasi-governmental agencies for communication site space rent that are outside of this agreement and these specific Premises.

7. Improvements.

(a) Lessee shall have the right to erect, maintain and operate on the Premises its telecommunication facility, including a lattice radio tower, a building, radio and microwave antennas, radio transceivers, fiber optic equipment, multiplexers, servers and network equipment, data acquisition and control devices, Remote Weather Information Systems (RWIS), emergency power systems, battery systems, generators, and security cameras as set forth in the attached Exhibit B. Any additional improvements by Lessee shall be approved by Lessor at Lessor's sole discretion. All improvements shall be accomplished in a workmanlike manner and in compliance with all applicable federal, state, county and municipal laws and regulations.

(b) Lessee agrees to maintain the leased premises in as good a state of repair as when first occupied. During construction, Lessee agrees to only disturb the land for the following purposes: construction or extension of access road, construction of communications tower and building foundations, and installation of footings for solar array. No other land on the surrounding property shall be disturbed in any way. Lessee agrees to be responsible for all replacements and or repairs of communication site equipment within the leased premises. Lessee agrees to be responsible for and to repair any damage to the access road caused by Lessee's use of the access road. This does not include regular wear on the road.

(c) Upon termination of this Agreement, Lessee shall quit the Premises peaceably, with no damage to the Premises, normal wear and tear and damage by insured casualty excepted and shall remove all of Lessee's personal property from the Premises. Further, the Lessor shall remove or cause to be removed, at its own expense, any and all improvements erected or placed by it on said Premises so long as damage to the Premises is avoided or repaired by Lessee within 6 months of the date of termination. Alternatively, Lessor may choose to take ownership of any improvements by paying lessee fair market value for said improvements.

8. Interference.

Lessee shall not use, nor shall Lessee permit its employees, invitees or agents to use any portion of the Property in any way which shall interfere with Lessor and any and all of Lessor's customers' existing telecommunications equipment. If Lessee creates any such interference, Lessee shall eliminate or remedy the interference within ten (10) business days after receiving notice from the Lessor. If the Lessee does not remedy the interference within ten (10) business days it shall be a material breach of this Agreement by the Lessee. In the event any such interference does not cease within ten (10) business days of receipt of notice to Lessee, the parties acknowledge that continuing interference may cause irreparable injury and, therefore, Lessor shall have the right, in addition to any other rights that it may have at law or in equity, to bring action

to enjoin such interference and/or to terminate use of the equipment causing said interference immediately.

Lessor agrees that it shall not permit its customers to use their telecommunications equipment in a manner which shall interfere with Lessee. Lessor and Lessee further agree that any interference caused by equipment or the activities of Lessor's customers which is not eliminated or remedied within ten (10) business days after the Lessor is notified of the interference, then Lessee shall have the right, in addition to any other rights that it may have at law or in equity, to bring action to enjoin such interference, and/or the right to terminate this agreement without penalty.

9. Taxes.

Lessee shall pay any personal property taxes assessed on, or any portion of such taxes attributable to, the improvements identified in Exhibit B. For the term of this Lease, Lessee shall pay when due, as additional rent, any increase in real property taxes levied against the Property which is directly attributable to Lessee's use of the Property upon production of documentary proof of such increase to Lessor. Lessee's obligations under this section include, but are not limited to, the payment of any taxes assessed as a result of Lessee's construction on the Premises. Lessee is not responsible for the payment of any taxes if Lessor does not provide documentary proof that the real property taxes for Lessor's property increased as a result of Lessee's construction and/or improvements on the leased premises.

10. Indemnification; Insurance.

(a) Indemnification.

Lessor shall not be liable for any damage to Lessee's equipment on account of criminal burglary, terrorism, vandalism, power failure, lack of heat, weather conditions, wild fire, natural and man-made phenomena such as "skip" interference, power line or ignition noise, and co-channel interference, or any other causes, so long as the cause for such activity is not attributable to Lessor's negligence or more culpable acts or omissions.

Lessor shall hold harmless, indemnify and defend Lessee from and against any loss, damage, claim, suit or liability due to injury, including death, or property damage, to any third party arising out of the negligent or more culpable acts or omissions of the Lessor, its agents or employees, in connection with the ownership of the premises and the real property upon which they are located and the Lessor's duties and responsibilities pursuant to this Agreement.

Lessee shall hold harmless, indemnify, and defend Lessor from and against any loss, damage, claim, suit, or liability due to injury, including death, or property damage, to any third party arising out of the negligent or more culpable acts or omissions of the Lessee, its agents, contractors, or employees, arising out of the use of the demised Premises and the Lessee's duties and responsibilities pursuant to this Agreement.

Liability of both parties shall not be subject to punitive or exemplary damages. Actual damages for any Lessee breach shall never exceed the amount of funds that have been appropriated for payment under this Agreement but not yet paid for the fiscal year budget in existence at the time of the breach.

(b) **Environmental Indemnification.**

Lessee hereby agrees to indemnify, defend, save, and keep Lessor, and Lessor's officers, principals, shareholders, partners, employees, successors, and assigns, harmless from and against any and all liabilities, obligations, charges, losses, damages, penalties, claims, actions, and expenses, including without limitation, engineers' and professional fees, soil tests, and chemical analysis, court costs, legal fees, and expenses through all trial, appellate, and administrative levels, imposed on, incurred by, or asserted against Lessor, in any way relating to, arising out of, or in connection with the use, handling, storage, transportation, or disposal of Hazardous Materials by Lessee or its agents, employees, or contractors in, on, or about the Premises. If hazardous substances have been used, stored, manufactured, released or disposed in or upon the Premises or connected areas outside the Premises, or if the Premises or connected areas outside the Premises, are or become contaminated in any manner, for which Lessor is legally liable, Lessor shall indemnify, defend and hold Lessee harmless from all related claims, judgments, penalties, costs or losses, including all expenses incurred for investigation, removal, remediation and restoration mandated by federal, state and local governments, together with Lessee's attorney fees.

(b) **Brokers.** Neither party to this Agreement shall be liable for any real estate brokers' leasing agents' commissions in the absence of a written agreement, which expressly provides therefor and is signed by the party to be charged. Lessor and Lessee shall indemnify, defend, and hold harmless each other from and against any liability arising from such claims for commissions as a result of its acts.

(c) **Insurance.** Lessee is self-insured. Lessee, at its expense, will insure the Premises. Lessee, at its expense, will insure the Premises and building contents against any loss with all risk property policies. Lessee shall provide a statement of insurance and identify the programs covered under the self-insurance program. Lessee, for its employees, shall provide Worker's Compensation and Employee's Liability insurance with statutory coverages including disease per employee and policy limitations. Any and all claims shall be directed to Washoe County's Risk Management Division.

11. **Condemnation.**

In the event Lessor receives notification of any condemnation proceedings affecting all or part of the Premises, Lessor will provide notice of the proceeding to Lessee within forty-eight (48) hours. If a condemning authority takes all of the Premises, or a portion sufficient, in Lessee's sole determination, to render the Premises unsuitable for Lessee, base rent shall be paid up to that day and thereafter the Lessee or the Lessor shall have the right to either cancel this Agreement without penalty or to continue in the possession of the remainder of the same under the terms herein

provided, except that the base rent shall be reduced in proportion to the area of that portion of the Premises taken for such public purpose. All damages awarded as compensation for diminution in value to the leasehold or to the fee of the Premises shall belong to and be the property of Lessor. Lessee shall have the right to claim and recover from the condemning authority such compensation as may be separately awarded or recoverable by Lessee in Lessee's own right on account of any and all damages to Lessee's business by reason of the condemnation and for or on account of any cost or loss to which Lessee might be put in removing Lessee's furniture, fixtures, equipment and leasehold improvements.

12. Choice of Law; Attorney's Fees.

(a) **Choice of Law.** The validity, construction, interpretation and enforceability of this Agreement shall be determined and governed by the laws of the State of Nevada, without giving effect to any choice or conflict of law provision or rule (including substantive, procedural, and remedial law whether of Nevada or any other jurisdiction) that would cause the application of the laws of any jurisdiction other than Nevada. The Parties expressly consent to personal jurisdiction in and exclusive venue in the Second Judicial District Court in and for the County of Washoe situated in Washoe County, Nevada. Exclusive venue for any action to enforce this Agreement shall be in the appropriate state court of the State of Nevada situated in Washoe County, Nevada.

(b) **Attorney's Fees.** Neither party to this Agreement shall be entitled to attorneys' fees and costs incurred for any matter related to interpretation or enforcement of this Agreement.

13. Opportunity to Cure.

Any party asserting a breach of this Agreement by reason of a failure to by Lessee to make any payment, or the failure of either the Lessee or Lessor to observe or perform any covenants, conditions, or provisions of this Agreement, shall provide written notice of such default. Except as otherwise set forth in Paragraph 8 ("Interference"), the defaulting party shall have 30 days within which to cure the default except in circumstances where the nature of the default (other than the payment of money) is such that more than 30 days are reasonably required for completion of the cure, in which case the defaulting party shall not be deemed to be in default if such party commences such cure within the 30-day period and thereafter diligently completes the cure. A failure to cure or initiate the cure shall constitute a material breach of this Agreement by such party. Upon the failure to cure or initiate the cure, as applicable, shall entitle the non-defaulting party to pursue all remedies available under Nevada law, including termination of the Lease and recovery of all damages caused by such default.

14. Assignment and Subletting.

Neither party shall assign, transfer or delegate any rights, obligations or duties under this Agreement without the prior written consent of the other party, which consent shall not be unreasonably withheld. It is understood and agreed to by the Parties hereto that a change in tenants from one government agency to another shall not constitute an assignment or subletting. Upon

such assignment, all covenants and agreements herein contained shall extend to and be obligatory upon the heirs, executors, administrators, and successors, as the case may be, of the respective parties.

15. Warranty of Title and Quiet Enjoyment.

Lessor covenants that so long as Lessee performs the covenants, terms and conditions required of Lessee contained herein, Lessee shall peaceably and quietly have, hold and enjoy the Premises and the leasehold estate granted to Lessee by virtue of this Agreement for the aforesaid Term and any extensions thereof, and the Lessor shall not act or permit any third-person to act in any manner which would interfere with or disrupt or frustrate the Lessee's Permitted Use of the Premises. Lessor warrants that Lessor is seized of good and marketable title to the Premises and has the full power and authority to enter into and execute this Agreement.

16. Notices.

Except as otherwise provided for within this Agreement, all notices, requests, demands, rent payments, or other communications required or permitted to be given under this Agreement shall be in writing and shall be deemed to have been duly given if delivered personally in hand, by telephonic facsimile or electronic mail with simultaneous regular mail, or mailed certified mail, return receipt requested, postage prepaid on the date posted and addressed to the other party at the address set forth below:

For Lessee:

Washoe County
ATTN: Director of Community Services
P.O. Box 11130
Reno, Nevada 89520

And: Washoe County
ATTN: Regional Communications Coordinator
P.O. Box 11130
Reno, Nevada 89520

For Lessor:

David Metts
Desert View Commercial Properties, LLC
1032 Duck Hill Road
Washoe Valley, NV 80704

Either may shall change its address or phone or fax numbers for purposes of this Section 15 by giving notice of such change in the manner provided in this Section 15. Notice shall be effective three days after mailing, or the day of delivery if notice is provided by personal service.

17. Notice of Third-Party Claims.

Lessor shall serve the Lessee with written notice of any third-party claim, suit and or legal action which may affect Lessee's use of the premises, with Lessor to serve the Lessee with such written notice within thirty (30) days of the Lessor's receipt of oral and or written notice of actual or pending claim, suit and or legal action. Lessee shall have the right to defend and compromise the actual or pending claim, suit and or legal action and Lessor shall indemnify the Lessee against all liability, actions, damages, losses and expenses, including but not limited to reasonable attorney's fees and costs arising out of the Lessee's defense and compromise of such actual or pending claims, suits and or legal actions, to the fullest extent authorized under the terms of this Agreement.

18. Hazardous Materials.

(a) **Lessee Operations.** Lessee shall not cause in, on, or under the Premises, or suffer or permit to occur in, on, or under, the Premises any generation, use, manufacturing, refining, transportation, emission, release, treatment, storage, disposal, presence, or handling of Hazardous Materials, except that limited quantities of Hazardous Materials may be used, handled, or stored on the Premises, provided such limited quantities of Hazardous Materials are incident to and reasonably necessary for the maintenance of the Premises or Lessee's operations for its Permitted Use and are in compliance with all Environmental Laws. Should a release of any Hazardous Material occur at the Premises or the Building Complex as a result of the acts or omissions of Lessee, or its employees, agents, contractors, or invitees, Lessee shall immediately contain, remove from the Premises, and/or properly dispose of such Hazardous Materials and any material contaminated by such release, and remedy and mitigate all threats to human health or the environment relating to such release, all in accordance with Environmental Laws.

For purposes of this Agreement, "Environmental Laws" shall mean all Laws: (a) relating to the environment, human health, or natural resources; (b) regulating, controlling, or imposing liability or standards of conduct concerning any Hazardous Materials; (c) relating to Remedial Action; and (d) requiring notification or disclosure of releases of Hazardous Materials or of the existence of any environmental conditions on or at the Premises, as any of the foregoing may be amended, supplemented, or supplanted from time to time.

For purposes of this Agreement, "Hazardous Materials" shall mean any pollutant, contaminant, or hazardous, dangerous, or toxic chemicals, materials, or substances within the meaning of any applicable local, state, or federal environmental law relating to or imposing liability or standards of conduct concerning any hazardous, toxic, or dangerous waste substance or material, all as amended or hereafter amended.

19. **Termination.**

In accordance with NRS 244.320, the continuation of this Agreement is subject to and contingent upon sufficient funds being appropriated, budgeted and otherwise made available by the Board of County Commissioners each fiscal year. The parties further agree that if the funding is not approved, appropriated, or is withdrawn for any reason by the Board of County Commissioners, this Agreement shall automatically terminate, and Lessee shall have no further obligation under this Agreement. In the event of such a termination, the Lessor waives any and all claims for damages. To address Lessee improvements upon termination, the parties should refer to section 7(c) of this Agreement.

In addition to any other provisions contained herein, this Agreement may be terminated on thirty (30) days prior written notice as follows: (i) by either party upon a default of any condition, covenant or term of this Agreement by the other party, which default is not cured in accordance with the provisions of Section 13 “Opportunity to Cure” of this Agreement; or (ii); if Lessee is unable to obtain, maintain, operate or otherwise forfeits or cancels any required approval(s) or the issuance of license or permit by any governmental authority for the construction or operation of the Facility identified in Exhibit B.

Failure to declare a breach, or a waiver of any particular breach, of the Agreement or its material or nonmaterial terms by either party shall not operate as a waiver by such party of any of its rights or remedies as to any other breach.

Except as otherwise provided for by law or this Agreement, the rights and remedies of the parties shall not be exclusive and are in addition to any other rights and remedies provided by law or equity, including but not limited to actual damages.

20. **Authority.**

Each person executing this Agreement on behalf of any party warrants that he/she has the right and authority to execute this Agreement, and that all the procedures and approvals that are necessary and required to enable him/her to properly execute this Agreement and to bind the person or entity whom he/she represents in accordance with the terms hereof have been followed and/or secured. Each party agrees to execute and deliver all documents and to perform all further acts as may be reasonably necessary to carry out the provisions of this Agreement.

21. **Miscellaneous.**

(a) **Binding Effect.** This Agreement shall extend to and bind the heirs, personal representatives, successors, and assigns of Lessor and Lessee and shall constitute covenants running with the land.

(b) **Headings; Gender.** The headings, captions, and numbers in this Agreement are solely for convenience and shall not be considered in construing or interpreting any provision in this Agreement. Wherever appropriate in this Agreement, personal pronouns shall be deemed to include other genders and the singular to include the plural, if applicable.

(c) **Counterparts.** This Agreement may be executed in several counterparts, each of which shall constitute an original and all of which together shall constitute but one and the same agreement. The original execution pages of counterpart copies of this Agreement may be attached to any one such copy to form a single, complete document.

(d) **Limited Relationship.** Nothing contained in this Lease shall be deemed or construed by the parties hereto or by any third person to create the relationship of principal and agent, partnership, joint venture or any association between Lessee and Lessor other than contracting parties.

(e) **Survival.** The provisions hereof, which by their nature are continuing, continue in full force and effect and shall bind the parties beyond any termination, cancellation, or expiration hereof and shall not be deemed to merge into any deed or other conveyance or document to be provided pursuant to this Agreement.

(f) **Severability.** If any provision of this Agreement is found by a court of competent jurisdiction to be invalid or unenforceable, then such provisions shall be severed from this Agreement and the remainder will remain in full force and effect.

(g) **Waivers.** The failure of either party at any time to require performance of any provision of this Agreement shall not limit such party's right to enforce said provision or require the timely performance of any other obligation. The waiver of any breach of any provision in this Agreement shall not constitute a waiver of any succeeding breach thereof or the breach of any other provision.

(h) **Time of Performance.** Time is of the essence in the performance of each obligation set forth in this Agreement.

(i) **Entire Agreement.** This Agreement, including the Exhibits, and any written Amendments and/or Addendum hereto that may be executed from time to time by the parties, constitutes the entire agreement between the parties pertaining to the subject matter hereof and contains all the agreements, promises, and understandings between the Lessor and Lessee, and no verbal or oral agreements, promises, statements, assertions, or representations by Lessor or Lessee or any employees, agents, contractors or other representations of either, shall be binding upon Lessor or Lessee. This Agreement cannot be changed, modified, or amended, in whole or in part, except by a written amendment executed by Lessor and Lessee in the same manner as this Agreement is executed.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first above written.

LESSOR: DESERT VIEW COMMERCIAL PROPERTIES, LCC

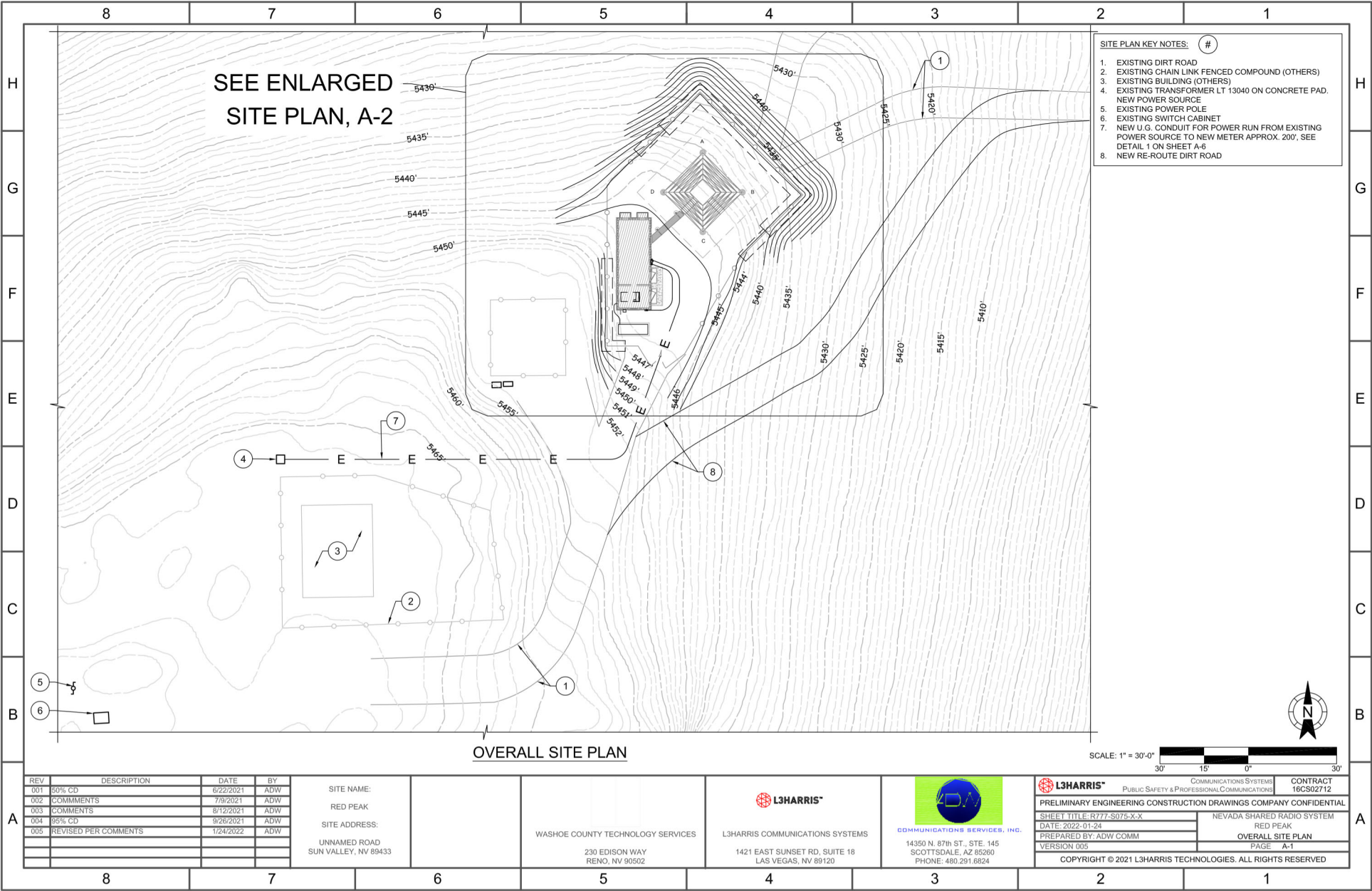
By: 

David L. Metts, Manager

LESSEE: WASHOE COUNTY, a political sub-division of
the State of Nevada

By: 

Alexis Hill
Washoe County Commission



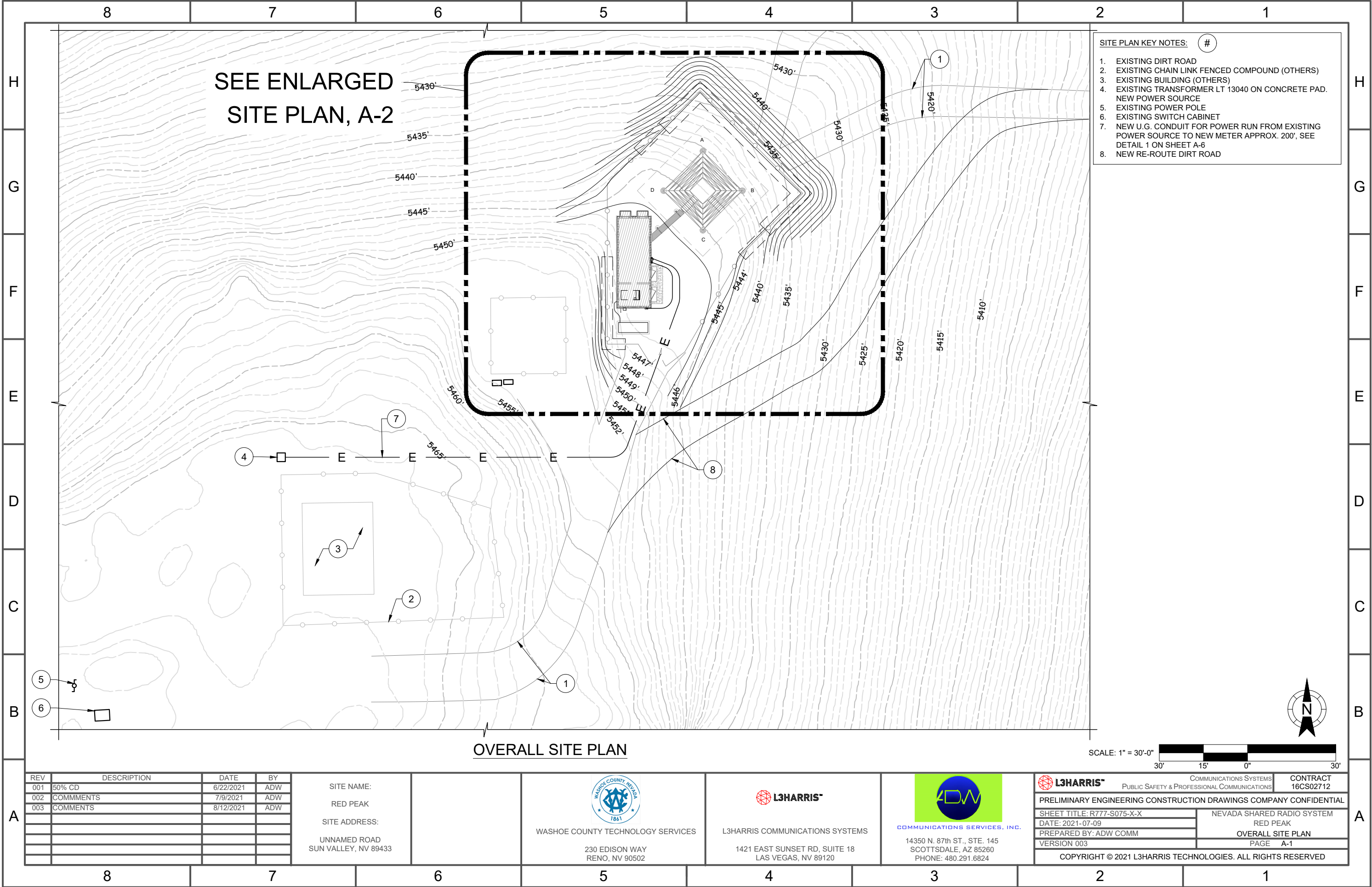
	8	7	6	5	4	3	2	1
H	GENERAL NOTES			NEVADA SHARED RADIO SYSTEMS			PROJECT NOTES	
	THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT AS SET FORTH IN THE CONSTRUCTION DRAWINGS, CONTRACT DOCUMENTS AND THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF THE CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK UNLESS OTHERWISE DIRECTED.						PROJECT NOTES: 1. THE FACILITY IS UNMANNED WITH RESTRICTED ACCESS. EQUIPMENT ROOM/SHELTER AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF WASHOE COUNTY COMMUNICATION. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE AND THE WORK ASSOCIATED WITH ANY EQUIPMENT IS NOT TYPICALLY PERFORMED BY PERSONS WITH DISABILITIES. 3. NO SANITARY SEWER, POTABLE WATER OR WASTE DISPOSAL IS REQUIRED. 4. ADA COMPLIANCE IS NOT REQUIRED PER IBC SECTION 1103.2.9	
	CODE COMPLIANCE						SHEET INDEX	
	ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 2018 INTERNATIONAL BUILDING CODE (IBC) ADMENDMENTS 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) ADMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE (IMC) ADMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE (IFGC) ADMENDMENTS 2018 INTERNATIONAL PLUMBING CODE (IPC) ADMENDMENTS 2017 NATIONAL ELECTRICAL CODE (NEC) ADMENDMENTS 2018 INTERNATIONAL FIRE CODE (IFC) ADMENDMENTS 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) ADMENDMENTS ANSI/EIA-222-G STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS						TITLE: DESCRIPTION: T-1 TITLE SHEET & PROJECT INFORMATION T-2 ABBREVIATIONS & LEGEND GN-1 GENERAL NOTES GN-2 GENERAL NOTES GN-3 GENERAL NOTES GN-4 ABBREVIATIONS & LEGEND A-1 OVERALL SITE PLAN A-2.1 ENLARGED SITE PLAN A-2.2 GRADING PLAN A-2.3 FLOOR PLAN - FINAL A-2.4 ENTRY PORT DIAGRAM A-3.1 TOWER ELEVATION A-3.2 TOWER APPURTENANCE CHART A-4 CONSTRUCTION DETAILS A-5 CONSTRUCTION DETAILS A-6 CONSTRUCTION DETAILS A-7 CONSTRUCTION DETAILS A-8 CONSTRUCTION DETAILS E-1 ELECTRICAL NOTES E-2 ELECTRICAL NOTES E-3 ONE-LINE DIAGRAM G-1 GROUNDING PLAN G-2 GROUNDING DETAILS G-3 GROUNDING DETAILS	
	JURISDICTION: WASHOE COUNTY						ATTACHMENT: REPORT GEOTECHNICAL INVESTIGATION REPORT REPORT TOWER CALCULATIONS (SABRE INDUSTRIES)	
G	VICINITY MAP			PROJECT TEAM			PROJECT INFORMATION	
	SITE							
	PROJECT OWNER: WASHOE COUNTY TECHONOLOGY SERVICES 230 EDISON WAY RENO, NV 90502 CONTACT: MELISSA LAWNEY							
	PROJECT MANAGER: L3HARRIS COMMUNICATIONS SERVICES 1421 EAST SUNSET RD, SUITE 18 LAS VEGAS, NV 89120 CONTACT: HEATHER TAYLOR PHONE: (775) 856-8839							
	APPLICANT: L3HARRIS COMMUNICATIONS SYSTEMS 1421 EAST SUNSET RD. SUITE 18 LAS VEGAS, NEVADA 89120 CONTACT: HEATHER V. TAYLOR PHONE: (775) 856.8839 EMAIL: Heather.Taylor@L3Harris.com							
F	DRIVING DIRECTIONS			SPECIAL INSPECTIONS			UTILITY TABLE	
	FROM RENO CITY, NV: MERGE ONTO I-580 N VIA THE RAMP TO I-80. MERGE ONTO I-580 N. KEEP LEFT TO STAY ON I-580 N. CONTINUE ONTO US-395 N. TAKE EXIT 72 TOWARD PANTHER VALLEY. CONTINUE ONTO CARSON-RENO HWY (OLD US 395/N VIRGINIA ST). TURN LEFT ONTO PANTHER DR. TURN RIGHT ONTO W RANGER RD. TURN LEFT ONTO NEWPORT LN. SLIGHT RIGHT ONTO COLLINS CIR. CONTINUE STRAIGHT ONTO CAROLYN WAY. TURN LEFT ONTO SAGEHEN LN AND CONTINUE TO TRAVEL 0.5 MI TO KTHX-FM RENO FACILITY. PASSING KTHX-FMM RENO APPROXIMATELY 300 FEET, DESTINATION IS LOCATED ON THE EXISTING DIRT ROAD.							
	CONSULTANT: ADW COMMUNICATIONS SERVICES, INC. 14350 NORTH 8TH STREET SCOTTSDALE, ARIZONA 85026 CONTACT: LARRY ZAK PHONE: (480) 291.6820 EMAIL: lzak@adwcomm.com							
	TOWER MANUFACTURER: SABRE INDUSTRIES 7101 SOUTHBRIDGE DRIVE P.O. BOX 658 SIOUX CITY, IA 51102 PHONE: (712) 258-6690							
	UTILITY:							
E	PROJECT DESCRIPTION			WASHOE COUNTY ARIZONA			L3HARRIS	
	THE SITE PROPOSED SCOPE INCLUDES THE INSTALLATION OF A NEW SELF-SUPPORT TOWER WITH NEW ANTENNAS & TOWER FOUNDATION, NEW EQUIPMENT SHELTER, GENERATOR, ICE BRIDGE, AND NEW WALL FOOTING FOR NEW CHAIN LINK FENCE COMPOUND.							
	UTILITY:							
	PROVIDER:							
	FIRE							
D	PROJECT DESCRIPTION			WASHOE COUNTY ARIZONA			L3HARRIS	
	THE SITE PROPOSED SCOPE INCLUDES THE INSTALLATION OF A NEW SELF-SUPPORT TOWER WITH NEW ANTENNAS & TOWER FOUNDATION, NEW EQUIPMENT SHELTER, GENERATOR, ICE BRIDGE, AND NEW WALL FOOTING FOR NEW CHAIN LINK FENCE COMPOUND.							
	UTILITY:							
	PROVIDER:							
	FIRE							
C	PROJECT DESCRIPTION			WASHOE COUNTY ARIZONA			L3HARRIS	
	THE SITE PROPOSED SCOPE INCLUDES THE INSTALLATION OF A NEW SELF-SUPPORT TOWER WITH NEW ANTENNAS & TOWER FOUNDATION, NEW EQUIPMENT SHELTER, GENERATOR, ICE BRIDGE, AND NEW WALL FOOTING FOR NEW CHAIN LINK FENCE COMPOUND.							
	UTILITY:							
	PROVIDER:							
	FIRE							
B	PROJECT DESCRIPTION			WASHOE COUNTY ARIZONA			L3HARRIS	
	THE SITE PROPOSED SCOPE INCLUDES THE INSTALLATION OF A NEW SELF-SUPPORT TOWER WITH NEW ANTENNAS & TOWER FOUNDATION, NEW EQUIPMENT SHELTER, GENERATOR, ICE BRIDGE, AND NEW WALL FOOTING FOR NEW CHAIN LINK FENCE COMPOUND.							
	UTILITY:							
	PROVIDER:							
	FIRE							
A	PROJECT DESCRIPTION			WASHOE COUNTY ARIZONA			L3HARRIS	
	THE SITE PROPOSED SCOPE INCLUDES THE INSTALLATION OF A NEW SELF-SUPPORT TOWER WITH NEW ANTENNAS & TOWER FOUNDATION, NEW EQUIPMENT SHELTER, GENERATOR, ICE BRIDGE, AND NEW WALL FOOTING FOR NEW CHAIN LINK FENCE COMPOUND.							
	UTILITY:							
	PROVIDER:							
	FIRE							

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[illegible]

Exhibit B

8				7		6		5		4		3		2		1		
H	ABBREVIATION	DESCRIPTION	DIM	DIMENSION	KWH	KILOWATT - HOURS	RF	RADIO FREQUENCY	<div>LEGEND</div> <div><div><div><div></div></div></div><div>REVISION</div></div> <div><div><div><div>1</div></div></div><div>KEYED NOTES</div></div> <div><div><div><div>100</div></div></div><div>ROOM NUMBER</div></div> <div><div><div></div></div><div>CENTER LINE</div></div> <div><div><div></div></div><div>PROPERTY LINE</div></div> <div><div><div></div></div><div>DRAINAGE DITCH / WATER FLOW DIRECTION</div></div> <div><div><div></div></div><div>EASEMENT LINE</div></div> <div><div><div></div></div><div>FIBER</div></div> <div><div><div></div></div><div>GAS LINE</div></div> <div><div><div></div></div><div>OVERHEARD POWER LINE</div></div> <div><div><div></div></div><div>UNDERGROUND ELECTRICAL ROUTE</div></div> <div><div><div></div></div><div>UNDERGROUND MONITOR CONDUIT</div></div> <div><div><div></div></div><div>FENCE</div></div> <div><div><div></div></div><div>LOT LINE</div></div> <div><div><div></div></div><div>COAXIAL CABLE</div></div> <div><div><div></div></div><div>GROUND CONDUCTOR</div></div> <div><div><div></div></div><div>GROUT OR PLASTER</div></div> <div><div><div></div></div><div>(E) BRICK</div></div> <div><div><div></div></div><div>(E) MASONRY</div></div> <div><div><div></div></div><div>CONCRETE</div></div> <div><div><div></div></div><div>EARTH</div></div> <div><div><div></div></div><div>GRAVEL</div></div> <div><div><div></div></div><div>PLYWOOD</div></div> <div><div><div></div></div><div>SAND</div></div> <div><div><div></div></div><div>STEEL</div></div> <div><div><div></div></div><div>WOOD CONT.</div></div> <div><div><div></div></div><div>WOOD BLOCKING</div></div> <div><div><div></div></div><div>GROUND ROD</div></div> <div><div><div></div></div><div>GROUND BUS BAR</div></div> <div><div><div></div></div><div>MECHANICAL CONNECTION</div></div> <div><div><div></div></div><div>EXOTHERMIC WELD OR IRREVERSIBLE HIGH-COMPRESSION CRIMP</div></div> <div><div><div></div></div><div>GROUND ACCESS WELL</div></div>									
	#	POUNDS OR LBS.	DL	DEAD LOAD	LL	LIVE LOAD	LP	LIGHTING PANEL									RSC	RIGID STEEL CONDUIT
	A	AMPERES (ELEC)	DP	DISTRIBUTION PANEL	LDP	LIGHTING DISTRIBUTION PANEL	LPG	LIQUEFIED PROPANE GAS									SCHED	SCHEDULE
	A.B.	ANCHOR BOLT	DS	DOWNSTAGE	LTV	LET-THROUGH VOLTAGE	LVL	LOW-VOLTAGE LOAD DISCONNECT									SD	SERVICE DISCONNECT SWITCH
	ABC	AGGREGATE BASE COURSE	DWG	DRAWING	LWC	LIGHT WEIGHT CONCRETE	SDC	SEISMIC DESIGN CATEGORY									SDI	STEEL DECK INSTITUTE
	A/C	AIR CONDITIONER	EA	EACH	MAS	MASONRY	SEI	STRUCTURAL ENGINEERING INSTITUTE (ASCE)										
	ACI	AMERICAN CONCRETE INSTITUTE	EC	ELECTRICAL CONTRACTOR	MAX	MAXIMUM	SES	SERVICE ENTRANCE SECTION										
	ACP	ACOUSTICAL CEILING PANEL	E.F.	EACH FRAME	MCB	MAIN CIRCUIT BREAKER	SJI	STEEL JOIST INSTITUTE										
	AF	AMPERES FRAME (BREAKER RATING)	E.G.	EQUIPMENT GROUND	MCC	MOTOR CONTROL CENTER	SN	SOLID NEUTRAL										
	A.F.F.	ABOVE FINISHED FLOOR	EGB	EXTERIOR GROUND BUS	MDP	MAIN DISTRIBUTION PANEL	SOG	SLAB ON GRADE										
A.F.G.	ABOVE FINISHED GRADE	E.J.	EXPANSION JOINT	MECH	MECHANICAL	SPD	SURGE PROTECTION DEVICE (SEE TVSS)											
AF&PA	AMERICAN FOREST AND PAPER ASS	ELEC	ELECTRICAL	MGB	MASTER GROUND BUS	SSGB	SHELTER GROUND BUS / SUB-STATION GROUND BUS											
A.G.L.	ABOVE GROUND LEVEL	EM / EMERG	EMERGENCY	MIN	MINIMUM	SW	SWITCH											
AH	AMPERE HOURS (ELEC)	EO	ELECTRICALLY OPERATED	MISC.	MISCELLANEOUS	SWBD	SWITCHBOARD											
AIA	AMERICAN INSTITUTE OF ARCHITECTS	E.S.	EACH SIDE	MLO	MAIN LUGS ONLY	SWGR	SWITCHGEAR											
		E.W.	EACH WAY	MO	MASONRY OPENING	TB	TERMINAL BOX											
		EW	ELECTRIC WATER COOLER	MOE	MODULES OF ELASTICITY	TIA	TELECOMMUNICATIONS INDUSTRY ASSOCIATION											
		EXIST. / (E)	EXISTING	MPE	MECHANICAL, PLUMBING, AND ELECTRICAL	TIA-222-G	CODE FOR TOWER CONSTRUCTION - REVISION "G"											
G	AIC	AMPS INTERRUPTING CAPACITY			MTD	MOUNTED	TGB	TOWER GROUND BUS BAR										
	AL	AUDIENCE LEFT	EXT.	EXTERIOR	NC	NORMALLY CLOSED	TELECOM	TELECOMMUNICATIONS										
	AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	XP	EXPLOSION PROOF	NEC	NATIONAL ELECTRICAL CODE	TMS	THE MASONRY SOCIETY										
	AISI	AMERICAN IRON & STEEL INSTITUTE	FA	FIRE ALARM	NF	NON-FUSIBLE	TNND or T	TINNED										
	AITC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION	FAB.	FABRICATE	NFPA	NATIONAL FIRE PROTECTION AGENCY	T.C.	TOWER CENTER										
			FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY			TOC	TOP OF CURBING OR TOP OF CONCRETE										
			FDN	FOUNDATION			TOF	TOP OF FOOTING										
			FLA	FULL LOAD AMPS			TOS	TOP OF STEEL										
			FLR	FLOOR			TOW	TOP OF WALL										
			FLUOR	FLUORESCENT			TP	TAMPER PROOF										
F	ALT.	ALTERNATE			NIC	NOT IN CONTRACT	TTB	TELEPHONE TERMINAL BACKBOARD										
	ALUM.	ALUMINUM			NIST	NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY	TX or Tx	TRANSMIT										
	AIA	AMERICAN INSTITUTE OF ARCHITECTS	FUSE	FACE OF MASONRY	NL	NIGHT LIGHT	TYP or TYP.	TYPICAL										
			FW	FILLET WELD	OC or O.C.	ON CENTER												
			FY	YIELD STRESS OF STEEL	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED	XFMR / TR	TRANSFORMER										
			G	GROUNDING (ELEC)	P	POLE												
			GA	GAGE OR GAUGE	PB	PUSHBUTTON STATION (ELEC)												
			GALV	GALVANIZED	PC or P.C.	PRECAST												
			GB	GRADE BREAK	PCA	PORTLAND CEMENT ASSOCIATION												
			GEN	GENERATOR	PCF	POUNDS PER CUBIC FOOT												
E	AISC	AMERICAN INST. OF STEEL CONSTRUCTION	GRD	GRADE OR EXISTING GRADE	PCI	PRECAST/PRESTRESSED CONCRETE INSTITUTE												
	AISI	AMERICAN IRON & STEEL INSTITUTE	GFCI	GROUND FAULT CIRCUIT INTERRUPTER														
	AITC	AMERICAN INST. OF TIMBER CONSTRUCTION																
	AMSL	ABOVE MEAN SEA LEVEL																
	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE																
	ANC	ANCHOR																
	APA	APA-ENGINEERED WOOD ASSOCIATION																
D	AITC	AMERICAN INST. OF TIMBER CONSTRUCTION																
	A.P.L.	ABOVE PARAPET LEVEL																
	AR	AUDIENCE RIGHT																
	A.R.L.	ABOVE ROOF LEVEL																
	ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS																
	ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION & AIR CONDITIONING ENGINEERS																
	ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS																
	ASTM	AMERICAN SOCIETY FOR TESTING & MATS.																
	AT	AMPERES TRIP (BREAKER SETTING)																
	ATS	AUTOMATIC TRANSFER SWITCH																
C	AUX	AUXILIARY																
	AWG	AMERICAN WIRE GAUGE																
	AWS	AMERICAN WELDING SOCIETY																
	AZ or AZ.	AZIMUTH																
	@	AT																
	BKR	BREAKER																
	BPS	BOLTED PRESSURE SWITCH																
	BTS	BASE TRANSCEIVER STATION																
	BW	BUTT WELD																
	C	CONDUIT																
B	CB	CIRCUIT BREAKER																
	C.J.	CONTROL JOINT																
	CKT	CIRCUIT																
	CMU	CONCRETE MASONRY UNIT																
	CT	CURRENT TRANSFORMER																
	DEMO	DEMOLITION																
A	REV	DESCRIPTION	DATE	BY	SITE NAME:		WASHOE COUNTY TECHNOLOGY SERVICES		L3HARRIS COMMUNICATIONS SYSTEMS		COMMUNICATIONS SYSTEMS, INC.		COMMUNICATIONS SYSTEMS PUBLIC SAFETY & PROFESSIONAL COMMUNICATIONS		CONTRACT 16CS02712			
	001	50% CD	6/22/2021	ADW	RED PEAK		230 EDISON WAY RENO, NV 90502		1421 EAST SUNSET RD, SUITE 18 LAS VEGAS, NV 89120		14350 N. 87th ST., STE. 145 SCOTTSDALE, AZ 85260 PHONE: 480.291.6824		PRELIMINARY ENGINEERING CONSTRUCTION DRAWINGS COMPANY CONFIDENTIAL		NEVADA SHARED RADIO SYSTEM RED PEAK			
	002	COMMENTS	7/9/2021	ADW									SHEET TITLE: R777-S075		ABBREVIATIONS & LEGEND			
	003	COMMENTS	8/12/2021	ADW									DATE: 2021-07-09		PAGE G-4			
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- SITE PLAN KEY NOTES:** #
- 1. EXISTING DIRT ROAD
 - 2. EXISTING CHAIN LINK FENCED COMPOUND (OTHERS)
 - 3. EXISTING BUILDING (OTHERS)
 - 4. EXISTING TRANSFORMER LT 13040 ON CONCRETE PAD.
NEW POWER SOURCE
 - 5. EXISTING POWER POLE
 - 6. EXISTING SWITCH CABINET
 - 7. NEW U.G. CONDUIT FOR POWER RUN FROM EXISTING
POWER SOURCE TO NEW METER APPROX. 200', SEE
DETAIL 1 ON SHEET A-6
 - 8. NEW RE-ROUTE DIRT ROAD

OVERALL SITE PLAN

REV	DESCRIPTION	DATE	BY
001	50% CD	6/22/2021	ADW
002	COMMENTS	7/9/2021	ADW
003	COMMENTS	8/12/2021	ADW

SITE NAME:
RED PEAK

SITE ADDRESS:

UNNAMED ROAD
SUN VALLEY, NV 89433



WASHOE COUNTY TECHNOLOGY SERVICES
230 EDISON WAY
RENO, NV 90502



L3HARRIS COMMUNICATIONS SYSTEMS
1421 EAST SUNSET RD, SUITE 18
LAS VEGAS, NV 89120



COMMUNICATIONS SERVICES, INC.
14350 N. 87th ST., STE. 145
SCOTTSDALE, AZ 85260
PHONE: 480.291.6824

L3HARRIS COMMUNICATIONS SYSTEMS PUBLIC SAFETY & PROFESSIONAL COMMUNICATIONS		CONTRACT 16CS02712
PRELIMINARY ENGINEERING CONSTRUCTION DRAWINGS COMPANY CONFIDENTIAL		
SHEET TITLE: R777-S075-X-X		NEVADA SHARED RADIO SYSTEM
DATE: 2021-07-09		RED PEAK
PREPARED BY: ADW COMM		OVERALL SITE PLAN
VERSION 003		PAGE A-1
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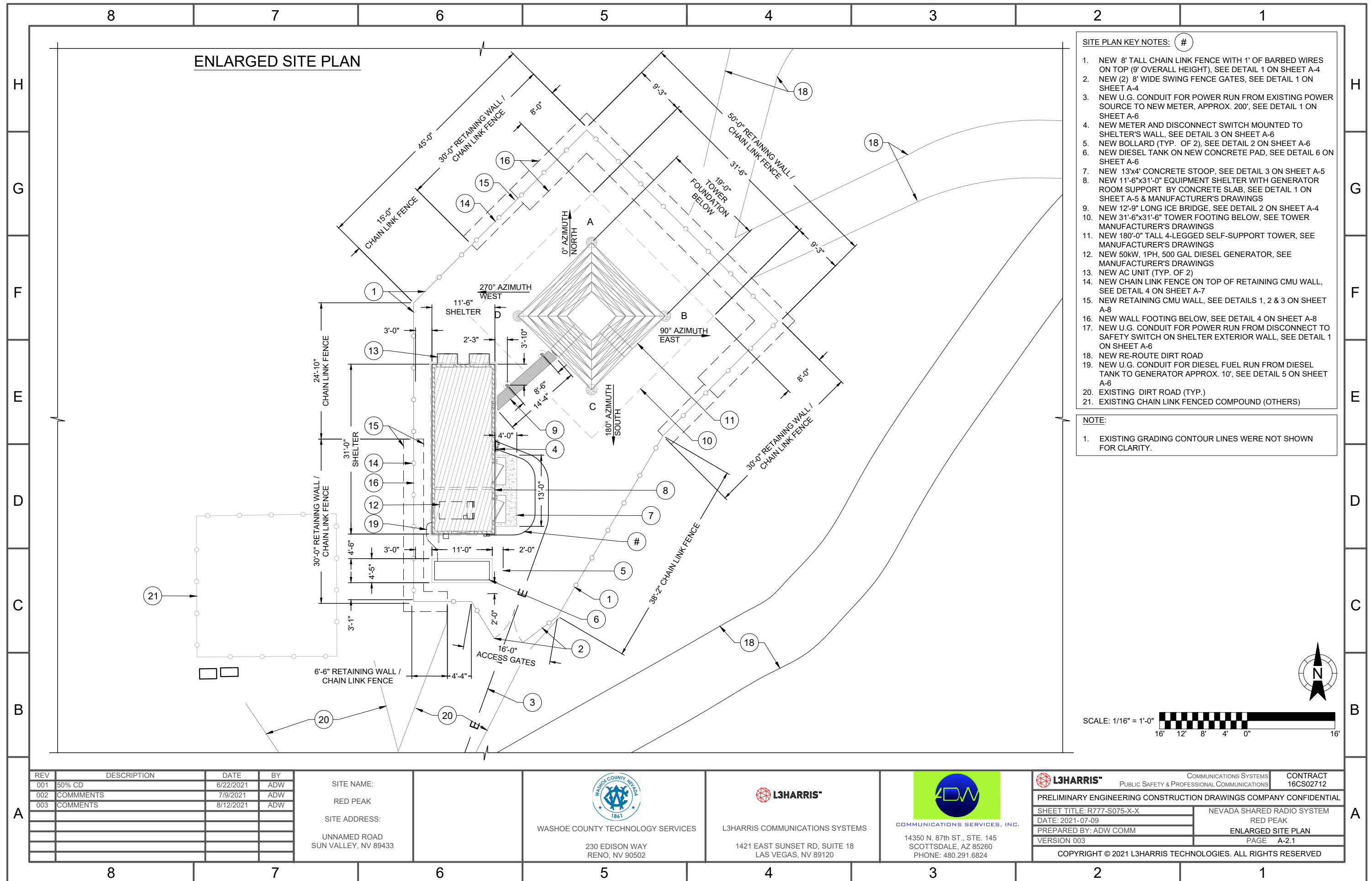
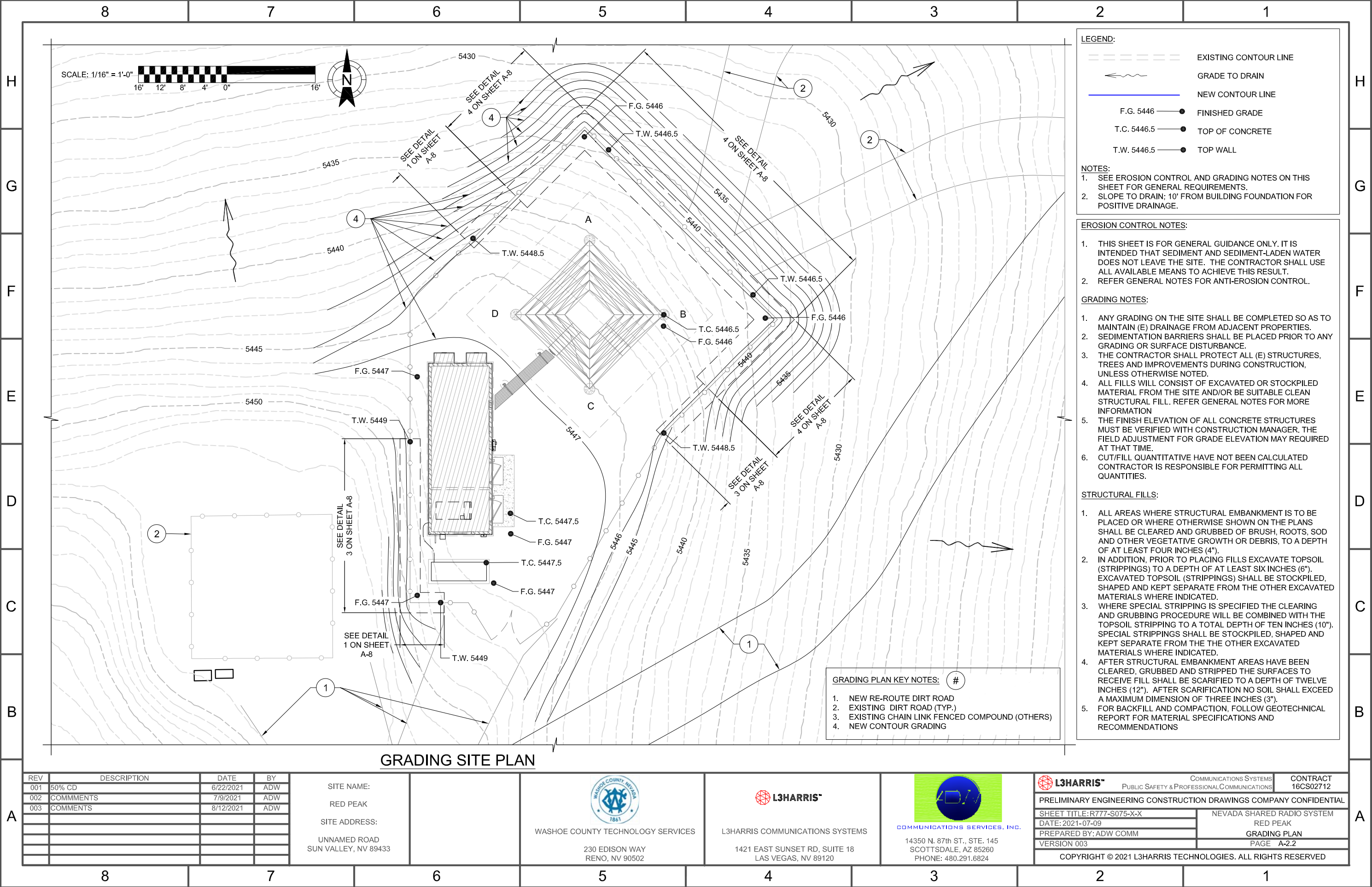
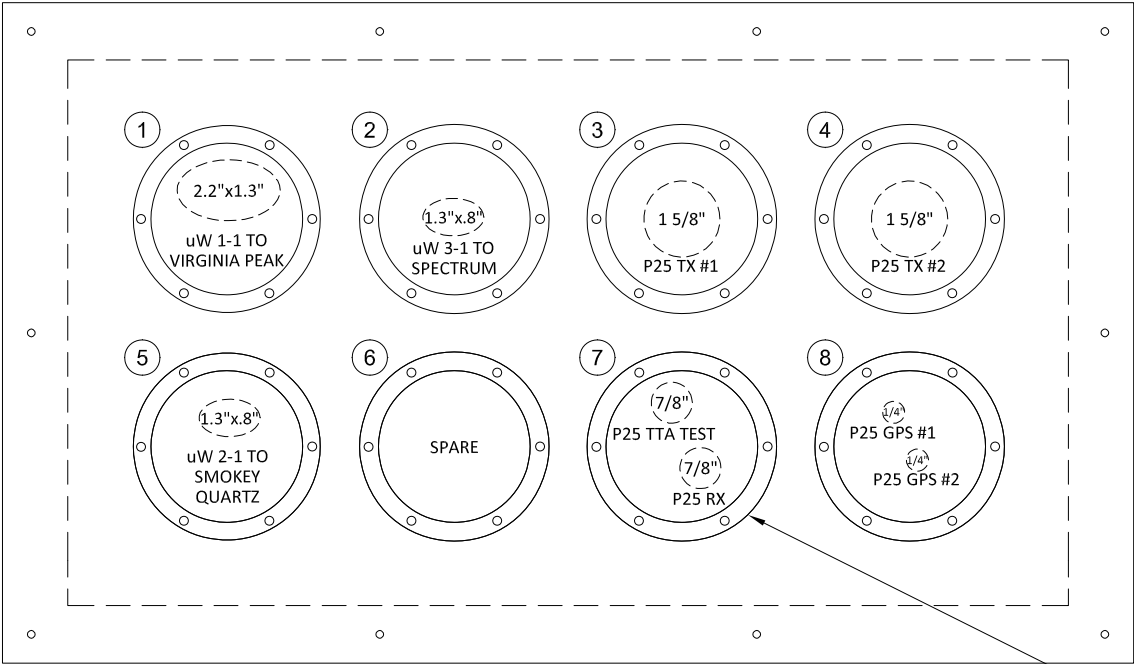


Exhibit B





ENTRY PORT DIAGRAM



PORT ENTRY #1 - AS VIEWED FROM INSIDE SHELTER

BOOT ASSEMBLY
RFS P/N BOOT4-78-2
OR EQUAL

NSRS RF LINE MARKING GUIDELINE				
LINE FUNCTION	COLOR AND NUMBER			
P25 TX #1:	RED			
P25 TX #2:	RED	RED		
NCRN VHF TX:	RED	RED	RED	
NCRN 800 TX:	RED	RED	RED	RED
P25 RX:	GREEN			
NCRN VHF RX:	GREEN	GREEN		
NCRN 800 RX:	GREEN	GREEN	GREEN	
P25 TTA TEST:	BLUE			
NCRN TTA TEST:	BLUE	BLUE		
P25 GPS #1:	YELLOW			
P25 GPS #2:	YELLOW	YELLOW		
NSC GPS #1:	YELLOW	YELLOW	YELLOW	
NSC GPS #2:	YELLOW	YELLOW	YELLOW	YELLOW

NOTES:

1. DRAWING TO BE UPDATED AFTER WASHOE COUNTY
INSTALLS MUTUAL AID RACKS

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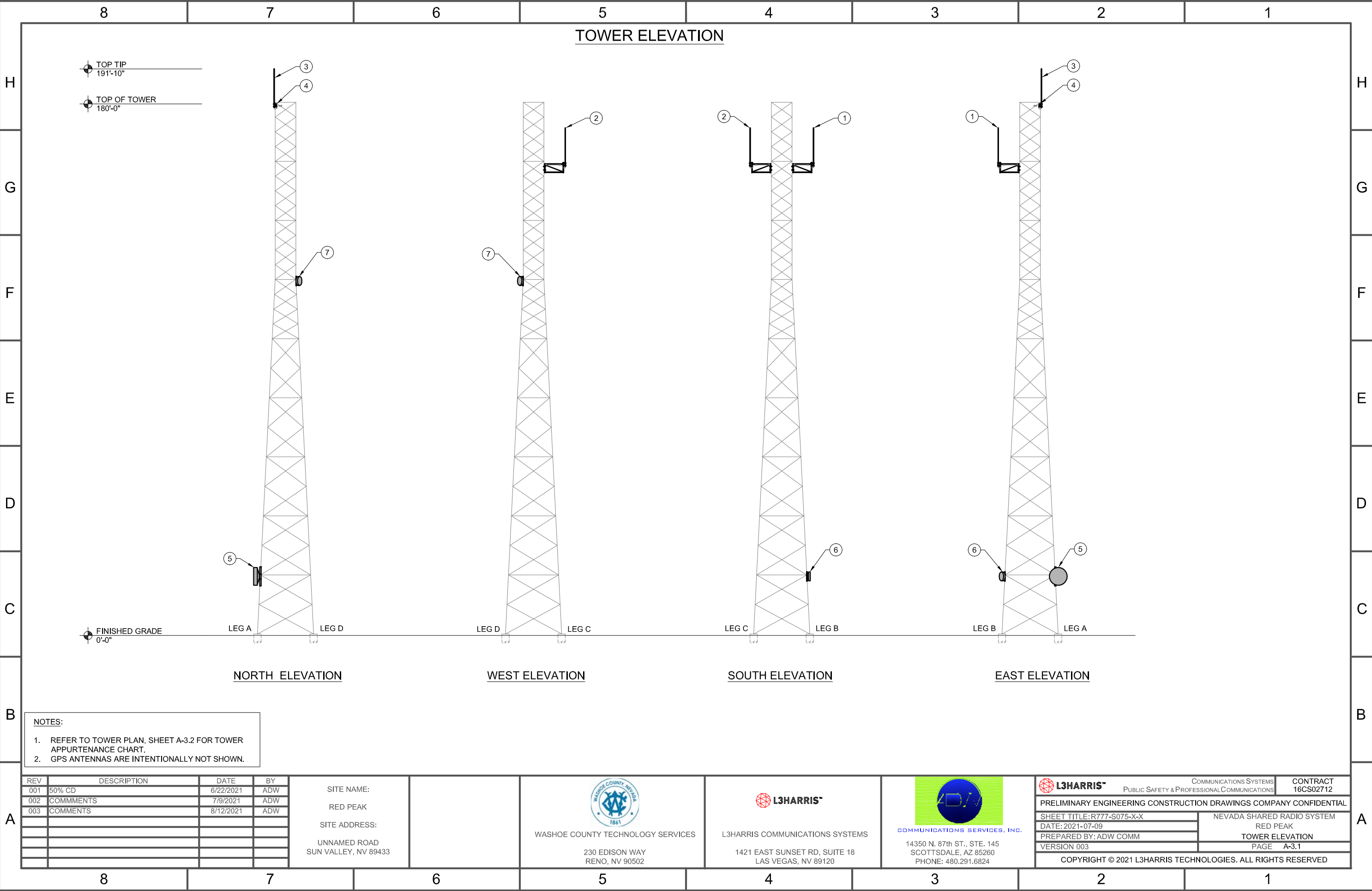
REV	DESCRIPTION	DATE	BY	SITE NAME: RED PEAK SITE ADDRESS: UNNAMED ROAD SUN VALLEY, NV 89433	 WASHOE COUNTY TECHNOLOGY SERVICES 230 EDISON WAY RENO, NV 90502	 L3HARRIS COMMUNICATIONS SYSTEMS 1421 EAST SUNSET RD, SUITE 18 LAS VEGAS, NV 89120	 COMMUNICATIONS SERVICES, INC. 14350 N. 87th ST., STE. 145 SCOTTSDALE, AZ 85260 PHONE: 480.291.6824	 L3HARRIS™ <div>COMMUNICATIONS SYSTEMS PUBLIC SAFETY & PROFESSIONAL COMMUNICATIONS</div>	CONTRACT 16CS02712
001	50% CD	6/22/2021	ADW					PRELIMINARY ENGINEERING CONSTRUCTION DRAWINGS COMPANY CONFIDENTIAL	
002	COMMENTS	7/9/2021	ADW						
003	COMMENTS	8/12/2021	ADW						

SHEET TITLE: R777-S075-X-X	NEVADA SHARED RADIO SYSTEM RED PEAK
DATE: 2021-07-09	
PREPARED BY: ADW COMM	ENTRY PORT DIAGRAM
VERSION 003	PAGE A-2.4
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Exhibit B

TOWER ELEVATION



- NOTES:
- REFER TO TOWER PLAN, SHEET A-3.2 FOR TOWER APPURTENANCE CHART.
 - GPS ANTENNAS ARE INTENTIONALLY NOT SHOWN.

REV	DESCRIPTION	DATE	BY
001	50% CD	6/22/2021	ADW
002	COMMENTS	7/9/2021	ADW
003	COMMENTS	8/12/2021	ADW

SITE NAME:
RED PEAK

SITE ADDRESS:
UNNAMED ROAD
SUN VALLEY, NV 89433



WASHOE COUNTY TECHNOLOGY SERVICES
230 EDISON WAY
RENO, NV 90502



L3HARRIS COMMUNICATIONS SYSTEMS
1421 EAST SUNSET RD, SUITE 18
LAS VEGAS, NV 89120



14350 N. 87th ST., STE. 145
SCOTTSDALE, AZ 85260
PHONE: 480.291.6824



COMMUNICATIONS SYSTEMS
PUBLIC SAFETY & PROFESSIONAL COMMUNICATIONS

CONTRACT
16CS02712

PRELIMINARY ENGINEERING CONSTRUCTION DRAWINGS COMPANY CONFIDENTIAL

SHEET TITLE: R777-S075-X-X

NEVADA SHARED RADIO SYSTEM

DATE: 2021-07-09

RED PEAK

PREPARED BY: ADW COMM

TOWER ELEVATION

VERSION 003

PAGE A-3.1

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TOWER APPURTENANCE CHART

SITE	ENTITY	REGION	LATITUDE	LONGITUDE	ANT #	ANTENNA # NAME	TOWER LEG	ANTENNA EQUIPMENT	STATUS	ANTENNA MODEL	ANTENNA TYPE	ANT. CENTER LINE (FT)	ANTENNA AZIMUTH	MOUNT TYPE	MOUNT AZIMUTH	FEEDLINE 1	FEEDLINE 2
RED PEAK (NEW SITE)	WC	2	39° 35' 04.13"	-119° 47' 53.73"	1	Collinear Omni	B	P25 TX Antenna	New	SC499-HWBLDF(D00-PIP)	11.7' Omni	166	-	6' Standoff		1-5/8"	
180° 4-Legged SST Azimuth through Leg A is 15°					2	Collinear Omni	C	P25 TX Antenna #2	New	SC499-HWBLDF(D00-PIP)	11.7' Omni	166	-	6' Standoff		1-5/8"	
					3	Collinear Omni	A	P25 RX Antenna	New	SC499-HWBLDF(D00-PIP)	11.7' Omni	186	-	Standard w/ No Standoff		1/2" to TTA	
					4	RX Amplifier	A	Tower Top Amp	New	CP00732	RX Amplifier	180		Standard		7/8"	7/8"
					5	uW 1-1	B	uW Ant to Virginia Peak	New	PAD6-59B	6' Microwave	20	56	Pipe to Pipe	56	E-60	
					6	uW 2-1	B	uW Ant to Smokey Quartz	New	SC3-W100B	3' Microwave	20	89	Pipe to Pipe	89	E-105	
					7	uW 3-1	D	uW Ant to Spectrum	New	SC3-W100B	3' Microwave	120	250	Pipe to Pipe	250	E-105	
						GPS 1	Ice Bridge	P25 GPS	New	1200-213	GPS Cone	12				1/4"	
						GPS 2	Ice Bridge	P25 GPS	New	1200-213	GPS Cone	12				1/4"	

NOTES:

1. REFER TO TOWER PLAN, SHEET A-3.1 FOR TOWER ELEVATIONS.

REV	DESCRIPTION	DATE	BY	SITE NAME: RED PEAK SITE ADDRESS: UNNAMED ROAD SUN VALLEY, NV 89433	 WASHOE COUNTY TECHNOLOGY SERVICES 230 EDISON WAY RENO, NV 90502	 L3HARRIS COMMUNICATIONS SYSTEMS 1421 EAST SUNSET RD, SUITE 18 LAS VEGAS, NV 89120	 COMMUNICATIONS SERVICES, INC. 14350 N. 87th ST., STE. 145 SCOTTSDALE, AZ 85260 PHONE: 480.291.6824	COMMUNICATIONS SYSTEMS	CONTRACT		
PUBLIC SAFETY & PROFESSIONAL COMMUNICATIONS		16CS02712									
PRELIMINARY ENGINEERING CONSTRUCTION DRAWINGS COMPANY CONFIDENTIAL											
SHEET TITLE: R777-S075-X-X								NEVADA SHARED RADIO SYSTEM			
DATE: 2021-07-09								RED PEAK			
PREPARED BY: ADW COMM								TOWER APPURTENANCE CHART			
VERSION 003								PAGE A-3.2			
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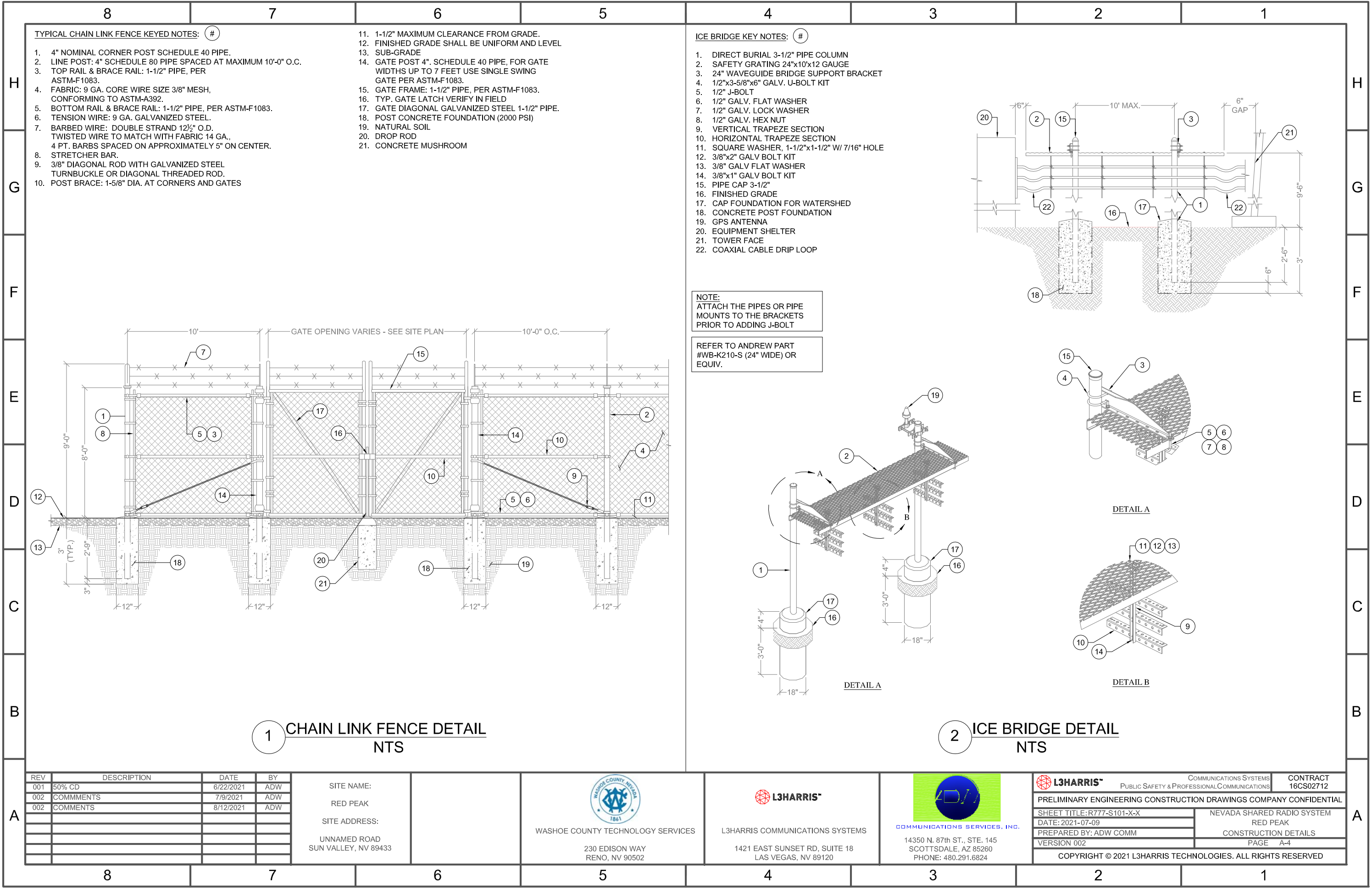
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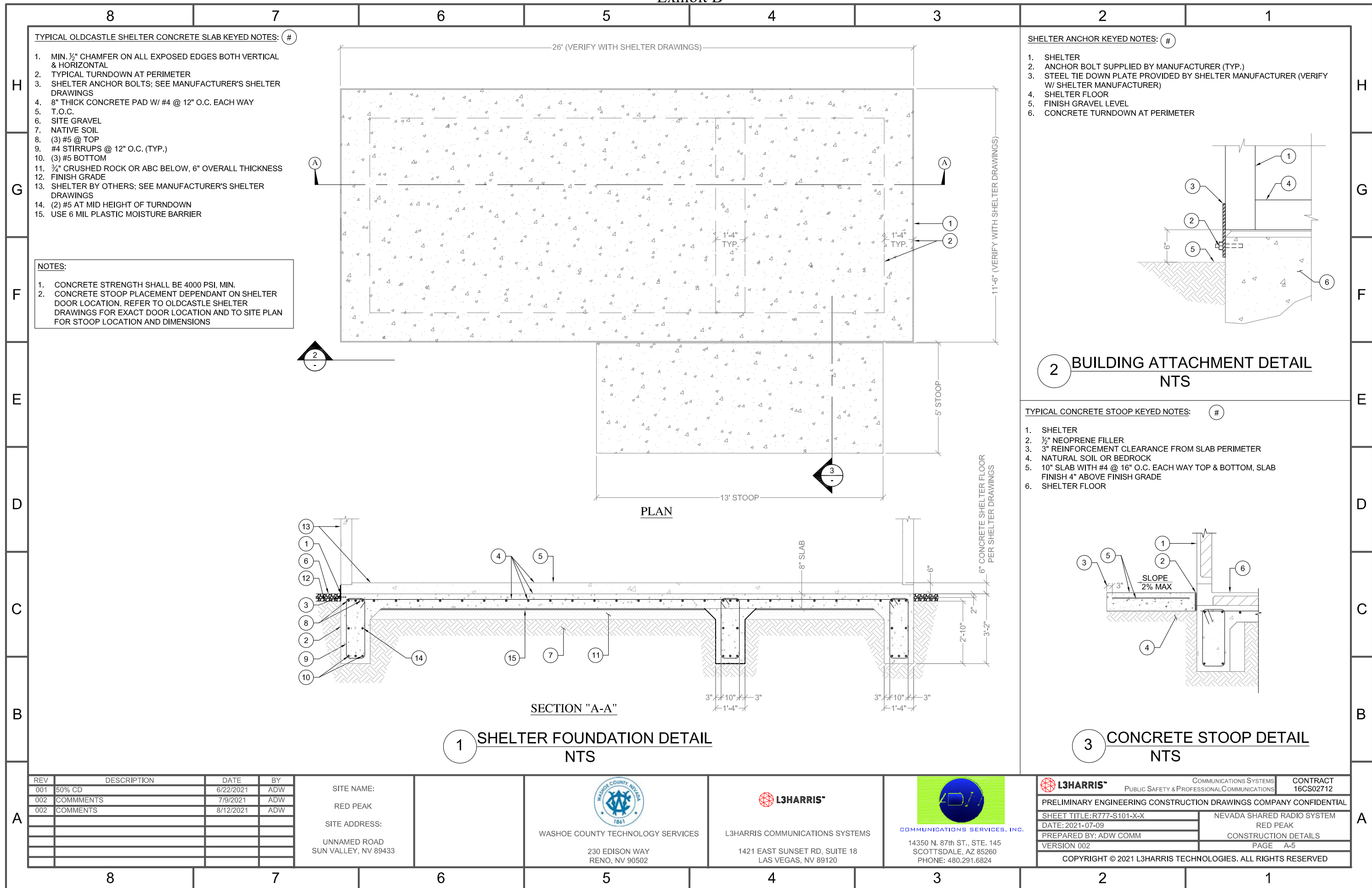
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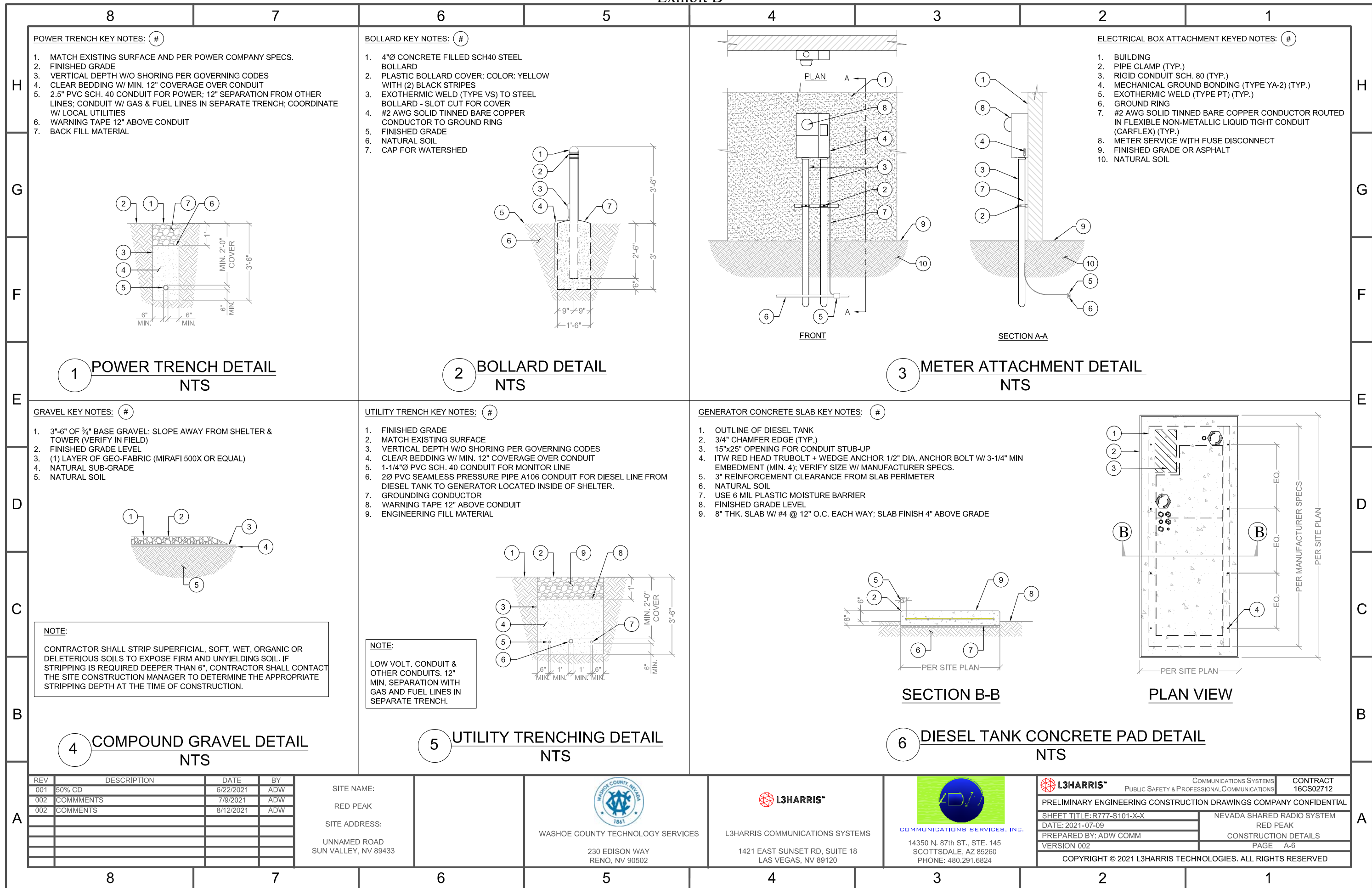
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NOT USED

NTS

TYPICAL REINFORCING KEYED NOTES:

#

1. CORNER BARS REQ'D. ON ALL REBARS AT TOP & BOTTOM DIAMETER TO BE SAME AS GRADE BEAM REINF.

24"

24"

40 BAR Ø OR 2'-0" MINIMUM

1

40 BAR Ø OR 2'-0" MINIMUM

1

40 BAR Ø OR 2'-0" MINIMUM

1

GRADE BEAM

GRADE BEAM

GRADE BEAM

3

TYPICAL CORNER BAR DETAIL

NTS

TYPICAL REINFORCING KEYED NOTES:

#

1. 40 BAR Ø OR 2'-0" MINIMUM

2. STANDARD ACI 90° HOOK.

3. VERTICAL BAR FULL HEIGHT OF WALL TYP.

4. PVC CONTROL JOINT

5. RAKE OUT MORTAR 1/2" EACH FACE AND CAULK - TYPICAL

6. WRAP REINFORCING WITH DUCT TAPE FOR 16" EACH SIDE OF MCJ DO NOT LAP SPLICE BOND BEAM BARS WITHIN 8'-0" OF MCJ

NOTES:

1. SEE DETAILS FOR REINFORCING U.N.O.

2. ALL CELLS AND BOND BEAMS WITH REINFORCING SHALL BE GROUTED.

3. MASONRY CONTROL JOINTS SHALL EXTEND FULL HEIGHT OF CMU WALL. TERMINATE ALL HORIZONTAL REINFORCING, INCLUDING JOINT REINFORCING, AT MASONRY CONTROL JOINTS EXCEPT BOND BEAM REINFORCING.

4. BARS SHALL BE ACCURATELY LOCATED AT CENTERLINE OF WALL U.N.O. OFFSET BARS WHERE INDICATED ON PLANS AND DETAILS.

24"

1

2

TYPICAL CORNER

3

TYPICAL END OR JAMB

4

5

6

MASONRY CONTROL JOINT (MCJ)

2

CMU WALL REINFORCING

NTS

DETAIL KEYED NOTES:

#

1. FENCE POST

2. 1/2"Ø ALL THREAD A36 ROD (6-1/2" LONG) 5" MIN EMBEDMENT SET W/ SIMPSON 'SET' EPOXY (TYP. OF 4 PER POST) OR APPROVED EQUAL

3. 6"x8"x1/2" THK. PLATE

4. FULLY GROUTED CMU WALL

NOTE:

IT IS PERMITTED TO USE PREFABRICATED BASE PLATE AND ANCHORAGE DETAIL SUPPLIED AND ENGINEERED BY THE MANUFACTURE IN LIEU OF THIS DETAIL

1

3

2

4

PER SITE PLAN

1

2

3

4

ELEVATION

1

2

3

4

PLAN VIEW

6"

1 1/4"

4"

1 1/4"

6"

8"

ENLARGED VIEW

4

POST BASE DETAIL AT CMU WALL DETAIL

NTS

REV

DESCRIPTION

DATE

BY

001

50% CD

6/22/2021

ADW

002

COMMENTS

7/9/2021

ADW

002

COMMENTS

8/12/2021

ADW

SITE NAME:

RED PEAK

SITE ADDRESS:

UNNAMED ROAD

SUN VALLEY, NV 89433

WASHOE COUNTY NEVADA

1861

WASHOE COUNTY TECHNOLOGY SERVICES

230 EDISON WAY

RENO, NV 90502

L3HARRIS

L3HARRIS COMMUNICATIONS SYSTEMS

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L3HARRIS

COMMUNICATIONS SYSTEMS

PUBLIC SAFETY & PROFESSIONAL COMMUNICATIONS

CONTRACT

16CS02712

PRELIMINARY ENGINEERING CONSTRUCTION DRAWINGS COMPANY CONFIDENTIAL

SHEET TITLE:R777-S101-X-X

DATE: 2021-07-09

PREPARED BY: ADW COMM

VERSION 002

NEVADA SHARED RADIO SYSTEM

RED PEAK

CONSTRUCTION DETAILS

PAGE A-7

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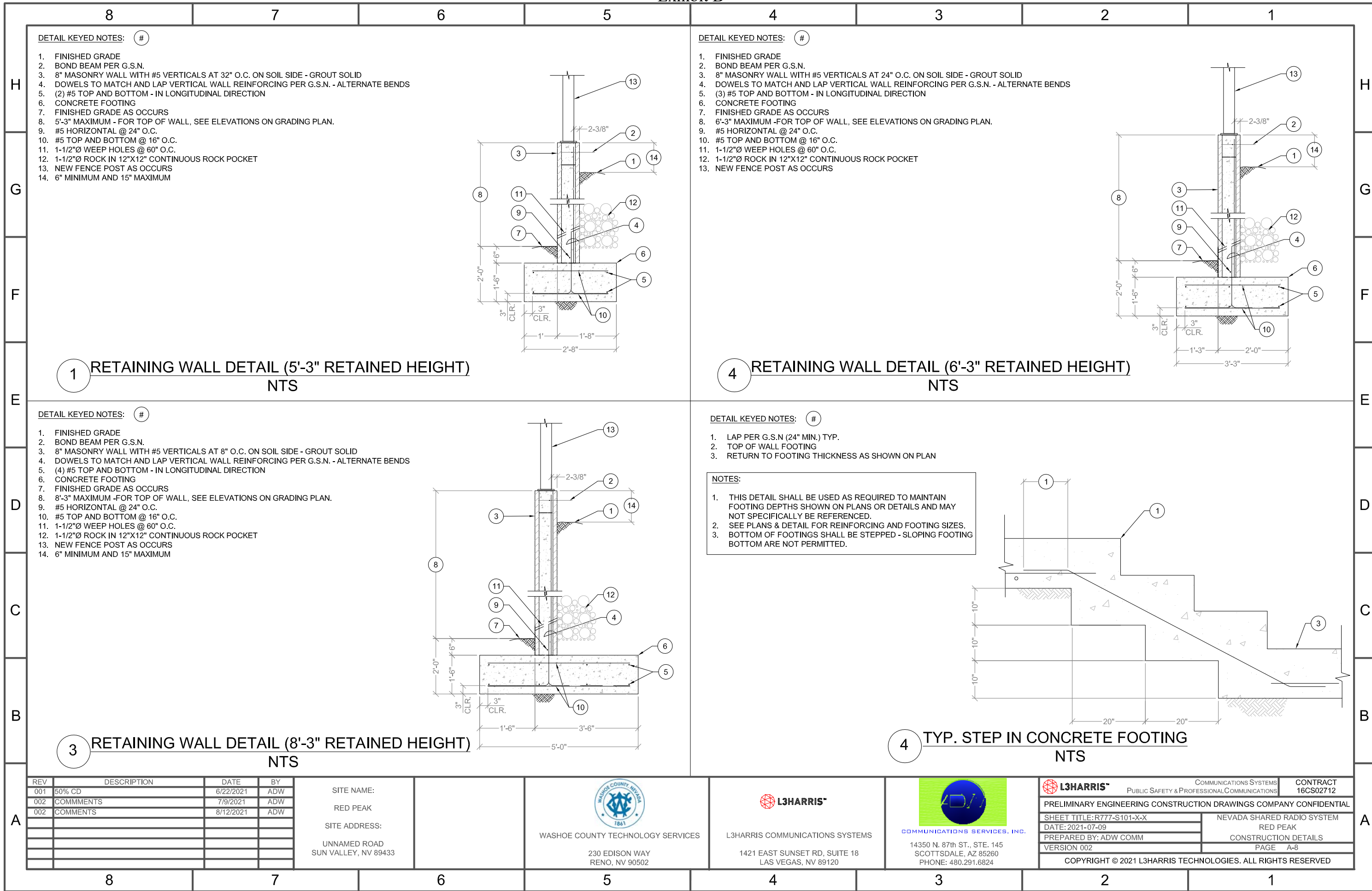






Exhibit B

H	8			7			6			5			4			3			2			1		
	PART 1. ELECTRICAL						U.PROVIDE COMPLETE OPERATION AND MAINTENANCE INSTRUCTIONAL MANUALS COVERING ALL ELECTRICAL EQUIPMENT HEREIN SPECIFIED, TOGETHER WITH PARTS LISTS.						PART 5. RACEWAYS AND CONDUITS						PART 10. DEVICES					
	1.1 CODES AND REGULATIONS						V.SUBCONTRACTOR SHALL SUBMIT TO THE ARCHITECT/ENGINEER, RECORD DRAWINGS ON ELECTRONIC MEDIA OR MYLAR WHICH HAVE BEEN NEATLY MARKED TO REPRESENT AS-BUILT CONDITIONS FOR ALL NEW ELECTRICAL WORK.						A.CONDUITS & FITTINGS AT OUTSIDE APPLICATIONS SHALL BE RIGID OR NONMETALLIC UNLESS OTHERWISE NOTED. CONDUITS & FITTINGS AT INSIDE BUILDING RUN ABOVE CEILINGS AND SHALL BE ELECTRICAL METALLIC TUBING (EMT). SUPPORT CONDUITS WITHIN 3' OF JUNCTION BOXES & 8' INTERVALS OR LESS AS NEEDED WITH APPROVED ANCHORING DEVICES.						A. RECEPTACLES - 20 AMP, 125V, NEMA 5-20R DUPLEX TYPE. FOR INDOOR MOUNTED, USE STAINLESS STEEL COVER. FOR OUTDOOR OR WET LOCATION MOUNTED, USE DEVICE RATED FOR USE. PROVIDE GFCI TYPE WITH SOLID STATE GROUND FAULT SENSING & 5 MA TRIP FOR OUTDOOR OR WET LOCATIONS.					
	A. SEE T-1, CODES AND REGULATIONS						W.SUBMIT FOR APPROVAL SHOP DRAWINGS FOR ALL ELECTRICAL SYSTEMS OR EQUIPMENT BUT NOT LIMITED TO THE ITEMS LISTED BELOW:						B.ALL SWEEPS OR BENDS, AND ABOVEGROUND CONDUITS SHALL BE RIGID GALVANIZED STEEL OR PVC SCHEDULE 40.						B. 20 AMP, 120-277 VOLTS, A.C. ONLY TOGGLE TYPE, SINGLE POLE, DOUBLE POLE, 3-WAY, OR 4-WAY TIMER STYLE AS INDICATED OR REQUIRED.					
G	1.2 SCOPE OF WORK AND GENERAL REQUIREMENT:						1. PANELBOARDS						C.PROVIDE CAP TO PREVENT ENTRY OF MATERIALS & MOISTURE FOR ALL SPARE CONDUITS. CONDUIT RISERS MUST INCLUDE SLIP TYPE EXPANSION JOINT.						PART 11. FUSES					
	A.PROVIDE NEW MATERIAL UNLESS OTHERWISE INDICATED. FURNISH LABOR, EQUIPMENT, TECHNICAL SUPERVISION, AND INCIDENTAL SERVICES REQUIRED TO COMPLETE, TEST AND LEAVE READY FOR OPERATION THE ELECTRICAL SYSTEMS AS SPECIFIED AND AS INDICATED ON DRAWINGS.						2. TRANSFORMERS						D.CONDUIT SEALS - INSTALL CONDUIT SEAL FOR EACH CONDUIT PENETRATING AT AN EXTERIOR BUILDING WALL, BELOW GRADE (UNLESS PENETRATION IS BELOW LOWEST BUILDING FLOOR SLAB), AND ELSEWHERE AS INDICATED, AND SO AS TO ACHIEVE A SEALED WATERTIGHT INSTALLATION.						A. OBTAIN FUSES FROM A SINGLE MANUFACTURER.					
	B.ORDINANCES AND CODES: PERFORM WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES AND REGULATIONS, THE RULES AND REGULATIONS OF NFPA, NECA, AND UL, UNLESS OTHERWISE INDICATED.						3. MOTOR CONTROL						E.RIGID GALVANIZED STEEL CONDUIT SHALL BE USED IN AREAS SUBJECT TO PHYSICAL DAMAGE. CUT ENDS WILL BE REAMED, THREADED AND COLD GALVANIZED (COMPRESSION FITTINGS WILL NOT BE ACCEPTED).						B. COORDINATE FUSE RATINGS WITH UTILIZATION EQUIPMENT NAMEPLATE LIMITATIONS OF MAXIMUM FUSE SIZE.					
	C.PROVIDE GROUNDING TO COMPLY WITH NEC & HARRIS SITE GROUNDING AND LIGHTING PROTECTION GUIDELINES.						4. DISCONNECT SWITCHES						F.LIQUID TIGHT FLEXIBLE STEEL CONDUIT - USE WHERE FLEXIBLE STEEL CONDUIT CONNECTIONS ARE REQUIRED IN DRY, DAMP, WET, OR OILY LOCATIONS, FOR CONNECTIONS TO TRANSFORMERS, VIBRATING EQUIPMENT, EQUIPMENT REQUIRING MINOR ADJUSTMENTS TO POSITIONS, AND FOR FINAL CONNECTIONS TO ALL MOTORS AND SIMILAR EQUIPMENT.						C. EXAMINE UTILIZATION EQUIPMENT NAMEPLATES AND INSTALLATION INSTRUCTIONS. INSTALL FUSES OF SIZES AND WITH CHARACTERISTICS APPROPRIATE FOR EACH PIECE OF EQUIPMENT.					
F	D.UNLESS OTHERWISE INDICATED, SECURE AND PAY FOR REQUIRED PERMITS, LICENSES, INSPECTIONS, APPROVALS AND FEES FOR ELECTRICAL WORK. WORK SHALL CONFORM TO APPLICABLE CODES, RULES AND REGULATIONS.						5. TIME SWITCHES						G.CONDUIT SEALS FOR CAST-IN-PLACE CONCRETE APPLICATIONS SHALL BE AN APPROVED MANUFACTURER.						D. INSTALL LABELS INDICATING FUSE REPLACEMENT INFORMATION ON INSIDE DOOR OF EACH FUSED SWITCH.					
	E.THE DRAWINGS SHOW THE LOCATION AND GENERAL ARRANGEMENT OF EQUIPMENT, ELECTRICAL SYSTEMS AND RELATED ITEMS. THEY SHALL BE FOLLOWED AS CLOSELY AS ELEMENTS OF THE CONSTRUCTION WILL PERMIT.						6. WIRING DEVICES						PART 6. CONDUCTORS AND CABLES						E. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY COOPER BUSSMAN, INC. OR EQUAL.					
	F.EXAMINE THE DRAWINGS OF OTHER TRADES AND VERIFY THE CONDITIONS GOVERNING THE WORK ON THE JOB SITE. ARRANGE WORK ACCORDINGLY, PROVIDING SUCH FITTINGS, CONDUIT, JUNCTION BOXES AND ACCESSORIES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS.						7. LIGHTING FIXTURES						A.ALL WIRES SHALL BE COPPER; USE OF ALUMINUM CONDUCTORS WILL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM L3HARRIS. SEE ELECTRICAL PLANS FOR SIZING AND LOCATIONS. USE PROPER SIZE CONNECTORS PER LOCAL, STATE, AND NATIONAL CODES.						F. CARTRIDGE FUSES: NEMA FU 1, NONRENEWABLE CARTRIDGE FUSE; CLASS AND CURRENT RATING INDICATED; VOLTAGE RATING CONSISTENT WITH CIRCUIT VOLTAGE.					
	G.COORDINATE ARRANGEMENT, MOUNTING AND SUPPORT OF ELECTRICAL EQUIPMENT WITH OTHER TRADES.						8. LIGHTING CONTROL SYSTEMS AND DEVICES						B.CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES.						1. SERVICE ENTRANCE: CLASS L, TIME DELAY.					
E	H.VISIT THE SITE, EXAMINE AND VERIFY THE CONDITIONS UNDER WHICH THE WORK MUST BE CONDUCTED BEFORE SUBMITTING PROPOSAL. THE SUBMITTING OF A PROPOSAL IMPLIES THAT THE SUBCONTRACTOR HAS VISITED THE SITE AND UNDERSTANDS THE CONDITIONS UNDER WHICH THE WORK MUST BE CONDUCTED. NO ADDITIONAL CHARGES WILL BE ALLOWED BECAUSE OF FAILURE TO MAKE THIS EXAMINATION OR TO INCLUDE ALL MATERIALS AND LABOR TO COMPLETE THE WORK.						9. SURFACE RACEWAYS						C.MIN. CONDUCTOR SIZE--ALL BRANCH CIRCUIT AND CONTROL CIRCUIT WIRE SHALL BE AS SPECIFIED ON PLANS. PROVIDE LARGER SIZES, AS INDICATED OR REQUIRED. FULL SIZED EQUIPMENT GROUNDING CONDUCTOR WILL BE INSTALLED IN POWER AND LIGHTING CONDUITS.						2. FEEDERS: CLASS RK5 TIME DELAY .					
	I.BASE BIDS UPON MANUFACTURED EQUIPMENT SPECIFIED. VOLUNTARY ALTERNATES MAY BE SUBMITTED FOR CONSIDERATION, WITH LISTED ADDITION OR DEDUCTION TO THE BID.						10. FIRE ALARM SYSTEM						D.INSTALL WIRING IN CONDUIT OR OTHER SPECIFIED RACEWAY U.N.O. ROMEX, BX, AC AND MC TYPE CABLES ARE NOT ALLOWED.						3. MOTOR BRANCH CIRCUITS: CLASS RK1, TIME DELAY.					
	J.PROVIDE WARRANTY THAT THE ELECTRICAL INSTALLATION IS FREE FROM DEFECTS AND AGREES TO REPLACE OR REPAIR, TO THE OWNER'S SATISFACTION, ANY PART OF THIS ELECTRICAL INSTALLATION WHICH BECOMES DEFECTIVE WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION FOLLOWING FINAL ACCEPTANCE, PROVIDED THAT SUCH FAILURE IS DUE TO DEFECTS IN THE EQUIPMENT, MATERIAL, WORKMANSHIP OR FAILURE TO FOLLOW THE CONTRACT DOCUMENTS.						PART 2. INSPECTIONS						E.FURNISH AND INSTALL TERMINATIONS (INCLUDING LUGS IF NECESSARY) TO MAKE ELECTRICAL CONNECTIONS INDICATED OR REQUIRED. EXTERIOR AND SWITCH GEAR TERMINATIONS SHALL HAVE AN ANTIOXIDANT APPLIED. SPRING TYPE WIRE CONNECTORS USED IN EXTERIOR BOXES SHALL BE SILICONE FILLED.						4. OTHER BRANCH CIRCUITS: CLASS RK1, TIME DELAY.					
	K.FILE WITH THE OWNER WARRANTIES FROM THE EQUIPMENT MANUFACTURERS INCLUDING THE OPERATING CONDITIONS AND PERFORMANCE CAPACITIES THEY ARE BASED ON.						A.INFORM L3HARRIS OF INSPECTIONS 48 HOURS IN ADVANCE. ALL TICKETS AND INSPECTION CERTIFICATES/VERIFICATIONS WILL BE SUBMITTED TO L3HARRIS WITHIN 24 HOURS AFTER INSPECTION HAS TAKEN PLACE.						PART 7. WIRING DEVICES						G. COMPLY WITH:					
D	L.SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY TEMPORARY SERVICES INCLUDING EQUIPMENT AND INSTALLATION REQUIRED TO MAINTAIN OPERATION AS A RESULT OF ANY EQUIPMENT FAILURE OR DEFECT DURING WARRANTY PERIOD.						B.INSPECTIONS REQUIRED - AS PER LAWS AND REGULATIONS OF LOCAL AND/OR STATE AGENCIES HAVING JURISDICTION AT PROJECT SITE.						A.STRAIGHT-BLADE-TYPE RECEPTACLES: COMPLY WITH NEMA WD 1, NEMA WD 6, DSCC W-C-596G, AND UL 498. CONFIGURATION 5-20R DUPLEX RECEPTACLE. HUBBELL HBL 5352 OR EQUAL BY PASS & SEYMOUR OR LEVITON.						1. NEMA FU 1 - LOW VOLTAGE CARTRIDGE FUSES.					
	M.IN GENERAL, DEMOLITION WORK IS INDICATED ON THE DRAWINGS. HOWEVER, THE SUBCONTRACTOR SHALL VISIT THE JOB SITE TO DETERMINE THE FULL EXTENT AND CHARACTER OF THIS WORK.						C.INSPECTION AGENCY - APPROVED BY LOCAL AND/OR STATE AGENCIES HAVING JURISDICTION AT PROJECT SITE.						B.GFCI RECEPTACLES: STRAIGHT BLADE, FEED-THROUGH TYPE, GENERAL DUTY GRADE, WITH INTEGRAL NEMA WD 6, CONFIGURATION 5-20R DUPLEX RECEPTACLE; COMPLYING WITH UL 498 AND UL 943. DESIGN UNITS FOR INSTALLATION IN A 2-3/4-INCH- (70-MM-) DEEP OUTLET BOX WITHOUT AN ADAPTER. HUBBELL GF5352 OR EQUAL BY PASS & SEYMOUR OR LEVITON.						2. NFPA 70 - NATIONAL ELECTRICAL CODE.					
	N.UNLESS SPECIFICALLY NOTED TO THE CONTRARY, REMOVED MATERIALS SHALL NOT BE REUSED IN THE WORK. SALVAGED MATERIALS THAT ARE TO BE REUSED SHALL BE STORED SAFE AGAINST DAMAGE AND TURNED OVER TO THE APPROPRIATE TRADE FOR REUSE. SALVAGED MATERIALS OF VALUE THAT ARE NOT TO BE REUSED SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS SUCH OWNERSHIP IS WAIVED. ITEMS ON WHICH THE OWNER WAIVES OWNERSHIP SHALL BECOME THE PROPERTY OF THE SUBCONTRACTOR, WHO SHALL REMOVE AND LEGALLY DISPOSE OF SAME, AWAY FROM THE PREMISES.						PART 3. ELECTRICAL SERVICE						C.WALL SWITCHES: SINGLE AND DOUBLE-POLE SWITCHES: COMPLY WITH DSCC W-C-896F AND UL 20. HUBBELL WIRING DEVICE, KELLEMS 1220 SERIES OR EQUAL BY PASS & SEYMOUR OR LEVITON.						3. UL 198C - HIGH-INTERRUPTING-CAPACITY FUSES, CURRENT-LIMITING TYPES.					
	O.CONSULT WITH THE OWNER'S REPRESENTATIVE AS TO THE METHODS OF CARRYING ON THE WORK SO AS NOT TO INTERFERE WITH THE OWNER'S OPERATION ANY MORE THAN ABSOLUTELY NECESSARY. ACCORDINGLY, ALL SERVICE LINES SHALL BE KEPT IN OPERATION AS LONG AS POSSIBLE AND THE SERVICES SHALL ONLY BE INTERRUPTED AT SUCH TIME AS WILL BE DESIGNATED BY THE OWNER'S REPRESENTATIVE.						A.L3HARRIS, INC WILL ORDER THE ELECTRIC SERVICE.						D.INSTALL WIRING IN CONDUIT OR OTHER SPECIFIED RACEWAY U.N.O. ROMEX, BX, AC AND MC TYPE CABLES ARE NOT ALLOWED.						4. UL 198E - CLASS R FUSES.					
C	P.ALL CUTTING, PATCHING AND REPAIR WORK SHALL BE PERFORMED BY THE QUALIFIED SUBCONTRACTORS. SUBCONTRACTOR SHALL INCLUDE FULL COST OF SAME IN BID.						B.SUBCONTRACTOR SHALL ARRANGE WITH UTILITY COMPANY AND LOCAL/GOVERNING JURISDICTION FOR TIMELY INSTALLATION OF TEMPORARY ELECTRIC SERVICE (IF REQUIRED) AND PERMANENT ELECTRIC SERVICES. COMPLY WITH AND COORDINATE ALL REQUIREMENTS OF UTILITY COMPANY.						E.PURNISH AND INSTALL TERMINATIONS (INCLUDING LUGS IF NECESSARY) TO MAKE ELECTRICAL CONNECTIONS INDICATED OR REQUIRED. EXTERIOR AND SWITCH GEAR TERMINATIONS SHALL HAVE AN ANTIOXIDANT APPLIED. SPRING TYPE WIRE CONNECTORS USED IN EXTERIOR BOXES SHALL BE SILICONE FILLED.						5. UL 512 - FUSEHOLDERS					
	Q.PROVIDE ALL EXCAVATION, TRENCHING, TUNNELING, DEWATERING AND BACKFILLING REQUIRED FOR THE ELECTRICAL WORK. COORDINATE THE WORK WITH OTHER EXCAVATING AND BACKFILLING IN THE SAME AREA.						B.1 ARRANGE FOR INSPECTION OF ELECTRICAL SERVICE BY THE LOCAL/GOVERNING JURISDICTION. OBTAIN CERTIFICATE OF INSPECTION. FURNISH COPY OF CERTIFICATE TO THE LOCAL/GOVERNING JURISDICTION AND A COPY TO THE UTILITY COMPANY.						PART 8. ELECTRICAL IDENTIFICATION AND LABELING						PART 12. LOAD CENTER/PANEL BOARDS					
	R.INSPECT THE INSTALLATION OF ALL EQUIPMENT PER THE MANUFACTURER'S RECOMMENDATION AND APPLICABLE CODES.						B.2 COORDINATE METER SOCKET REQUIREMENTS WITH THE LOCAL/GOVERNING JURISDICTION AND ELECTRIC UTILITY.						A.ALL EQUIPMENT, WIRING, AND MATERIALS MUST HAVE A UL LABEL.						A. GENERAL - TWO-ROW CIRCUIT BREAKER WITH MAINS, RATINGS AND BRANCH DEVICES AS INDICATED.					
	S.PROVIDE UL APPROVED FIRE-STOPPING SYSTEM FOR ALL PENETRATIONS PASSING THROUGH FIRE RATED ASSEMBLIES.						C.PROVIDE EQUIPMENT WITH HIGHER FAULT CURRENT RATINGS AS NEEDED TO MATCH UTILITY COMPANY'S AVAILABLE FAULT CURRENT.						B. WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES, AND CABINETS WITH APPROVED PLASTIC TAGS.						B. MINIMUM 10,000 AIC FOR 208V/240V UNLESS OTHERWISE NOTED. LOCKABLE COVER, COPPER BUS.					
B	T.COMPLY WITH NECA 1.						PART 4. EXECUTION						C.BREAKERS IN LOAD CENTER SHALL BE IDENTIFIED WITH TYPE WRITTEN LABELS NEATLY PLACED ALONG SIDE OF BREAKER.						D. LOAD CENTER SHALL HAVE MAIN CIRCUIT BREAKER (LOCKABLE IN ON & OFF POSITIONS).					
							A.ON ANY COLLOCATION SITE, SUBCONTRACTOR & ALL ASSIGNED SHALL NOT USE EXISTING POWER OR TAMPER WITH ANY EQUIPMENT BELONGING TO ANY OTHER AGENCY. FAILURE TO ADHERE WILL CAUSE IMMEDIATE DISMISSAL OF SUBCONTRACTOR FROM PROJECT.						D.NAME PLATES - THREE-LAYER LAMINATED PLASTIC WITH MINIMUM 3/16" HIGH WHITE ENGRAVED CHARACTERS ON BLACK BACKGROUND AND PUNCHED FOR MECHANICAL FASTENING.						E. CUPPER GROUND BARS (ALUMINUM COMPONENTS IN ELECTRICAL DEVICES IS PROHIBITED). ISOLATED NEUTRAL BUS AND FULL SIZE GROUNDING BUS.					
							B.PULL BOXES - PROVIDE PULL BOXES AS INDICATED AND WHERE REQD. BY CODES AND UTILITY COMPANIES. BOXES FOR GENERAL INDOOR USE (DRY LOCATIONS) TO BE GALVANIZED CODE GAUGE STEEL CONSTRUCTION MIN. 4" SQUARE X 1-1/2" DEEP WITH SCREW-ON COVERS. WIREWAYS TO BE UL LISTED, SHEET STEEL CONSTRUCTION WITH SCREW-ON COVERS. FOR EXTERIOR AND DAMP OR WET INDOOR LOCATIONS, USE BOXES AND WIREWAYS APPROVED FOR SUCH USE. INSTALL OUTLET PULL & JUNCTION BOXES RIGIDLY, PLUMB AND LEVEL. SUPPORT & SECURE BOXES INDEPENDENTLY FROM CONDUITS TERMINATING AT BOX. INSTALL ALL BOXES SO AS TO BE ACCESSIBLE AND SO THAT COVERS MAY BE EASILY REMOVED.						E.WIRING DEVICE COLOR AS SELECTED BY ARCHITECT UNLESS OTHERWISE INDICATED OR REQUIRED BY NFPA 70.						F. ACCEPTABLE MFGRS - GE, SQUARE D TYPE QC, SEIMENS, OR EQUIVALENT.					
							C.OUTLET BOXES (SURFACE MOUNTED) - CADMIUM PLATED CAST OR MALLEABLE IRON.						F.CONNECT WIRING DEVICE GROUNDING TERMINAL TO OUTLET BOX WITH BONDING JUMPER. USE OF QUICK GROUND STRAP OR SCREW IS NOT ACCEPTABLE.						G. COMPLY WITH:					
A							D.POWER CONDUCTORS - SUBCONTRACTOR SHALL CONDUCT CONTINUITY & INSULATION TEST ON CONDUCTORS BETWEEN SERVICE DISCONNECT & POWER CABINET.						G.RECEPTACLES: IDENTIFY PANELBOARD AND CIRCUIT NUMBER FROM WHICH SERVED. USE ADHESIVE LABEL WITH BLACK FILLED LETTERING ON FACE OF WALL PLATE, AND DURABLE WIRE MARKERS OR TAGS INSIDE OUTLET BOXES.						H. ACCEPTABLE MFGRS - GENERAL ELECTRIC, SQUARE D TYPE QC, SIEMENS.					
							PART 9. ENCLOSURES						PART 13. SAFETY SWITCHES						PART 12. LOAD CENTER/PANEL BOARDS					
							A.DRY LOCATION, INDOOR - NEMA 1.						A.ALL EQUIPMENT, WIRING, AND MATERIALS MUST HAVE A UL LABEL.						A. USE HEAVY DUTY HORSEPOWER RATED, FULLY ENCLOSED, FUSIBLE (WITH REJECTION FUSE CLIPS) OR NON-FUSED AS INDICATED, QUICK-MAKE, QUICK BREAK SWITCHING MECHANISM INTERLOCKED WITH COVER AND NEMA1 ENCLOSURE FOR DRY LOCATIONS, AND NEMA 3R ENCLOSURE FOR OUTDOOR LOCATIONS, UNLESS INDICATED OTHERWISE. SWITCHES LABELED AS "SUITABLE FOR USE AS SERVICE ENTRANCE EQUIPMENT" WHERE REQUIRED.					
							B.WET LOCATION OR OUTDOOR - NEMA 3R.						B. WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES, AND CABINETS WITH APPROVED PLASTIC TAGS.						B. RATINGS - VOLTAGE, PHASES, AMPERAGES AND FUSING AS INDICATED.					
						C.EXTERIOR ENCLOSURES SHALL ACCOMMODATE SNOW LOADS.						C.BREAKERS IN LOAD CENTER SHALL BE IDENTIFIED WITH TYPE WRITTEN LABELS NEATLY PLACED ALONG SIDE OF BREAKER.						C. IN FUSED CONFIGURATION, SWITCHES SHALL HAVE INTERRUPTING CAPACITY OF AT LEAST 100,000 AMPS SYMMETRICAL AT 600 VOLTS WHEN USED WITH CLASS RK5 TIME DELAY CURRENT LIMITING FUSES, AND 200,000 AMPS SYMMETRICAL AT 600 VOLTS WHEN USED WITH RK1 CURRENT LIMITING FUSES.						
												PART 10. DEVICES						D. GUARDS - LINE SHIELD GUARDS TO PREVENT CONTACT WITH LIVE PARTS.						
												PART 11. FUSES						E. CONTACTS - SILVER ALLOY: SWITCH BLADES SHALL BE DE-ENERGIZED IN OPEN POSITION						
												PART 12. LOAD CENTER/PANEL BOARDS						F. LUGS - SOLDERLESS TYPE.						
												PART 13. SAFETY SWITCHES						G. REJECTION FUSE CLIPS - PROVIDE FOR FUSIBLE SWITCHES (30-600A) TO PREVENT INSTALLATION OF CLASS H AND CLASS K NON-CURRENT LIMITING FUSES.						
												PART 14. ENCLOSURES						H. ACCEPTABLE MFGRS - GENERAL ELECTRIC, SQUARE D TYPE QC, SIEMENS.						
												PART 15. SAFETY SWITCHES						I. UL CLASS RK1, 250 VOLT OR 600 VOLT AS REQUIRED FOR SYSTEM VOLTAGE, DUAL ELEMENT, TIME DELAY CURRENT-LIMITING, 200,000 AIC, AMPERE RATINGS AS INDICATED. SIZE AND QUANTITY AS INDICATED ON POWER DIAGRAM.						
												PART 16. SAFETY SWITCHES												
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Exhibit B

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H	<p>PART 14. SURGE SUPPRESSION</p> <p>A. FURNISHED BY OWNER/CLIENT. INSTALLED BY SUBCONTRACTOR. GROUNDING SYSTEM FOR EACH SITE SHALL BE TESTED FOR GROUND RESISTANCE OF 5 OHMS OR LESS . ONE OF THREE TESTS SHALL BE USED--IEEE FALL-OF-POTENTIAL TEST, APPROVED CLAMP ON TEST, OR DIRECT METHOD (TWO-TERMINAL) "CONTINUITY" TEST. FALL-OF-POTENTIAL TEST IS PREFERRED TESTING METHOD AND SHALL BE USED WHENEVER POSSIBLE. ANY GROUND RESISTANCE OF GREATER THAN 5 OHMS BUT LESS THAN 25 OHMS SHALL BE REVIEWED BY L3HARRIS AND IS SUBJECT TO FINAL APPROVAL BY OWNER/CLIENT ON A CASE-BY-CASE BASIS.</p> <p>PART 15. GROUNDING & BONDING</p> <p>15.1 CODES AND REGULATIONS - SEE T-1, CODES AND REGULATIONS</p> <p>15.2 GENERAL</p> <p>A. GROUNDING NETWORK SYSTEM SHALL ESTABLISH AN EARTH-RESISTANCE TO REFERENCE GROUND POINT NOT TO EXCEED 5 OHMS FOR BUILDING UNLESS OTHERWISE NOTED, CONSISTING OF BONDING OF STRUCTURE AND OTHER METAL OBJECTS INCLUDING GROUNDING ELECTRODES AND INTERCONNECTING CONDUCTORS.</p> <p>A.1 SUBCONTRACTOR SHALL VERIFY WITH L3HARRIS THAT ALL CONDUIT SYSTEMS, EQUIPMENT, DEVICES, PANELS, LINES, TRAYS, BRIDGES, PLATFORMS, AND ALL ITEMS ARE GROUNDED PROPERLY.</p> <p>A.2 GROUNDING NETWORK SYSTEM SHALL INCLUDE ELECTRICAL TRENCHING, BACK FILL AND COMPACTION, GROUNDING WIRE, GROUNDING ELECTRODES AND ALL NECESSARY MATERIALS AND LABOR REQUIRED TO COMPLETE SPECIFIED SYSTEM.</p> <p>15.3 TESTING</p> <p>A. I.E.E.E. FALL-OF-POTENTIAL-TESTS--CONDUCT A "3-POINT" FALL OF POTENTIAL GROUND TEST WITH AEMC MODEL #4500 TESTER OR EQUIVALENT METHOD OF USING TWO AUXILIARY GROUND RODS (AS DESCRIBED IN I.E.E.E. STANDARD #81 - 1983, PART 1). AUXILIARY TEST RODS MUST BE SUFFICIENTLY FAR AWAY FROM RODS SO THAT REGIONS IN WHICH THEIR RESISTANCE IS LOCALIZED DO NOT OVERLAP.</p> <p>B. SUBCONTRACTOR SHALL VERIFY THAT SYSTEM IS EFFECTIVELY GROUNDED, MEETS NEC ARTICLE 250 REQUIREMENTS, AND IS ACCEPTABLE TO LOCAL UTILITY & LOCAL AUTHORITY HAVING JURISDICTION.</p> <p>C. INSTALLED SYSTEM SHALL ACHIEVE GROUND RESISTANCE OF LESS THAN 5 OHMS. RECORD GROUND RESISTANCE TEST RESULTS ON L3HARRIS "GROUND RESISTANCE TEST" FORM DELIVERABLE TO L3HARRIS REPRESENTATIVE & ENGINEER. GROUND TEST SHALL BE WITNESSED BY L3HARRIS REPRESENTATIVE. L3HARRIS REPRESENTATIVE SHALL BE INFORMED 48 HOURS IN ADVANCE OF TESTING. ANY GROUND RESISTANCE OF GREATER THAN 5 OHMS BUT LESS THAN 25 OHMS SHALL BE REVIEWED BY L3HARRIS AND IS SUBJECT TO FINAL APPROVAL BY OWNER/CLIENT ON A CASE-BY-CASE BASIS.</p> <p>D. WHEN USING OR CONNECTING TO EXISTING GROUND RING, TEST GROUND RING PRIOR TO AND AFTER CONNECTION.</p> <p>E. CLAMPS, SLEEVES, AND SUPPORTS USED TO SUPPORT OR CHANNEL GROUNDING SYSTEM CONDUCTORS AND PVC CONDUITS SHALL BE PVC TYPE NON- CONDUCTIVE. DO NOT USE METAL BRACKETS OR SUPPORTS THAT WOULD FORM A COMPLETE RING AROUND ANY GROUNDING CONDUCTOR.</p> <p>15.4 EXECUTION</p> <p>A. GROUND BARS SHALL BE 4" X 1/4" X LENGTH, UNLESS OTHERWISE NOTED AND SHALL BE TINNED COPPER AND LARGE ENOUGH TO ACCOMMODATE REQUIRED NUMBER OF GROUNDING CONNECTIONS. HARDWARE SECURING GROUND BARS SHALL BOND TO STRUCTURE TO WHICH THEY ARE FASTENED.</p> <p>B. GROUND BARS SHALL BE 4" X 1/4" X LENGTH, UNLESS OTHERWISE NOTED AND SHALL BE TINNED COPPER AND LARGE ENOUGH TO ACCOMMODATE REQUIRED NUMBER OF GROUNDING CONNECTIONS. HARDWARE SECURING GROUND BARS SHALL BOND TO STRUCTURE TO WHICH THEY ARE FASTENED.</p> <p>C. IF ROCK IS ENCOUNTERED, GROUND ROD SHALL BE INSTALLED IN 2" DIAMETER DRILLED HOLE TO REQUIRED DEPTH AND BACK FILLED WITH APPLICATIONS OF MAGNESIUM SULFATE OR COPPER SULFATE (IF CHEMICAL GROUNDING IS NOT USED).</p> <p>D. GROUNDING WIRE SHALL NOT BEND LESS THAN 90° IN ANY LOCATION WITH AMIN. BEND RADIUS OF 8".</p> <p>E. PROVIDE CORROSION PROOFING PAINT ON SURFACES EXPOSED DURING INSTALLATION.</p> <p>F. ANTENNA CABLES SHALL BE GROUNDED AT TOP, BOTTOM AND 75 FEET OF VERT. RUN FOR LIGHTNING PROTECTION. ANTENNA CABLE SHIELD SHALL BE BONDED TO COPPER GROUND BAR AT THE LOWER MOST POINT OF A VERTICAL RUN JUST BEFORE IT BEGINS TO BEND TOWARD THE HORIZONTAL PLANE. WIRE RUNS TO GROUND SHALL BE KEPT AS STRAIGHT AND SHORT AS POSSIBLE. ANTENNA CABLE SHIELD SHALL BE GROUNDED JUST BEFORE ENTERING SHELTER. TOWERS WITH MULTIPLE BROADCAST TRANSMITTERS PRESENT AND OVER 200' SHALL ALSO BE EQUIPPED WITH ADDITIONAL GROUNDING.</p>		<p>15.5 CONNECTIONS</p> <p>A. GROUND CONNECTIONS SHALL CONFORM TO I.E.E.E. STD 837 AND/OR UL467 PROTECTED FROM CORROSION AS NOTED ON DRAWINGS. USE CADWELD OR DOUBLE LUG FOR OUTDOORS ABOVE & BELOW GRADE, INDOORS, AND ON ROOF INSTALLATIONS, AS INDICATED IN PLANS.</p> <p>B. CLAMP CONNECTIONS SHALL BE MADE ACCESSIBLE FOR INSPECTION. USE ONLY WHERE SPECIFIED.</p> <p>C. UNDERGROUND CONNECTIONS SHALL BE INSPECTED BY L3HARRIS REPRESENTATIVE PRIOR TO BACK FILLING. PHOTOS WITH TAPE MEASUREMENT REQUIRED FOR CLOSEOUT PACKAGE.</p> <p>D. ALL BELOW GROUND CONNECTIONS SHALL BE CADWELD. PROVIDE CORROSION PROTECTION TO CONNECTION AREA, IF INDICATED IN PLANS.</p> <p>E. ABOVEGROUND CONNECTIONS SHALL BE BOLTED CLAMP OR BURNDY CONNECTIONS UNLESS OTHERWISE NOTED.</p> <p>F. GROUND CONNECTIONS TO GROUND BAR SHALL BE MADE WITH DOUBLE HOLE HYDRAULICALLY INDENTED LUGS, EXCEPT FOR CADWELDS, AS SHOWN IN PLANS.</p> <p>F.1 TO ENSURE ADEQUATE BOND WHERE GROUND CONNECTIONS ARE MADE, CONTACT POINTS SHALL BE CLEANED AND FREE OF FOREIGN MATERIALS SUCH AS PAINT AND CORROSION. IF SURFACE IS COATED, COATING MUST BE REMOVED DOWN TO BARE METAL. AFTER COATING HAS BEEN REMOVED, APPLY A NON-CORROSIVE APPROVED COMPOUND TO THE CLEANED SURFACE AND INSTALL LUGS OR CLAMPS. WHERE GALVANIZING IS REMOVED FROM METAL, IT SHALL BE PAINTED OR TOUCHED UP WITH COLD GALVANIZING PAINT SUCH AS GLAVMOX OR EQUAL.</p> <p>G. MECHANICAL GROUNDING CONNECTIONS SHALL BE MADE WITH COPPER-SHIELD. THERE IS NO EQUIVALENT FOR THESE ANTI-OXIDATION COMPOUNDS. NO OTHER COMPOUND WILL BE ACCEPTED. COAT ALL WIRES BEFORE LUGGING. COAT ALL SURFACES BEFORE CONNECTING.</p>		<table><tr><th colspan="8">FEEDER AND BRANCH CIRCUIT SIZING SCHEDULE - GENERAL PURPOSE</th></tr><tr><th colspan="8">COPPER CONDUCTORS</th></tr><tr><th rowspan="2">OVERCURRE NT DEVICE RATING (AMPERES)</th><th colspan="2">WIRE SIZE (AWG OR KCMIL)</th><th rowspan="2">SINGLE PHASE 2 WIRE + G (1PH, 1N, 1G)</th><th rowspan="2">SINGLE PHASE 3 WIRE + G (2PH, 1N, 1G)</th><th rowspan="2">THREE PHASE 3 WIRE + G (3PH, 1G)</th><th rowspan="2">THREE PHASE & NEUTRAL 4 WIRE + G (3PH, 1N, 1G)</th><th rowspan="2">ISOLATED GROUND 4 WIRE+2G (3PH, 1N, 2G)</th></tr><tr><th>PHASE & NEUTRAL</th><th>GROUND</th></tr><tr><td>15-20</td><td>12</td><td>12</td><td>3/4"</td><td>3/4"</td><td>3/4"</td><td>3/4"</td><td>3/4"</td></tr><tr><td>25-30</td><td>10</td><td>10</td><td>3/4"</td><td>3/4"</td><td>3/4"</td><td>3/4"</td><td>3/4"</td></tr><tr><td>35-40</td><td>8</td><td>10</td><td>3/4"</td><td>3/4"</td><td>3/4"</td><td>3/4"</td><td>3/4"</td></tr><tr><td>45-50</td><td>8 (6)</td><td>10</td><td>3/4"</td><td>3/4"</td><td>3/4"</td><td>3/4"</td><td>3/4"</td></tr><tr><td>60</td><td>6 (4)</td><td>10</td><td>3/4" (1)</td><td>3/4" (1)</td><td>3/4" (1)</td><td>3/4" (1)</td><td>1"</td></tr><tr><td>70</td><td>4</td><td>8</td><td>1"</td><td>1 1/4"</td><td>1 1/4"</td><td>1 1/4"</td><td>1 1/4"</td></tr><tr><td>80</td><td>4 (3)</td><td>8</td><td>1"</td><td>1 1/4"</td><td>1 1/4"</td><td>1 1/4"</td><td>1 1/4"</td></tr><tr><td>90-100</td><td>3 (2)</td><td>8</td><td>1 1/4"</td><td>1 1/4"</td><td>1 1/4"</td><td>1 1/4"</td><td>1 1/2"</td></tr><tr><td>110</td><td>2 (1)</td><td>6</td><td>-</td><td>1 1/4"</td><td>1 1/4"</td><td>1 1/4" (1 1/2")</td><td>2"</td></tr><tr><td>125</td><td>1 (1/0)</td><td>6</td><td>-</td><td>1 1/4" (1 1/2")</td><td>1 1/4" (1 1/2")</td><td>1 1/2"</td><td>2"</td></tr><tr><td>150</td><td>1/0</td><td>6</td><td>-</td><td>1 1/2"</td><td>1 1/2"</td><td>1 1/2"</td><td>2"</td></tr><tr><td>175</td><td>2/0</td><td>6</td><td>-</td><td>2"</td><td>2"</td><td>2"</td><td>2"</td></tr><tr><td>200</td><td>3/0</td><td>6</td><td>-</td><td>2"</td><td>2"</td><td>2 1/2"</td><td>2 1/2"</td></tr><tr><td>225</td><td>4/0</td><td>4</td><td>-</td><td>2"</td><td>2"</td><td>2 1/2"</td><td>2 1/2"</td></tr><tr><td>250</td><td>250</td><td>4</td><td>-</td><td>2 1/2"</td><td>2 1/2"</td><td>2 1/2"</td><td>2 1/2"</td></tr><tr><td>300</td><td>350</td><td>4</td><td>-</td><td>2 1/2"</td><td>2 1/2"</td><td>3"</td><td>3"</td></tr><tr><td>350</td><td>500</td><td>3</td><td>-</td><td>3"</td><td>3"</td><td>3"</td><td>3"</td></tr><tr><td>400</td><td>600</td><td>3</td><td>-</td><td>3"</td><td>3"</td><td>3 1/2"</td><td>4"</td></tr><tr><td>450</td><td>2-4/0</td><td>2-2</td><td>-</td><td>2-2"</td><td>2-2"</td><td>2-2 1/2"</td><td>2-2 1/2"</td></tr><tr><td>500</td><td>2-250</td><td>2-2</td><td>-</td><td>2-2 1/2"</td><td>2-2 1/2"</td><td>2-2 1/2"</td><td>2-2 1/2"</td></tr><tr><td>600</td><td>2-350</td><td>2-1</td><td>-</td><td>2-2 1/2"</td><td>2-2 1/2"</td><td>2-3"</td><td>2-4"</td></tr><tr><td>700</td><td>2-500</td><td>2-1/0</td><td>-</td><td>2-3"</td><td>2-3"</td><td>2-3"</td><td>3-3"</td></tr><tr><td>800</td><td>2-600</td><td>2-1/0</td><td>-</td><td>2-3"</td><td>2-3"</td><td>2-3 1/2"</td><td>2-3 1/2"</td></tr><tr><td>1000</td><td>3-400</td><td>3-2/0</td><td>-</td><td>3-3"</td><td>3-3"</td><td>3-3"</td><td>3-3"</td></tr><tr><td>1200</td><td>3-600</td><td>3-3/0</td><td>-</td><td>3-3 1/2"</td><td>3-3 1/2"</td><td>3-3 1/2"</td><td>3-4"</td></tr><tr><td>1600</td><td>4-600</td><td>4-4/0</td><td>-</td><td>4-3 1/2"</td><td>4-3 1/2"</td><td>4-3 1/2"</td><td>4-4"</td></tr><tr><td>2000</td><td>5-600</td><td>5-250</td><td>-</td><td>5-3 1/2"</td><td>5-3 1/2"</td><td>5-3 1/2"</td><td>5-4"</td></tr></table> <p>NOTES:</p> <p>1.CONTRACTOR TO SIZE FEEDERS AND BRANCH CIRCUITS BASED ON THIS SCHEDULE AND OVER CURRENT DEVICE SIZE, UNLESS NOTED OTHERWISE.</p> <p>2.CONTRACTOR MAY COMBINE 20A CIRCUITS AS NOTED IN SPECIFICATION.</p> <p>3.CONDUCTORS ARE BASED ON THHN/THWN UP TO AND INCLUDING #4/0. LARGER THAN #4/0 ARE BASED ON TYPE XHHW.</p> <p>4.CONDUCTORS ARE BASED ON 90°C, 600V. INSULATED COPPER WIRE APPLIED AT 75°C FOR TERMINATION RATED 60/75°C OR 75°C. FOR TERMINATION RATED AT 60°C, USE CONDUCTORS AND CONDUIT SIZES INDICATED IN PARENTHESES.</p> <p>5.CONDUIT SIZES ARE VALID FOR EMT OR RGS. CONDUIT SIZES SHALL BE ADJUSTED AS REQUIRED FOR OTHER TYPES OF CONDUIT.</p> <p>6.ELECTRICAL CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR AND PROVIDE REQUIRED WIRE SIZES TO ACCOMMODATE MECHANICAL EQUIPMENT LUG SIZES. (EXAMPLE: 2#3/0 IN LIEU OF 1#600 KCMIL PER PHASE FOR 400 AMPERE OVERCURRENT DEVICE)</p> <p>7.SIZE OF DISCONNECT SWITCH LOCATED AT EQUIPMENT SHALL BE SIZED BASED UPON OVERCURRENT PROTECTION OF THAT DEVICE.</p> <p>8.PRIOR APPROVAL FROM ENGINEER SHALL OCCUR IF A DIFFERENT SIZE/NUMBER OF CONDUCTORS IS TO BE USED. AMPACITY SHALL BE EQUAL OR GREATER.</p>					FEEDER AND BRANCH CIRCUIT SIZING SCHEDULE - GENERAL PURPOSE								COPPER CONDUCTORS								OVERCURRE NT DEVICE RATING (AMPERES)	WIRE SIZE (AWG OR KCMIL)		SINGLE PHASE 2 WIRE + G (1PH, 1N, 1G)	SINGLE PHASE 3 WIRE + G (2PH, 1N, 1G)	THREE PHASE 3 WIRE + G (3PH, 1G)	THREE PHASE & NEUTRAL 4 WIRE + G (3PH, 1N, 1G)	ISOLATED GROUND 4 WIRE+2G (3PH, 1N, 2G)	PHASE & NEUTRAL	GROUND	15-20	12	12	3/4"	3/4"	3/4"	3/4"	3/4"	25-30	10	10	3/4"	3/4"	3/4"	3/4"	3/4"	35-40	8	10	3/4"	3/4"	3/4"	3/4"	3/4"	45-50	8 (6)	10	3/4"	3/4"	3/4"	3/4"	3/4"	60	6 (4)	10	3/4" (1)	3/4" (1)	3/4" (1)	3/4" (1)	1"	70	4	8	1"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	80	4 (3)	8	1"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	90-100	3 (2)	8	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/2"	110	2 (1)	6	-	1 1/4"	1 1/4"	1 1/4" (1 1/2")	2"	125	1 (1/0)	6	-	1 1/4" (1 1/2")	1 1/4" (1 1/2")	1 1/2"	2"	150	1/0	6	-	1 1/2"	1 1/2"	1 1/2"	2"	175	2/0	6	-	2"	2"	2"	2"	200	3/0	6	-	2"	2"	2 1/2"	2 1/2"	225	4/0	4	-	2"	2"	2 1/2"	2 1/2"	250	250	4	-	2 1/2"	2 1/2"	2 1/2"	2 1/2"	300	350	4	-	2 1/2"	2 1/2"	3"	3"	350	500	3	-	3"	3"	3"	3"	400	600	3	-	3"	3"	3 1/2"	4"	450	2-4/0	2-2	-	2-2"	2-2"	2-2 1/2"	2-2 1/2"	500	2-250	2-2	-	2-2 1/2"	2-2 1/2"	2-2 1/2"	2-2 1/2"	600	2-350	2-1	-	2-2 1/2"	2-2 1/2"	2-3"	2-4"	700	2-500	2-1/0	-	2-3"	2-3"	2-3"	3-3"	800	2-600	2-1/0	-	2-3"	2-3"	2-3 1/2"	2-3 1/2"	1000	3-400	3-2/0	-	3-3"	3-3"	3-3"	3-3"	1200	3-600	3-3/0	-	3-3 1/2"	3-3 1/2"	3-3 1/2"	3-4"	1600	4-600	4-4/0	-	4-3 1/2"	4-3 1/2"	4-3 1/2"	4-4"	2000	5-600	5-250	-	5-3 1/2"	5-3 1/2"	5-3 1/2"	5-4"	
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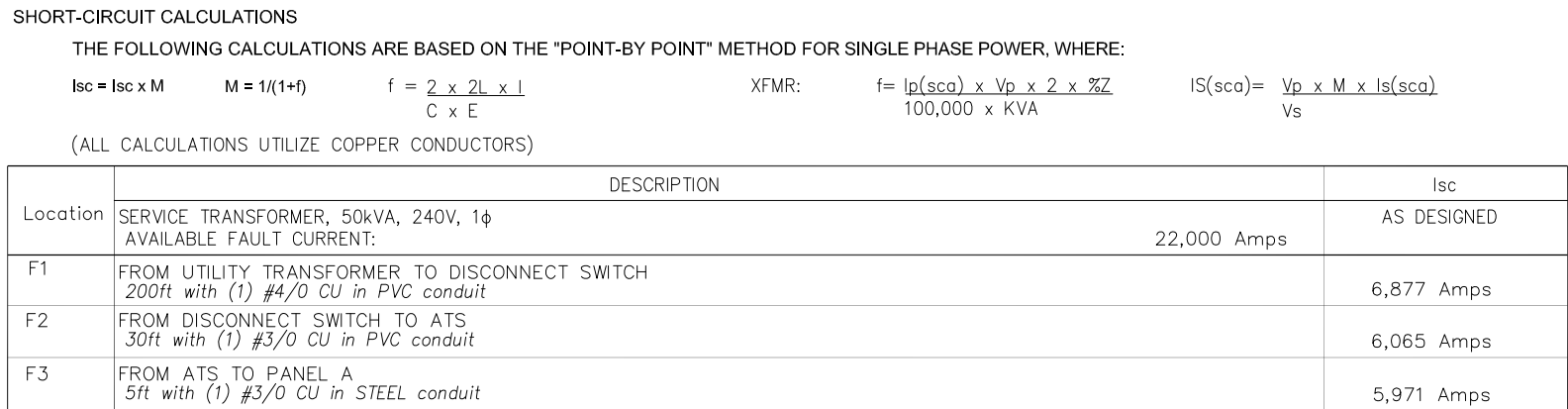
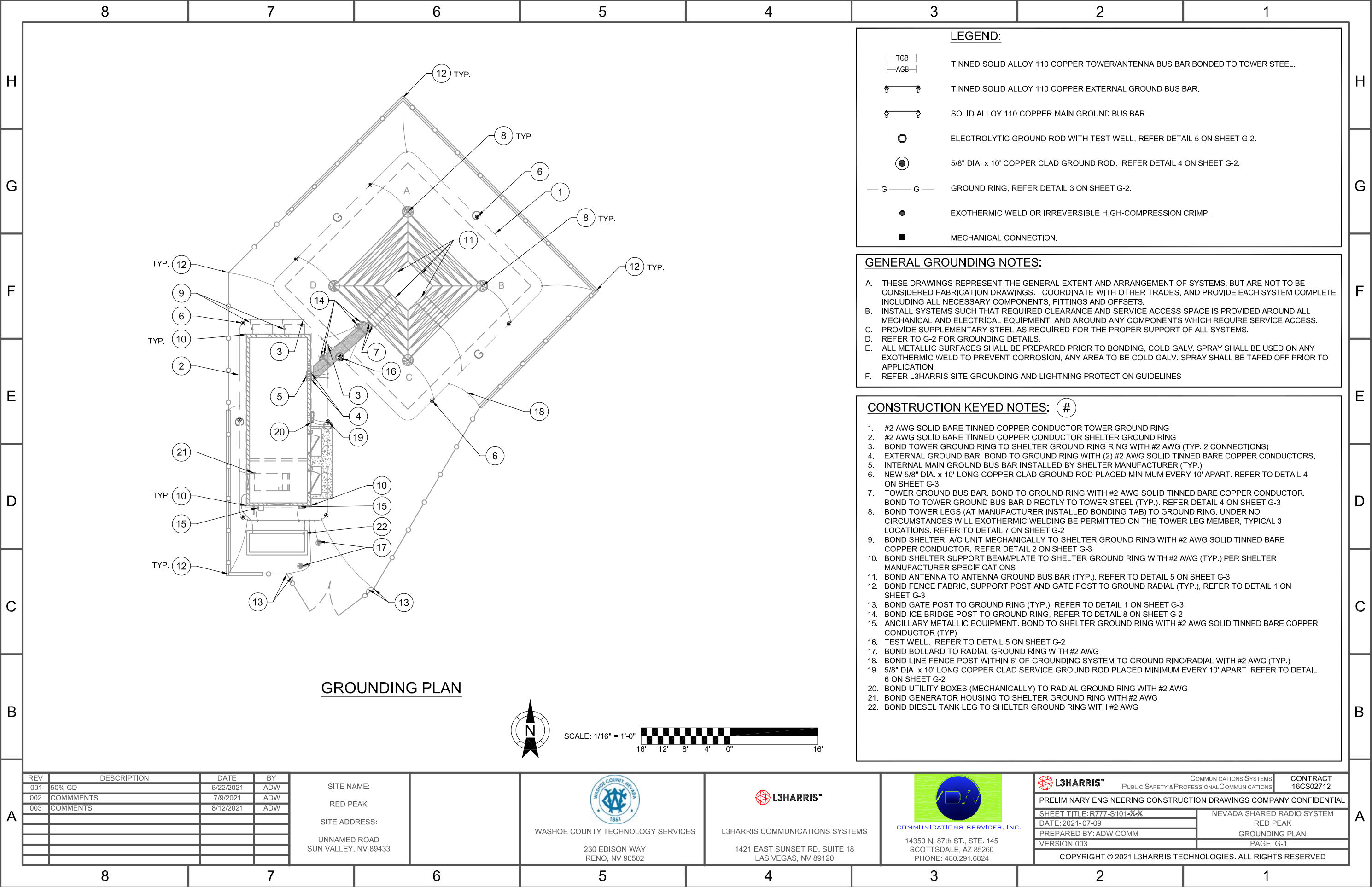


Exhibit B



GROUNDING PLAN



SCALE: 1/16" = 1'-0"

REV	DESCRIPTION	DATE	BY
001	50% CD	6/22/2021	ADW
002	COMMENTS	7/9/2021	ADW
003	COMMENTS	8/12/2021	ADW

SITE NAME:
RED PEAK

SITE ADDRESS:

UNNAMED ROAD
SUN VALLEY, NV 89433



WASHOE COUNTY TECHNOLOGY SERVICES

230 EDISON WAY
RENO, NV 90502



L3HARRIS COMMUNICATIONS SYSTEMS

1421 EAST SUNSET RD, SUITE 18
LAS VEGAS, NV 89120



14350 N. 87th ST., STE. 145
SCOTTSDALE, AZ 85260
PHONE: 480.291.6824



COMMUNICATIONS SYSTEMS
PUBLIC SAFETY & PROFESSIONAL COMMUNICATIONS

CONTRACT
16CS02712

PRELIMINARY ENGINEERING CONSTRUCTION DRAWINGS COMPANY CONFIDENTIAL

SHEET TITLE: R777-S101-~~XX~~
DATE: 2021-07-09
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VERSION 003

NEVADA SHARED RADIO SYSTEM
RED PEAK
GROUNDING PLAN
PAGE G-1

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