



Planning Commission Staff Report

Meeting Date: August 4, 2026

Agenda Item: 9B

SPECIAL USE PERMIT CASE NUMBER:	WSUP26-0008 (NVSolarWRX)
BRIEF SUMMARY OF REQUEST:	Request to construct a 450 MWs of photovoltaic energy facility; a 345 kV project substation; a 200 MW battery energy storage system; and associated major grading.
STAFF PLANNER:	Julee Olander, Planner Phone Number: 775.328.3627 E-mail: jolander@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit for: 1) the construction of a solar electric generating facility consisting of up to 450 MWs of photovoltaic energy production; 2) establishment of a 345 kV project substation, a 200 MW battery energy storage system; 3) a request to vary all parking design requirements; 4) a request to vary landscaping design requirements; and 5) a request to vary the height requirement from 35 feet to 100 feet for transmission poles and structures within the proposed substation. This application is submitted by NVSolarWRX on behalf of property owners Robert Simmons and Michel Luttrell. The subject property is located in the Honey Lake Valley, 2 miles north of Fish Springs Road and 3 miles east of the Nevada/California state line (APNs: 074-103-01 & 05, 074-451-20, & 074-452-01) and consists of a total of $\pm 1,680$ acres.

The proposal is being reviewed under Development Code Article 810, Special Use Permits and is situated within Commission District 5. The site is currently governed by the Rural (R) Master Plan land use designation and the General Rural (GR) Regulatory Zone zoning district, within the boundaries of the High Desert Area Plan.

This project meets the standard for a project of regional significance because it will generate more than 5 MW of electricity. It will require conformance review determination by the regional planning authorities before any approval at the county level would take effect. This project will also need to comply with all Federal and State requirements.



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

Staff Report Contents

Special Use Permit.....	4
Vicinity Map.....	6
Site Plan.....	6
Site Plan - Detail 1 & 2	7
Site Plan - Detail 3 & 4	7
Typical Substation Profile.....	7
Project Evaluation	7
Article 438 – Grading.....	9
Article 810 – Special Use Permits	10
Article 812 – Projects of Regional Significance	10
Modifications	11
Master Plan Consistency.....	11
Reviewing Agencies	14
Recommendation	16
Motion	16
Appeal Process	17

Exhibits Contents

Conditions of Approval	Exhibit A
Agency Comments	Exhibit B
Public Comments	Exhibit C
Neighborhood Meeting Materials	Exhibit D
Project Application	Exhibit E

The technical reports submitted with the project application are extensive. To review the complete project application with technical reports on-line click *here* or contact Planning at Planning@washoecounty.gov to have a copy sent by email.

Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Planning Commission grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

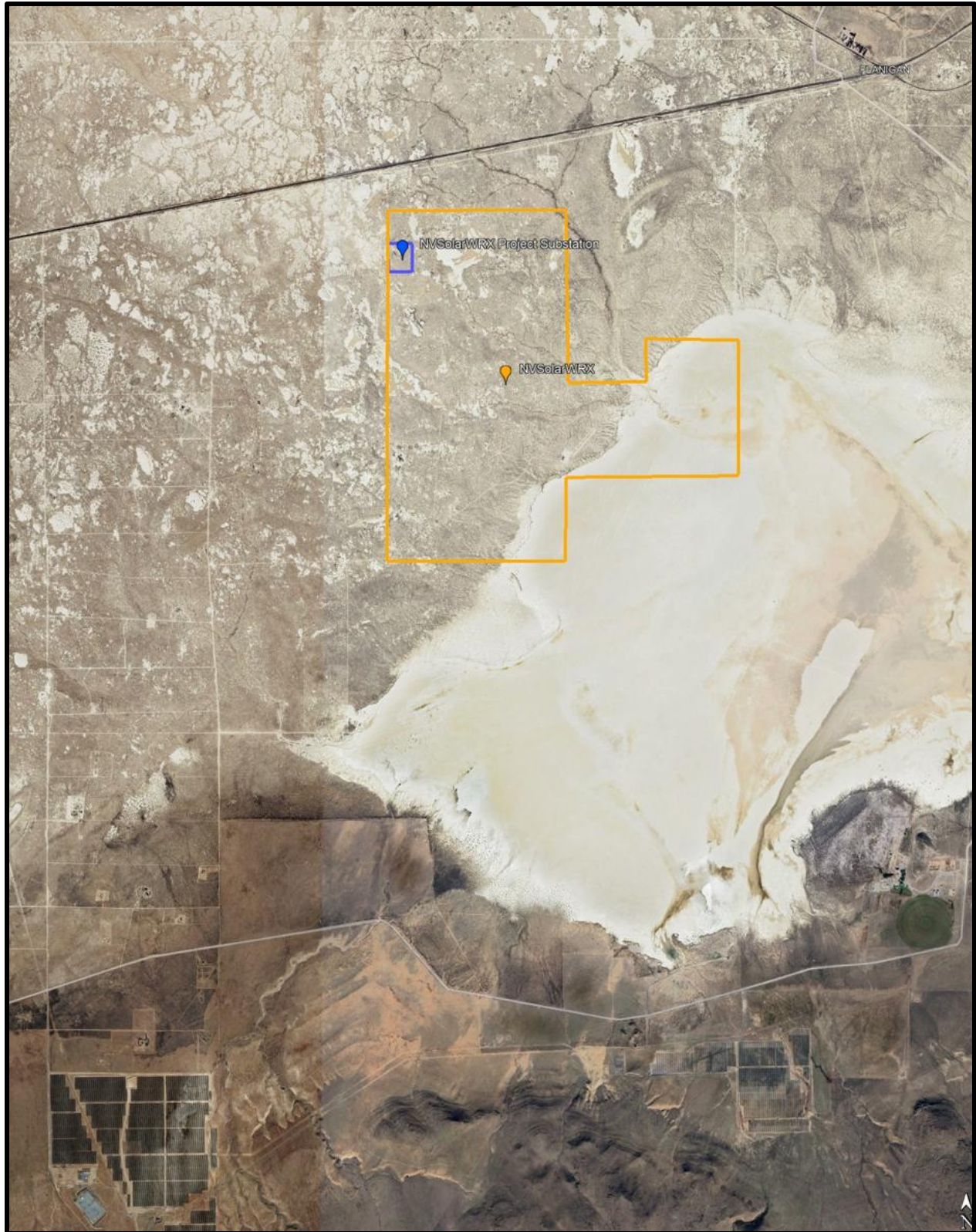
The conditions of approval for Special Use Permit Case Number WSUP26-0008 are attached to this staff report and will be included with the action order.

The subject properties have a regulatory zone of General Rural (GR). The proposed 450 MW solar facility and 200MW battery energy storage system are both classified as “renewable energy production” use types and the proposed substation is classified as a “utility services” use type; both of which are permitted in the GR regulatory zone with a special use permit per WCC Section 110.302.05, *Table of Uses*.

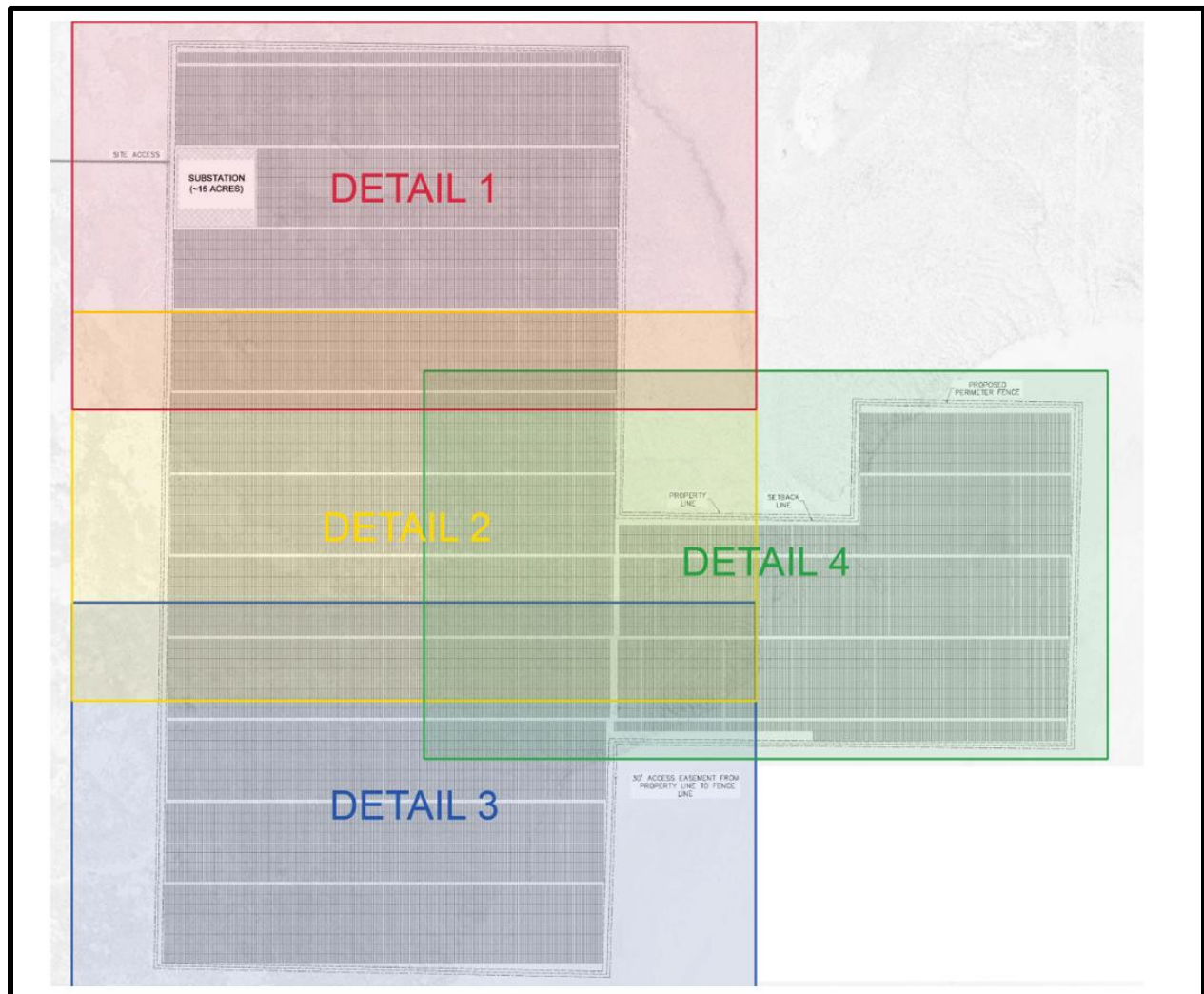
This project meets the standard for a project of regional significance because it will generate more than 5 MW of electricity and requires construction of a substation. Therefore, the applicant is seeking approval of this special use permit from the Planning Commission.

Additionally, Article 810, Special Use Permits, allows the Planning Commission to vary development code standards in conjunction with the approval process per WCC 110.810.20(e). The Planning Commission will be ruling on request(s) to vary the following standards below:

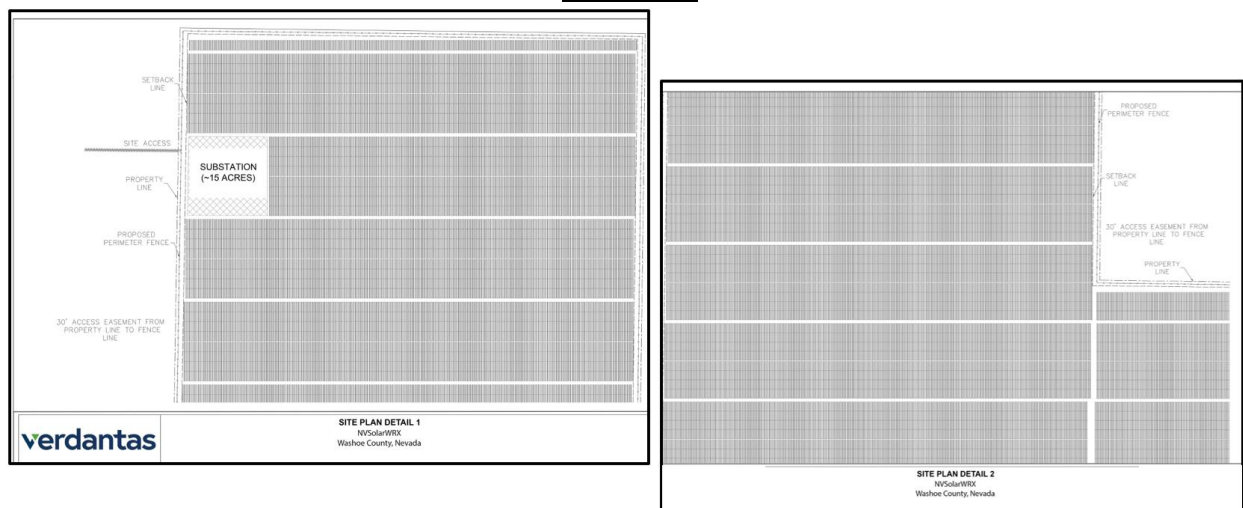
Requested Standards to be Varied	Relevant Code
Waive all landscaping requirements for industrial and civic uses	Article 412, Landscaping: WCC 110.412.45 and 110.412.40
Waive all parking design requirements	Article 410 Parking and loading: WCC 110.410.25(a) and (c)-(g)
Maximum height of 100' instead of 35'	Table 110.406.05.1



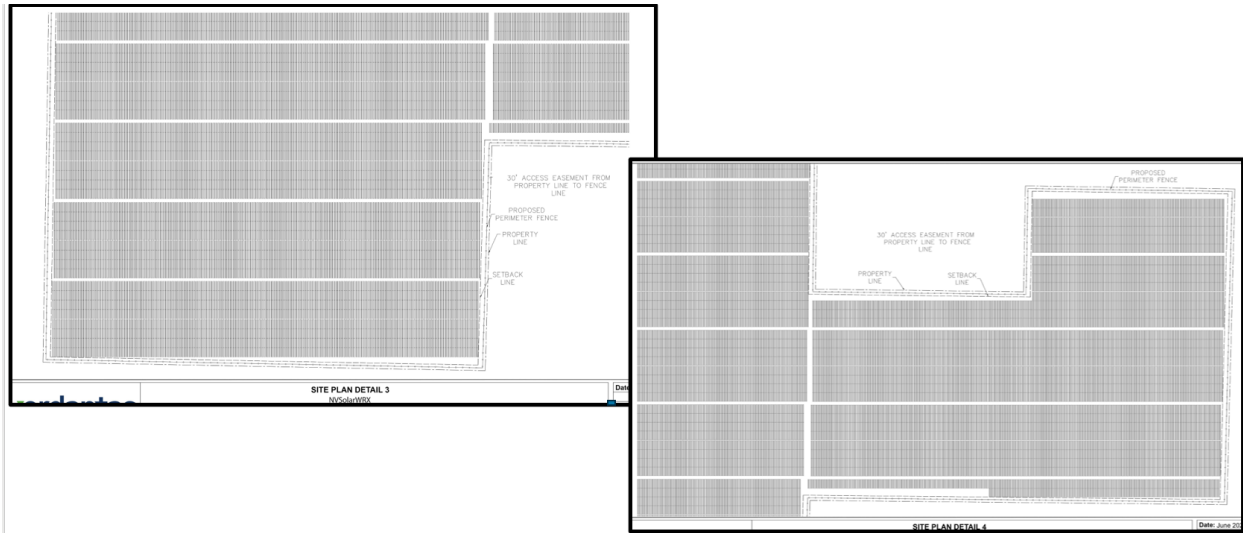
Vicinity Map



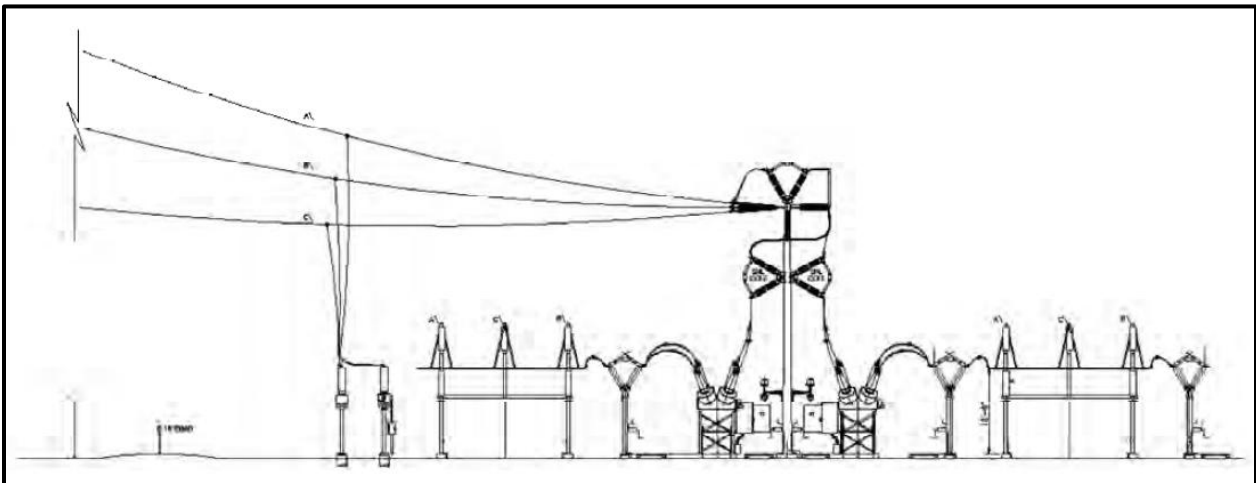
Site Plan



Site Plan - Detail 1 & 2



Site Plan - Detail 3 & 4



Typical Substation Profile

Project Evaluation

The applicant is seeking to construct a photovoltaic solar energy system (PSES) with up to 450 MW of power generation, and an 200 MW battery electrical storage system (BESS). The 1,680 acre project will be located on four (4) parcels (APNs: 074-103-01 & 05, 074-451-20, & 074-452-01), of vacant and undeveloped land. The proposed project is located approximately 43 miles north of Reno in the Honey Lake Valley. All parcels have a regulatory zone of General Rural and a master plan designation of Rural which are located in the High Desert Planning Area. The application provided the following explanation of the project:

The Project will use solar photovoltaic panels organized in arrays and aggregated to an injection capacity of up to 450 megawatts of alternating current solar capacity

at the point of interconnection to the electric power grid. It will interconnect through an approximately 7-mile 345 kV generation-tie line to NV Energy's Fort Sage Substation via an existing utility easement corridor.

Further the application states, "The Project is intended to provide renewable energy generation and storage for the greater capacity and service reliability to the existing electric grid transmission and distribution line system in the region."

The site will include the following equipment:

1. A solar field featuring a PV array comprised of up to 775,000 photovoltaic (PV) modules mounted on a single axis tracking steel structures;
2. An electrical collection system that aggregates the output from the PV panels and converts the electricity from direct current (DC) to alternating current (AC);
3. A project substation where all the facility output is combined and transformed to voltage of 345 KV;
4. A battery energy storage system (BESS) with a capacity of up to 200 megawatts of storage;
5. A generation tie line used to transmit the electrical power to electrical grid;
6. A communication infrastructure including a microwave or fiber optic cable; and
7. Civil infrastructure including driveways and fencing.

The layout will be approximately 6 acres for the BESS on a flat graded area, with a concrete foundation. A contractor site trailer/office, fabrication areas, worker break areas, sanitation and parking will be located near the entrance of the site on 5 to 7 acres. A temporary mobile generator will provide temporary power. Potable water for drinking and sanitation will be trucked in from an outside source. All temporary uses and construction material will be removed and work areas will be restored to preconstruction contours to the extent possible. The planned construction is scheduled to begin in the Summer of 2028 and continue through Fall 2029

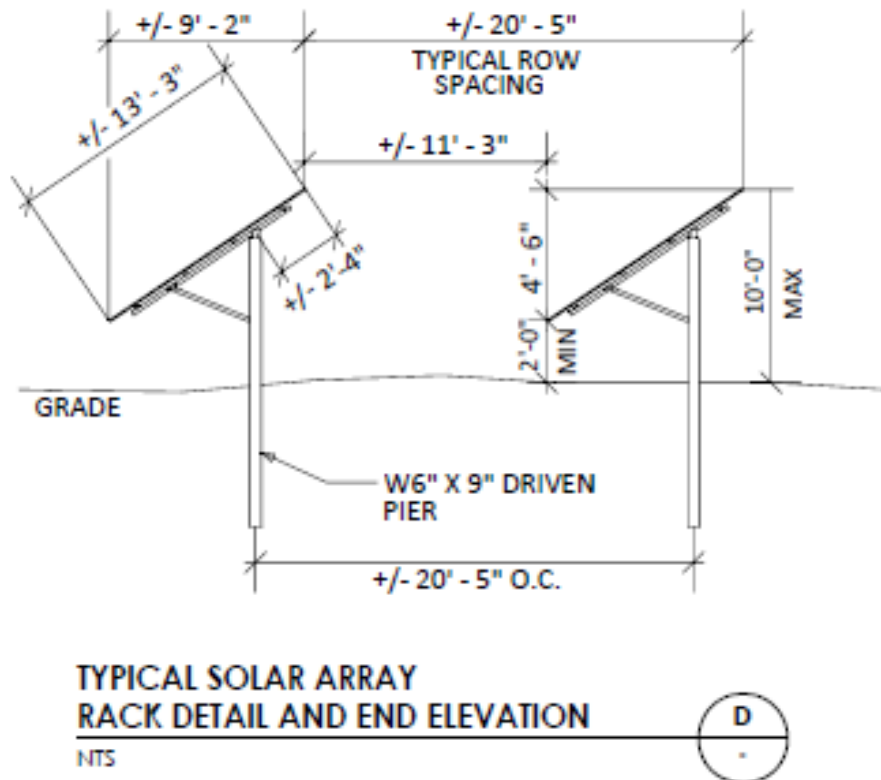
The site will be enclosed by a 7-foot-high chain link fence, topped with a 1-foot barb wire material. Access to the site will be through swinging or rolling chain link gates. The gates will be automated to provide for emergency access.

This application does not include a connection to a transmission line at this time. The applicant is working with property owners to confirm the location of the line. The substation will need to connect with NV Energy's Fort Sage Substation, which is approximately 7 miles from the site. A five-mile portion of the transmission line has already been approved, by Washoe County and Truckee Meadows Regional Planning Agency. The remaining 2-miles is the section that the applicant is in the process of obtaining permission from the property owners for the transmission line.

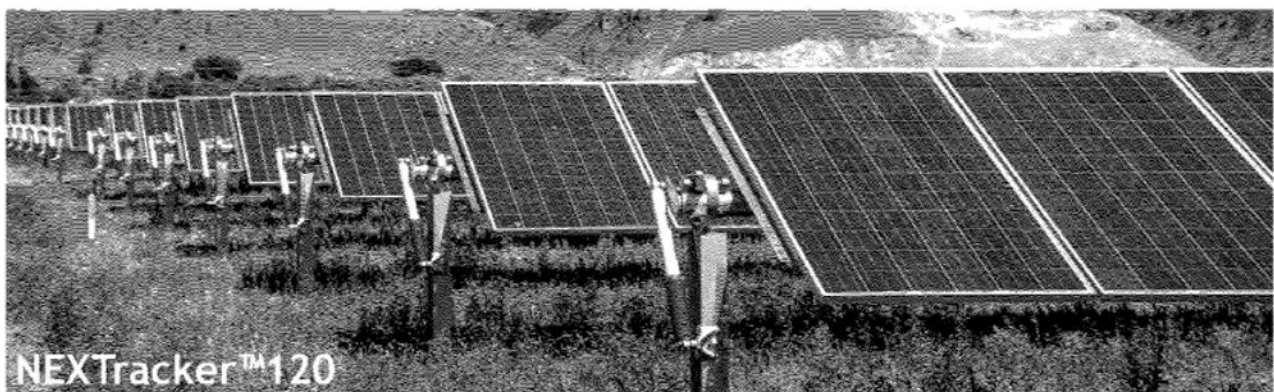
Energy Production, Renewable Use Type

The proposed photovoltaic facility will include approximately 775,000 photovoltaic modules on a single axis tracker systems, creating a chain of panels or "strings". The strings are then combined with other strings to create a solar field. A DC collection system groups the solar fields together at inverter stations, converting the energy into AC and into an intermediate voltage.

The solar arrays will be a maximum height of 15 feet and will be mounted on piles driven into the ground. This construction technique limits ground disturbance necessary for installation of the panels. A tracker system, holding 27 to 110 panels, slowly rotate the arrays throughout the day to optimize the incoming solar rays. An example elevation of what a typical solar array may look like is shown below.



Example Panel Details



Example of Arrays

Article 438 – Grading

To enable the development of this solar facility and substation, the special use permit application includes a request for major grading for 1,680 acres of ground disturbance.

The proposed project exceeds the major grading permit thresholds in Article 438, *Grading Standards*, per Section 110.438.35(a)(1)(i)(C) – Grading of an area of more than four (4) acres on a parcel of any size.

The application indicates that the grading will include excavating over 1,000 cubic yards; importing more than 5,000 cubic yards of fill; disturbing more than 25,000 square feet; placing more than 1,000 cubic yards of fill in a flood hazard area; and grading required for the project would exceed 25,000 square feet. The area has been previously disturbed by grazing operations and there are dirt roads, berms and ditches on the site. The area is accessible from various roadways and no new driveways are proposed. All roadways will be “stabilized with nontoxic soil binder or soil weighting agent for dust control”, according to the application.

The Washoe County Engineering Division reviewed the application and provided a condition of approval (Exhibit A) requiring the submission of a grading and drainage plan and had no concerns about site suitability.

Article 810 – Special Use Permits

The proposed application qualifies as a development of Natural Resources SUP per Article 810 of the Washoe County Code Development Code. Therefore, the following additional findings are required in accordance with WCC 110.810.35 (See Staff responses on page 15 & 16):

- a) The proposed development is not unduly detrimental to surrounding properties, land uses, and the environment in general;
- b) The proposed development will not unduly block scenic views or degrade surrounding scenic resources; and
- c) The proposed development will reclaim the site at the conclusion of the operation.

The application also meets major grading per Article 438. To enable the development of this solar facility and substation, the special use permit includes a request for major grading for approximately $\pm 1,680$ acres of disturbance. The majority of the land disturbance area is for the removal of vegetation and to create a uniform surface area. The application indicates approximately 80,000 cubic yards (CY) of gravel will be brought in primarily for road construction and the substation area. The substation yard will have 4 to 6 inches of crushed stone or rock (approximately 8,000 CY to 12,000 CY) and will cover the entire substation yard to the substation fence.

Article 812 – Projects of Regional Significance

This project meets the standard for a project of regional significance because it will generate more than 5 MW of electricity and create a new substation. As a project of regional significance, this application requires a conformance review by the Truckee Meadows Regional Planning Commission. The proposed substation requires a regional plan amendment to add a utility site, which may be sponsored by the Washoe County Board of County Commissioners. Thus, if the Planning Commission approves the special use permit, it shall not be issued until the regional planning authorities have taken final action in accordance with WCC 110.810.40.

Modifications

The applicant is requesting to modify the following requirements:

1. 110.410.25(e): All parking spaces, driveways and maneuvering areas shall be paved and permanently maintained with asphalt or cement. Bumper guards shall be provided when necessary to protect adjacent structures or properties as determined by the Director of Community Development.

Staff Comment: *The site location is remote and un-manned and no paved parking space is needed.*

2. 110.412.40(a-d): Civic & Commercial Use Types (*Landscaping*)

Staff Comment: *The site is remote with minimal natural vegetation and irrigation for landscaping is not available. The applicant has submitted a vegetation management plan to address the revegetation of the site. The plan includes noxious weed management, cultural weed controls, mechanical weed controls, and chemical weed controls (See Exhibit E, Application)*

3. Table 110.406.05.1: Maximum Allowed Height for Regulatory Zoning for GR

Staff Comment: *The structure height proposed for the substation and transmission poles for the gen-tie line could be up to 100 feet high. The location is remote and equipment this high is typically for a utility facility and staff supports this request.*

Master Plan Consistency

The proposed amendment is consistent with the Envision Washoe 2040 Master Plan's High Desert Planning Area Vision Statement as described in the following section.

Table 2: Master Plan Conformance

Vision Statement	Explanation of Conformance with Vision Statement
<i>"High Desert is a growing area, with many opportunities for sustainable development that celebrates its natural beauty."</i>	The project will provide a local and regional source of emissions-free sustainable power. The environmental statement prepared for the project concluded no mitigation measures were required to reduce potentially adverse scenic impacts.

The Project is consistent with the applicable Envision Washoe 2040 Priority Principles & Policies as described in Table 3.

Table 3: Master Plan Element Conformance Priority Principles & Policies

Master Plan Element	Priority Principles & Policies	Explanation of Conformance with Priority Principles & Policies
NCR Principle 2. Coordinate development and conservation goals with State, tribal, and federal agencies		
Policy 2.3. Coordinate wildlife protection efforts with NDOW, USFS, USFWS, the Nevada Division of Natural Heritage, Nevada Division of Parks, Washoe County Regional Parks and Open Space.		All listed agencies and County departments received notice of application. Their comments and recommended conditions of approval have been incorporated appropriately. No comments of concern were received.
NCR Principle 3. Protect key wildlife and vegetation resources.		
Policy 3.1. Protect key wildlife and fishery habitats; habitats of threatened, endangered, or rare species; key migration routes or critical seasonal habitats; and areas important for scientific study.		NDOW provided recommendations concerning wildlife (See Exhibit A).
Policy 3.6. Support government and private efforts to control the spread of invasive, nonnative species throughout the region.		As a part of the application, a vegetation management plan was submitted addressing the control of noxious weeds.
NCR Principle 5. Maintain air quality at levels necessary to protect public health and welfare and improve visual clarity.		
5.2. Support NNPH Air Quality Management Division in their efforts to continuously monitor air quality and mitigate identified health impacts.		The Air Quality Management Division (AQMD) of Northern Nevada Public Health reviewed the plans and provided conditions of approval requiring a dust control permit application and a supplemental dust control plan to be reviewed by the AQMD prior to issuance of the dust control permit.
Land Use Principle 1. Facilitate partnerships to ensure land use decisions are based on the best available information.		

LU 1.1 - Continue to cooperate with TMRPA to ensure the County's approach to growth and development is consistent with and supportive of the regional vision.	TMRPA was forwarded the project application and information during the agency review period. No specific comments or concerns were received concerning the subject application, and the project will be subject to TRMPA review as it is a project of regional significance.
LU 1.2 - Provide a variety of opportunities to involve the community in the review of future growth and development.	In addition to County-required noticing per NRS, the applicant held the required and duly noticed neighborhood meeting to solicit feedback and comment from adjoining property owners prior to submittal of a formal application. Further, the County's Neighborhood Meeting HUB webpage (https://neighborhood-washoe.hub.arcgis.com/) allows for an additional opportunity for community engagement and feedback for the project.
LU 1.3 - Continue to coordinate land use policies and decisions with the public health goals of the Northern Nevada Public Health (NNPH).	Northern Nevada Public Health received the project application and information during the agency review period. No comments in opposition of or concern were received.

The Project is consistent with the applicable Envision Washoe 2040 Priority Principles & Policies for the High Desert Planning Area, as described in Table 4.

Table 4: Master Plan Conformance with High Desert Priority Principles & Policies

Priority Principles & Policies	Explanation of Conformance with Priority Principles & Policies
Adaptation and Resilience Principle 3. Mitigate the impacts of climate change on residents.	
Policy 3.4 Encourage development of alternative and renewable energy generation and infrastructure, including but not limited to solar, wind, and geothermal to benefit the community/County.	According to the application, the project will provide a local and regional source of power, producing around 750,000 megawatt-hours of clean, emissions-free power each year at max buildout. Compared to Nevada's current average power emissions, this project will allow for

	the reduction of around 765,000 tons of carbon dioxide annually.
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Neighborhood Meeting

A neighborhood meeting was held via the online platform “Zoom” on Friday, March 27, 2026, at 6:00pm. Notices were mailed to sixty-seven (67) property owners. Applicants responded to questions regarding the timeframe, location and ownership. All neighborhood meeting materials (including a meeting summary) are included as Exhibit D.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
Bureau of Indian Affairs	X			
BLM - NV State Office	X			
BLM - US Fish & Wildlife	X			
Environmental Protection	X			
NDF - Endangered Species	X			
NDOW (Wildlife)	X	X	X	Cheyenne Trueblood, Cheyenne.Trueblood@NDOW.org
NV Department of Agriculture	X			
NV Division of State Lands	X			
NV Division of Natural Heritage	X			
Washoe County Building & Safety	X			
Washoe County Parks & Open Space	X			
Washoe County Water Rights Manager (All Apps)	X	X	X	Timber Weiss, tweiss@washoecounty.gov
Washoe County Engineering (Land Development) (All Apps)	X	X	X	Rob Wimer, rwimer@washoecounty.gov; Janelle Thomas, jkthomas@washoecounty.gov; Stephen Hein, shein@washoecounty.com; Michon Reede, mreede@washoecounty.gov; Ashley Elson, aelson@washoecounty.gov
Washoe County Engineering & Capital Projects Director (All Apps)	X			
NNPH Air Quality	X	X	X	Genine Rosa, grosa@washoecounty.gov; Joshua Restori, jrestori@washoecounty.gov
NNPH EMS	X	X		
TMFPD	X	X	X	Jenny Williamson, jewilliamson@tmfpd.us
Truckee Meadows Regional Planning	X	X		

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Planning Commission before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the High Desert Area Plan.

Staff Comment: The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the High Desert Planning Area, specifically NCR Policy 2.3, 3.1, & 3.6; LU Policy 1.1, 1.2, & 1.3 AR Policy 3.4, and as conditioned in Exhibit A.

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The proposed photovoltaic facility has been reviewed by Washoe County Engineering, which provided Conditions of Approval mitigating the impacts of grading and drainage. No reviewing agency indicated concerns with infrastructure or improvements.

- (c) Site Suitability. That the site is physically suitable for energy production, renewable use type, utility services use type, major grading and for the intensity of such a development.

Staff Comment: The proposed site is flat and suitable for an energy production use type and utility services use type. Washoe County Engineering reviewed this application and indicated no concerns about site suitability.

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: Staff has provided Conditions of Approval to mitigate impacts of the proposed use on public health, safety, and welfare. The conditions in Exhibit A also allow variations from Washoe County development standards that help preserve the character of the surrounding area.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There are no military installations within the noticing area of the proposed facility.

Additional findings per 110.810.35:

- (a) Environment. That the proposed development is not unduly detrimental to surrounding properties, land uses and the environment in general;

Staff Comment: The surrounding properties are similar to the proposed site and several other utility facilities have been approved in the area. The proposed application was forwarded to the Nevada Division of Wildlife (NDOW) for comment. The project has been appropriately based on the Master Plan policies to prevent an undue detriment to the environment.

- (b) Impact on Scenic Resources. That the proposed development will not unduly block scenic views or degrade any surrounding scenic resources; and

Staff Comment: Most of the site area will have low-lying development and the substation area is anticipated to have minimal to no significant scenic impacts. In addition, there are no significant residential developments within the immediate vicinity, or within the general property view shed. No prominent ridgelines, playas, or unique scenic features fall within the project area, and in their absence the Washoe County Master Plan does not indicate that any mitigation measures should be applied. While the project will be visible, it will not unduly block scenic views or degrade surrounding scenic resources.

- (c) Reclamation. That the proposed development will reclaim the site and all affected areas at the conclusion of the operation.

Staff Comment: Staff has provided Conditions of Approval in Exhibit A requiring a reclamation plan and reclamation bond for the proposed facility.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP26-0008 is recommended for approval with conditions. Staff offers the following motion for the Commission's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Planning Commission approve with conditions Special Use Permit Case Number WSUP26-0008 for NVSolarWRX, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the High Desert Planning Area;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for energy production, renewable use type, utility services use type, major grading, and for the intensity of such a development;

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Planning Commission action will be effective 10 calendar days after the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant.



Conditions of Approval

Special Use Permit Case Number WSUP26-0008

The project approved under Special Use Permit Case Number WSUP26-0008 shall be carried out in accordance with the conditions of approval granted by the Planning Commission on August 4, 2026. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions." These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through Northern Nevada Public Health (NNPH), has jurisdiction over public health matters. Any**

conditions set by NNPH must be appealed to the District Board of Health.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

**Contact Name – Julee Olander, Planner, 775.328.3627,
jolander@washoecounty.gov**

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. **The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.**
- c. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit.
- d. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and all applicable building permits shall be issued within six years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- e. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. A business license shall be obtained for the new use.
- e. Construction hours are 7am to 7pm Monday through Saturday.
- f. The following **Operational Conditions** shall be required for the life of the business:
 - i. After a business license has been issued, this special use permit shall remain in effect until or unless it is revoked or is inactive for one year.

- ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
- iii. The applicant and any successors shall direct any potential purchaser/operator of the site to meet with Planning and Building to review conditions of approval prior to the final sale of the site or operation of the site, as applicable. Any subsequent purchaser/operator of the site shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale and/or operation.
- iv. This special use permit shall remain in effect as long as the business is in operation, is in compliance with these conditions of approval, and maintains a valid business license.
- g. The facility shall be exempted from the parking standard requirements found in WCC 110.410.25(a, c-g), except for the required accessible parking space.
- h. The facility shall be exempted from the landscaping requirements found in the Washoe County Development Code (Chapter 110), Article 412.
- i. No construction shall occur March 1 – May 15, during sage-grouse lekking and breeding season.
- j. Pursuant to Washoe County Code Section 110.810.35(c), a reclamation plan shall be prepared prior to the issuance of building or grading permits. This shall ensure that the solar panels and associated infrastructure are properly decommissioned, and the site is restored at the end of the solar facility's useful life. The plan shall be developed in consultation with the Nevada Department of Wildlife and/or the Nevada Department of Environmental Protection, and Washoe County Engineering. At a minimum, the plan will include:
 - i. existing site conditions;
 - ii. the area of impact (to include all portions of the subject site);
 - iii. reclamation goals and methods;
 - iv. measures to prevent the spread of noxious weeds;
 - v. analysis of reclamation costs;
 - vi. reclamation success criteria; and appropriate monitoring provisions.
- k. Prior to the issuance of building/grading permits, the applicant shall post a financial assurance for reclamation for one hundred percent (100%) of the total reclamation costs as identified in the reclamation plan per condition 1h.
- l. All structures comply with applicable setbacks or a reversion to acreage shall occur prior to issuance of building permits so that no solar panel arrays or structures cross property lines.
- m. Any signage on the parcel shall adhere to the applicable requirements of WCC Article 505, *Sign Regulations*.
- n. As part of the building permit application submittal for the project, a lighting plan showing the location and configuration of all proposed exterior lighting including a detail of the parking lot light fixtures, pole heights, security lighting, and wall mounted illumination fixtures. Parking lot areas shall be depicted showing lumen

isolines demonstrating compliance with the provisions of the Washoe County Development Code.

- o. Pursuant to WCC Section 110.414.21(a)(1), any lighting facilities shall be so installed as to reflect away from adjoining properties. Covers must be installed on all lighting fixtures and lamps must not extend below the bottom of the cover.
- p. Pursuant to WCC Section 110.414.21(a)(2), exterior light fixtures within one hundred (100) feet of a residential use shall not exceed a height of twelve (12) feet. A note shall be placed on the building plans stating any exterior light fixtures within one hundred (100) feet of a residential use will not exceed a height of twelve (12) feet.
- q. The proposed fence, including entry gates, shall be coated with a Sudan brown or similar coating.
- r. All structures similar in appearance to cargo containers shall be painted in compliance with WCC 110.306.10(g).

Washoe County Engineering and Capital Projects

- 2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Contact Name – Robert Wimer, P.E., 775.328.2059, RWimer@washoecounty.gov

- a. The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.
- b. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed to be conveyed onto adjacent property.

GRADING (COUNTY CODE 110.438)

Contact Name – Contact Name – Robert Wimer, P.E., 775.328.2059, RWimer@washoecounty.gov

- c. Final construction drawings shall comply with all applicable statutes, ordinances, rules, regulations, and policies in effect at the time of submitting the subsequent individual building permits.
- d. Prior to acceptance of public improvements and release of any financial assurances, the developer shall provide as-built construction drawings in an acceptable digital format prepared by a civil engineer and/or surveyor licensed in the State of Nevada.
- e. A complete set of construction improvement drawings, including an onsite grading plan, shall be submitted to the County Engineer for approval prior to finalization of any portion of

Washoe County Conditions of Approval

the special use permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading and drainage on each lot, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or disposal of any excavated material shall be indicated on the grading plan.

- f. Any existing easements, facilities, or utilities that conflict with the development shall be relocated, quitclaimed, and/or abandoned, as appropriate.
- g. Any easement documents recorded for the project shall include an exhibit map that shows the location and limits of the easement in relationship to the project.
- h. Add the following note to the building permit civil improvement plans: "All public utilities shall be placed underground, except in the case where underground placement of utilities is shown not to be feasible, in which case the County Engineer may approve exceptions to this requirement."
- i. With each affected building permit application, provide written approval from all utility provider(s) for any improvements located within their easement, or under or over their facilities.
- j. Appropriate easements shall be granted for any existing or new utilities, with each affected building permit application.
- k. Slope easements shall be provided for areas of cut or fill that fall outside of the project boundary.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Name – Contact Name – Robert Wimer, P.E., 775.328.2059, RWimer@washoecounty.gov

- l. A detailed hydrology/hydraulic report, in conformance with the standards included in the Truckee Meadows Regional Drainage Manual, prepared by a professional engineer licensed in the State of Nevada shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates, and flood limits of all 5- and 100-year storm flows impacting onsite and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations, including a discussion of and mitigation measure design for any impacts on existing offsite drainage facilities and properties. Additionally, any increase in storm water runoff resulting from the development and based upon the 5- and 100-year storms shall be detained on site and attenuated to existing flow rates for discharge to the satisfaction of the County Engineer.
- m. The following note shall be added to the construction drawings; "All properties, regardless of if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink, P.E., 775.328.2050, mfink@washoecounty.gov

- n. Prior to ground-disturbing activity, a proposed Construction Traffic Haul Route Plan shall be submitted to the Engineering Division for review and approval. Any existing or proposed roads that will be used as construction haul routes shall have a proposed maintenance plan to mitigate the construction traffic impacts to the affected roads.
- o. The applicant shall provide the roadway use agreement from the appropriate jurisdictional agency prior to the issuance of the permit.

Washoe County Conditions of Approval

- p. The applicant shall provide temporary traffic control plans for review and approval by the County Engineer prior to commencement of construction.
- q. The applicant shall submit an encroachment and excavation permit application for review and approval for any construction within Washoe County Right of Way.

Washoe County Water Rights

- 3. The following conditions are requirements of the Water Rights Division, which shall be responsible for determining compliance with these conditions.

Contact Names – Timber Weiss, P.E., 775.954.4626, tweiss@washoecounty.gov

- a. Water rights are required for this project. Prior to any permit approval associated with this project, applicant shall furnish an approved water right from Honey Lake Valley Hydrographic Basin to support construction, dust control, panel cleaning, or any other pertinent maintenance activity and commercial/domestic use.
- b. With the submittal of the first building permit for this project, applicant shall submit a copy of the necessary water right permits approved by the Nevada State Engineer.

Northern Nevada Department of Public Health – Air Quality (AQMD)

- 4. The following condition is a requirement of the Northern Nevada Department of Public Health, which shall be responsible for determining compliance with this condition.

Contact Name – Genine Rosa, Sr. Air Quality Specialist, 775.784.7204, GRosa@nnph.org

- a. The AQMD will require a Dust Control Permit for any disturbance of 1 acre or more and a Supplemental Dust Control Plan.
- b. The Supplemental Dust Control Plan will need to include specifics in regard to phasing of the project, dust control measures being employed during the course of construction and a long-term dust control plan for the Solar Project. The Dust Control Permit Application and Supplemental Dust Control Plan will need to be reviewed by the AQMD prior to the issuance of a Dust Control Permit. The construction of the project may also require the use of mobile stationary source equipment such as aggregate crushers and screens. These pieces of equipment will require a Stationary Source permit with the AQMD prior to their use.

Truckee Meadows Fire Protection District

- 5. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

Contact Name – Jenny Williamson, Fire Marshal, 775.444.8521, jewilliamson@tmfpd.us

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.
<https://tmfpd.us/fire-code/>

Nevada Department of Wildlife

6. The following condition is a requirement of the Nevada Department of Wildlife, which shall be responsible for determining compliance with this condition.

Contact Name –Cheyenne Trueblood, Western Region Supervising Habitat Biologist, 775.688.1145, cheyenne.trueblood@ndow.org

- a. NDOW recommends avoidance and minimization of impacts remain the primary strategy for conserving wildlife habitat and request the opportunity to review the reclamation plan and associated seed mix prior to implementation.
- b. The project area appears to provide suitable habitat for desert kangaroo rat (*Dipodomys deserti*), pale kangaroo mouse (*Microdipodops pallidus*), and dark kangaroo mouse (*Microdipodops megacephalus*). NDOW recommends conducting pre-construction surveys, using methods appropriate for these species, to determine their presence within the project area and better inform avoidance and minimization measures.
- c. The project may occur within 4 miles of an active greater sage-grouse lek and NDOW recommends evaluating the project against current sage-grouse habitat mapping and implementing appropriate avoidance and minimization measures where applicable.
- d. The project's proximity to playa habitat, NDOW requests additional information describing how seasonal flooding and wildlife use of adjacent playa habitats were considered during project planning. Seasonal inundation may provide important habitat for migratory shorebirds and other waterbirds. NDOW also recommends implementing spill-prevention and stormwater-management measures to prevent sediment or contaminants from entering adjacent playa habitats during construction and operation.
- e. NDOW requires incorporating dark-sky-compliant lighting measures to minimize impacts to wildlife. Lighting should use fully shielded, downward-directed fixtures and warm LEDs (≤ 3000 K) to minimize light spill and disturbance to nocturnal species. Where feasible, timers, motion sensors, or dimming controls should be used so that lighting operates only when necessary.

*** End of Conditions ***

From: [Rosa, Genine](#)
To: [Olander, Julie](#)
Subject: RE: Special Use Permit Case Number WSUP26-0008 (NVSolarWRX)
Date: Friday, June 12, 2026 10:02:06 AM
Attachments: [June Agency Review Memo I.pdf](#)
[image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)

The Air Quality Management Division (AQMD) has reviewed the proposed plans submitted and has the following comments found below:

Based on the understanding in the plans submitted to the AQMD in regard to the solar project the AQMD will require a Dust Control Permit for any disturbance of 1 acre or more and a Supplemental Dust Control Plan. The Supplemental Dust Control Plan will need to include specifics in regard to phasing of the project, dust control measures being employed during the course of construction and a long-term dust control plan for the Solar Project. The Dust Control Permit Application and Supplemental Dust Control Plan will need to be reviewed by the AQMD prior to the issuance of a Dust Control Permit. The construction of the project may also require the use of mobile stationary source equipment such as aggregate crushers and screens. These pieces of equipment will require a Stationary Source permit with the AQMD prior to their use.

In regard to permanent Stationary Source permitting, it is the AQMD's understanding that the Solar Project will construct a photovoltaic array system without the use of any motive fluids. This type of system will not require a Stationary Source permit, however, the AQMD will need a better understanding of any support structures or equipment to determine if any additional Stationary Source permits will be required. This equipment may include but is not limited to fuel burning equipment, emergency generators, etc. that have the potential to emit 5 tons per year of criteria air pollutants.

-Genine

From: Roman, Brandon <BRoman@washoecounty.gov>

Sent: Thursday, June 11, 2026 12:57 PM

To: Huff, Shawn <SHuff@washoecounty.gov>; Pekar, Faye-Marie <FPekar@washoecounty.gov>; Hein, Stephen <SHein@washoecounty.gov>; Handrock, Wayne <WHandrock@washoecounty.gov>; Hyde, Katherine D. <KDHye@washoecounty.gov>; Weiss, Timber A. <TWeiss@washoecounty.gov>; Wimer, Robert <RWimer@washoecounty.gov>; Smith, Dwayne E. <DESmith@washoecounty.gov>; Reede, Michon <MReede@washoecounty.gov>; Thomas, Janelle K. <JKThomas@washoecounty.gov>; Rosa, Genine <GRosa@nnph.org>; Restori, Joshua <JRestori@nnph.org>; EHS Plan Review <EHSPlanReview@nnph.org>; Program, EMS <EMSProgram@nnph.org>; Rubio, Wesley S <WRubio@nnph.org>; Kelly, David A <DAKelly@nnph.org>

Cc: Wilcox, Iryna <IWilcox@washoecounty.gov>; Fink, Cristy <CLFink@washoecounty.gov>; Lloyd, Trevor <TLloyd@washoecounty.gov>; Mullin, Kelly D. <KMullin@washoecounty.gov>; Weiche, Courtney <CWeiche@washoecounty.gov>; Bertetto, Jolene <JBertetto@washoecounty.gov>; Olander, Julee <JOlander@washoecounty.gov>

Subject: June Agency Review Memo I

Good afternoon,

Please remember to send agency review responses/comments directly to the Planner for the case, rather than replying to me.

-

Please find the attached **Agency Review Memo I** with cases received in **June** by Washoe County Community Services Department, Planning and Building Division. You've been asked to review the application for **Items #1 - #3**. The item description and link to the application are provided in the memo. **Comments for Item #1 are due by End of Day June 30, 2026. Comments for Items #2 and #3 are due by End of Day July 7, 2026.**

Shawn Huff (Building) – **Item #1**

Faye-Marie (Open Space) - **All Items**

Stephen (Street Naming) – **Item #2**

Wayne and Kat (Surveyor) – **Item #2**

Timber (Water Rights) – **All Items**

**WSUP26-0008
EXHIBIT B**

Rob (Land Development) – **All Items**

Dwayne/Stephen/Janelle/Michon (Engineering) – **All Items**

Genine and Josh (Air Quality) – **Item #1**

EMS – **Items #1 and #2**

David/Wes (Environmental Health) – **Items #2 and #3**

Warm Regards,



Brandon Roman

Senior Office Specialist, Planning & Building Division | Community Services Department

broman@washoecounty.gov | Direct Line: 775.328.3606

My working hours: Monday-Friday 7:00am to 3:30pm

Visit us first online: www.washoecounty.gov/csd

Planning Division: 775.328.6100 | Planning@washoecounty.gov

CSD Office Hours: Monday-Friday 8:00am to 4:00pm

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From: [Program, EMS](#)
To: [Olander, Julee](#)
Cc: [Program, EMS](#)
Subject: FW: June Agency Review Memo I - Special Use Permit Case Number WSUP26-0008 (NVSolarWRX)
Date: Monday, June 29, 2026 9:24:47 AM
Attachments: [June Agency Review Memo I.pdf](#)
[image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)

Good morning Julee,

The EMS Program has reviewed the June Agency Review Memo I - Special Use Permit Case Number WSUP26-0008 (NVSolarWRX), and has no concerns or questions at this time based on the information provided.

Thank you,



April Miller
Sr. Office Specialist
Population Health Division

O: [775-326-6049](tel:775-326-6049)
1001 E Ninth St. Bldg. B Reno, NV 89512

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From: Roman, Brandon <BRoman@washoecounty.gov>
Sent: Thursday, June 11, 2026 12:57 PM
To: Huff, Shawn <SHuff@washoecounty.gov>; Pekar, Faye-Marie <FPekar@washoecounty.gov>; Hein, Stephen <SHein@washoecounty.gov>; Handrock, Wayne <WHandrock@washoecounty.gov>; Hyde, Katherine D. <KDHye@washoecounty.gov>; Weiss, Timber A. <TWeiss@washoecounty.gov>; Wimer, Robert <RWimer@washoecounty.gov>; Smith, Dwayne E. <DESmith@washoecounty.gov>; Reede, Michon <MReede@washoecounty.gov>; Thomas, Janelle K. <JKThomas@washoecounty.gov>; Rosa, Genine <GRosa@nnph.org>; Restori, Joshua <JRestori@nnph.org>; EHS Plan Review <EHSPlanReview@nnph.org>; Program, EMS <EMSProgram@nnph.org>; Rubio, Wesley S <WRubio@nnph.org>; Kelly, David A <DAKelly@nnph.org>
Cc: Wilcox, Iryna <IWilcox@washoecounty.gov>; Fink, Cristy <CLFink@washoecounty.gov>; Lloyd,

WSUP26-0008
EXHIBIT B

Trevor <TLloyd@washoecounty.gov>; Mullin, Kelly D. <KMullin@washoecounty.gov>; Weiche, Courtney <CWeiche@washoecounty.gov>; Bertetto, Jolene <JBertetto@washoecounty.gov>; Olander, Julee <JOlander@washoecounty.gov>

Subject: June Agency Review Memo I

Good afternoon,

Please remember to send agency review responses/comments directly to the Planner for the case, rather than replying to me.

-

Please find the attached **Agency Review Memo I** with cases received in **June** by Washoe County Community Services Department, Planning and Building Division. You've been asked to review the application for **Items #1 - #3**. The item description and link to the application are provided in the memo. **Comments for Item #1 are due by End of Day June 30, 2026. Comments for Items #2 and #3 are due by End of Day July 7, 2026.**

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Faye-Marie (Open Space) - **All Items**

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Timber (Water Rights) – **All Items**

Rob (Land Development) – **All Items**

Dwayne/Stephen/Janelle/Michon (Engineering) – **All Items**

Genine and Josh (Air Quality) – **Item #1**

EMS – **Items #1 and #2**

David/Wes (Environmental Health) – **Items #2 and #3**

Warm Regards,

Brandon Roman
Senior Office Specialist, Planning & Building Division | Community
Services Department
broman@washoecounty.gov | Direct Line: 775.328.3606

WSUP26-0008
EXHIBIT B



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Date: July 1, 2026

To: Julee Olander, Planner

From: Janelle K. Thomas, P.E., C.F.M., Senior Licensed Engineer
Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit for **NVSolarWRX WSUP26-0008**
APN 074-103-01 & 05, 074-451-20 & 074-452-01

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff have reviewed the above referenced application. The Special Use Permit is for the construction of a solar electric generating facility and is located on approximately 1680 acres in the Honey Lake Valley, approximately 2 miles north of Fish Springs Road. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement the applicable County Code and are based upon our review of the site and the application prepared by the applicant. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please contact the staff's name referenced.

GENERAL CONDITIONS

Contact Information: Robert Wimer, P.E. (775) 328-2059

Conditions:

1. The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.
2. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed to be conveyed onto adjacent property.

GRADING (COUNTY CODE 110.438)

Contact Information: Robert Wimer, P.E. (775) 328-2059

Conditions:

1. Final construction drawings shall comply with all applicable statutes, ordinances, rules, regulations, and policies in effect at the time of submitting the subsequent individual building permits.

WSUP26-0008
EXHIBIT B

2. Prior to acceptance of public improvements and release of any financial assurances, the developer shall provide as-built construction drawings in an acceptable digital format prepared by a civil engineer and/or surveyor licensed in the State of Nevada.
3. A complete set of construction improvement drawings, including an onsite grading plan, shall be submitted to the County Engineer for approval prior to finalization of any portion of the special use permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading and drainage on each lot, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or disposal of any excavated material shall be indicated on the grading plan.
4. Any existing easements, facilities, or utilities that conflict with the development shall be relocated, quitclaimed, and/or abandoned, as appropriate.
5. Any easement documents recorded for the project shall include an exhibit map that shows the location and limits of the easement in relationship to the project.
6. Add the following note to the building permit civil improvement plans: "All public utilities shall be placed underground, except in the case where underground placement of utilities is shown not to be feasible, in which case the County Engineer may approve exceptions to this requirement."
7. With each affected building permit application, provide written approval from all utility provider(s) for any improvements located within their easement, or under or over their facilities.
8. Appropriate easements shall be granted for any existing or new utilities, with each affected building permit application.
9. Slope easements shall be provided for areas of cut or fill that fall outside of the project boundary.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

Conditions:

1. A detailed hydrology/hydraulic report, in conformance with the standards included in the Truckee Meadows Regional Drainage Manual, prepared by a professional engineer licensed in the State of Nevada shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates, and flood limits of all 5- and 100-year storm flows impacting onsite and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations, including a discussion of and mitigation measure design for any impacts on existing offsite drainage facilities and properties. Additionally, any increase in storm water runoff resulting from the development and based upon the 5- and 100-year storms shall be detained on site and attenuated to existing flow rates for discharge to the satisfaction of the County Engineer.
2. The following note shall be added to the construction drawings; "All properties, regardless of if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

**WSUP26-0008
EXHIBIT B**

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink, P.E. (775) 328-2050

Conditions:

1. Prior to ground-disturbing activity, a proposed Construction Traffic Haul Route Plan shall be submitted to the Engineering Division for review and approval. Any existing or proposed roads that will be used as construction haul routes shall have a proposed maintenance plan to mitigate the construction traffic impacts to the affected roads.
2. The applicant shall provide the roadway use agreement from the appropriate jurisdictional agency prior to the issuance of the permit.
3. The applicant shall provide temporary traffic control plans for review and approval by the County Engineer prior to commencement of construction.
4. The applicant shall submit an encroachment and excavation permit application for review and approval for any construction within Washoe County Right of Way.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Katrina Pascual, P.E. (775) 954-4648

Conditions:

1. No Utilities comments or conditions.

From: [Kelly, David A](#)
To: [Olander, Julee](#); [Health - EHS Front Desk](#); [Rubio, Wesley S](#)
Subject: RE: WSUP26-0008/9- Due 6/30/26
Date: Thursday, July 2, 2026 8:23:32 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)

The only comment that might be of value is just that the tank replacement (WSUP26-0009) will require an approved water project with NDEP Bureau of Safe Drinking Water. TMWA should know that but if we were to put a comment in, that would be it. Perhaps this if you need a direct sentence:

Approval of Building permits for work on water storage tanks will require an approved water project from NDEP Bureau of Safe Drinking Water.

Hope this helps.



David Kelly

*Environmental Health Specialist Supervisor
Environmental Health Services*

M: [775-846-6623](tel:775-846-6623)
1001 E Ninth St. Bldg. B Reno, NV 89512

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From: Olander, Julee <JOlander@washoecounty.gov>
Sent: Thursday, July 2, 2026 7:29 AM
To: Kelly, David A <DAKelly@nnph.org>; Health - EHS Front Desk <HealthEHS@nnph.org>; Rubio, Wesley S <WRubio@nnph.org>
Subject: RE: WSUP26-0008/9- Due 6/30/26

Thanks Dave!

**WSUP26-0008
EXHIBIT B**



Julee Olander, Planner

jolander@washoecounty.gov | Direct Line: 775.328.3627

My working hours: Monday-Friday 8:00am to 4:30pm

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Planning Division: 775.328.6100 | Planning@washoecounty.gov

CSD Office Hours: Monday-Friday 8:00am to 4:00pm

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Submit a nomination for a Washoe Star by clicking this link: [WASHOE STAR](#)

From: Kelly, David A <DAKelly@nnph.org>

Sent: Wednesday, July 1, 2026 3:53 PM

To: Olander, Julee <JOlander@washoecounty.gov>; Health - EHS Front Desk <HealthEHS@nnph.org>; Rubio, Wesley S <WRubio@nnph.org>

Subject: RE: WSUP26-0008/9- Due 6/30/26

Julee –

I am walking out the door and Wes is on leave. I can take a look first thing in the morning though if that is ok.

NORTHERN NEVADA
Public Health

David Kelly

*Environmental Health Specialist Supervisor
Environmental Health Services*

M: [775-846-6623](tel:775-846-6623)

1001 E Ninth St. Bldg. B Reno, NV 89512

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Please consider the environment before printing this e-mail.

From: Olander, Julee <JOlander@washoecounty.gov>

**WSUP26-0008
EXHIBIT B**

Sent: Wednesday, July 1, 2026 3:46 PM

To: Health - EHS Front Desk <HealthEHS@nnph.org>; Rubio, Wesley S <WRubio@nnph.org>; Kelly, David A <DAKelly@nnph.org>

Subject: WSUP26-0008/9- Due 6/30/26

Does Environmental Health have any comments/conditions for these application?

Thank you,



Julee Olander, Planner

jolander@washoecounty.gov | Direct Line: 775.328.3627

My working hours: Monday-Friday 8:00am to 4:30pm

Visit us first online: www.washoecounty.gov/csd

Planning Division: 775.328.6100 | Planning@washoecounty.gov

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**WSUP26-0008
EXHIBIT B**



Permit # WSUP26-0008 (NVSolarWRX)

Honey Lake Valley

Reviewed By: Jenny Williamson

Contact: jewilliamson@tmfpd.us or 775-444-8521

Planner: Julee Olander jolander@washoecounty.gov 775-328-3627

Plan Review Comments

1. Project shall comply with the currently adopted International Fire Code, International Wildland Urban Interface Code and adopted amendments.
2. IFC 505.1 Project shall have an address at time of building permit submittal.
3. WUIC B102 TMFPD will require a defensible space plan for this project.
4. IFC 503.2.1 all fire apparatus access roads shall be a minimum of 20' wide with a 13'6" vertical clearance.
5. IFC 503.2.3 All fire apparatus access roads shall be constructed with an all-weather surface.
6. IFC 503.2.4 Fire apparatus access roads shall have a turning radius of 28' inside and 52' outside.
7. IFC 503.2.7 All fire apparatus access roads shall have a grade not greater than 10%.
8. IFC 503.2.5 Fire apparatus access roads greater than 150' with a dead-end shall have a fire apparatus turnaround.
9. IFC 503.6 If there are electric gates, a Knox switch will be required. If there are manual gates, a Knox padlock will be required,
10. WUIC 604.5 In areas of high and extreme fire hazard, the area extending from the base of any structure to five (5) feet beyond the base of such structure shall be composed entirely of non-combustible material or fire resistive vegetation as approved by the fire code official.
11. WUIC 603.2 (Table 603.2) Buildings or structures in high fire hazard shall have a fuel modification (defensible space) distance of 50 feet.
12. IFC 1205.5.1 A clear, brush-free area of 10 feet shall be required around the perimeter of the ground-mounted photovoltaic arrays. A maintained vegetative surface or non-combustible base, approved by the fire code official, shall be installed and maintained under the photovoltaic arrays and associated electrical equipment installations.
13. IFC 1207.1.6 Provide a hazard mitigation plan for the ESS.
14. IFC 104.2.2 Provide a fire protection engineer's report for the ESS to include IFC 1207.1.7 Large scale fire testing, 1207.1.8 Fire Remediation, 1207.2 Commissioning,

WSUP26-0008
EXHIBIT B

decommissioning, operation and maintenance, ESS equipment (shall be listed in accordance with UL9540, and 1207.5.4 Fire detection systems, 1207.5.5 fire suppression system, 1207.5.8 Means of egress separation, 1207.6 Exhaust ventilation, 1207.6.3 explosion control, 1207.6.5 Thermal runaway



WSUP26-0008
EXHIBIT B



JOE LOMBARDO
Governor

STATE OF NEVADA

DEPARTMENT OF WILDLIFE

6980 Sierra Center Parkway, Suite 120

Reno, Nevada 89511

Phone (775) 688-1500 • Fax (775) 688-1595

ALAN JENNE
Director

JORDAN GOSHERT
Deputy Director

CALEB MCADOO
Deputy Director

MIKE SCOTT
Deputy Director

July 10, 2026

Julee Olander, Planner
Washoe County Community Services Department
Planning and Building Division
1001 E. 9th Street
Reno, NV 89512
jolander@washoecounty.gov

RE: WSUP26-0008 NVSolar

Dear Ms. Olander,

The Nevada Department of Wildlife (the "Department") appreciates this opportunity to provide comment on the Special Use Permit for the NVSolarWRX project.

Please see Department comments below:

Both direct and indirect disturbances from development can significantly affect wildlife by altering movement and seasonal use patterns, breeding and nesting behavior, and overall demographic rates. Even when a project's physical footprint is relatively small or does not overlap with critical habitat or designated seasonal use areas, indirect and cumulative impacts from ongoing habitat encroachment can still lead to habitat loss, degradation, and fragmentation, ultimately causing long-term negative effects on wildlife populations. For utility-scale solar developments, minimizing surface disturbance and retaining native vegetation wherever practicable can substantially reduce long-term impacts to wildlife and improve the success of future reclamation efforts.

Project Location

The Department's review of the project application indicates that the proposed solar facility and associated generation-tie corridor occur within native shrubland habitat that provides ecological value for a variety of wildlife species, including species identified in the Nevada Wildlife Action Plan. In addition, portions of the project may occur within approximately four miles of an active greater sage-grouse lek and are located adjacent to playa habitats that may provide important seasonal habitat for migratory shorebirds and other waterbirds during periods of inundation. The Department recommends that project design, construction, operation, and reclamation prioritize avoidance and minimization of impacts to native vegetation and wildlife habitat wherever practicable.

Wildlife Considerations

To the extent practicable, the Department recommends minimizing disturbance to native vegetation by limiting grading and vegetation removal to the minimum area necessary for construction and long-term operation. Native shrubs and perennial vegetation should be retained wherever compatible with facility operation, including beneath and between solar arrays and along the generation-tie corridor, to maintain habitat function, reduce erosion potential, and improve long-term reclamation success. Long-term vegetation management should prioritize retaining and establishing native perennial vegetation rather than maintaining large areas of bare ground. Maintaining native vegetation beneath and between solar panels, where operationally feasible, can

help preserve wildlife habitat, improve soil stability, and reduce the potential for invasive annual grass establishment.

Ecological site descriptions indicate that much of the project area overlays sodic and saline soils that are susceptible to compaction and erosion following disturbance. The Department recommends minimizing off-road vehicle travel, utilizing existing roads and access routes where feasible, and limiting construction activities to designated disturbance areas to reduce long-term impacts to soils and native plant communities.

The applicant indicates that a reclamation and revegetation plan is being developed; however, because recovery of these ecological sites may be slow following disturbance, the Department recommends that avoidance and minimization of impacts remain the primary strategy for conserving wildlife habitat. Reclamation should be viewed as a complementary measure rather than a substitute for minimizing disturbance during project design and construction. The Department requests the opportunity to review the reclamation plan and associated seed mix prior to implementation. Reclamation should prioritize the restoration of native shrub communities and perennial bunchgrasses appropriate to the ecological site descriptions within the project area to improve wildlife habitat, stabilize soils, and reduce the potential for invasive annual grass establishment.

If permanent security fencing is proposed, the Department recommends incorporating wildlife-friendly fencing where compatible with site security and operational requirements. Fence designs should minimize the potential for wildlife injury and, to the extent practicable, maintain habitat connectivity around the project perimeter. Where wildlife-friendly fencing cannot be incorporated due to operational constraints, the Department encourages minimizing the overall fencing footprint and avoiding unnecessary exclusion of adjacent habitat.

Based on available habitat mapping, the project area appears to provide suitable habitat for desert kangaroo rat (*Dipodomys deserti*), pale kangaroo mouse (*Microdipodops pallidus*), and dark kangaroo mouse (*Microdipodops megacephalus*). The Department recommends conducting pre-construction surveys, using methods appropriate for these species, to determine their presence within the project area and better inform avoidance and minimization measures. If occupied habitat is identified, disturbance should be minimized wherever practicable by retaining native vegetation and avoiding unnecessary grading or surface disturbance. Survey results should be used to inform final facility layout and identify opportunities to avoid or minimize disturbance to occupied habitat where practicable.

Because portions of the project may occur within 4 miles of an active greater sage-grouse lek, the Department recommends evaluating the project against current sage-grouse habitat mapping and implementing appropriate avoidance and minimization measures where applicable. If construction activities are proposed during the greater sage-grouse breeding and nesting season, the Department requests additional information describing how temporary disturbance to lekking, nesting, and early brood-rearing activities will be minimized. The Department also recommends incorporating perch deterrents on transmission poles, dead-end structures, substations, communication equipment, and other elevated infrastructure to reduce opportunities for avian predators within sage-grouse habitat.

Due to the project's proximity to playa habitat, the Department requests additional information describing how seasonal flooding and wildlife use of adjacent playa habitats were considered during project planning. Seasonal inundation may provide important habitat for migratory shorebirds and other waterbirds. The Department also recommends implementing spill-prevention and stormwater-management measures to prevent sediment or contaminants from entering adjacent playa habitats during construction and operation.

The Department recommends incorporating dark-sky-compliant lighting measures to minimize impacts to wildlife. Lighting should use fully shielded, downward-directed fixtures and warm LEDs (≤ 3000 K) to minimize light spill and disturbance to nocturnal species. Where feasible, timers, motion sensors, or dimming controls should be used so that lighting operates only when necessary.

Given the anticipated long-term conversion of native shrubland habitat, the Department encourages the applicant to consider voluntary habitat enhancement or compensatory mitigation opportunities that provide lasting benefits to wildlife resources within the surrounding landscape. Potential opportunities may include restoration of degraded shrublands, reduction of invasive annual grasses, sage-grouse habitat enhancement, spring restoration, or other habitat improvement projects developed in coordination with the Department.

The Department appreciates your continued coordination on this project and is available to discuss these recommendations further. Please contact me directly with any questions regarding these comments.

Sincerely,

A handwritten signature in blue ink, appearing to read "Cheyenne Trueblood".

Cheyenne Trueblood
Western Region Supervising Habitat Biologist
Nevada Department of Wildlife
(775) 688-1145
cheyenne.trueblood@ndow.org

WSUP26-0008
EXHIBIT B

INITIAL REVIEW MEMORANDUM

TO: Julee Olander, Washoe County

FROM: Chris Tolley, TMRPA

DATE: June 30, 2026

SUBJECT: **TMRPA initial review of the Washoe County case WSUP26-0008 (NVSolarWRX)**

This memorandum provides the Truckee Meadows Regional Planning Agency's (TMRPA) initial review comments regarding the subject case (WSUP26-0008), as stated in the 2024 Truckee Meadows Regional Plan (Policy RC 5).

The following constitutes an initial review based on the limited information available at the time of this memorandum. TMRPA recognizes that the proposal may change through the jurisdictional review of the case. Should the case be approved through Washoe County, the proposal will need to be formally submitted to TMRPA for a review of conformance with the 2024 Truckee Meadows Regional Plan in its entirety.

Pursuant to Policy *PF 11 - Regional Utility Corridor and Sites Regional Plan Amendment Requirements*, this case will require an amendment to add a new regional utility corridor and regional utility site to Map 3 of the 2024 Truckee Meadows Regional Plan.

The request, as described in the materials provided by Washoe County, is the following:

WSUP26-0008 (NVSolarWRX):

A special use permit for a solar electric generating facility consisting of up to 450 MWs of photovoltaic energy production, a 345 kV substation, a 7 mile 345 kV generation tie line, and an up to 200 MW battery energy storage system. The subject property is located in the Honey Lake Valley, 2 miles north of Fish Springs Road and 3 miles east of the Nevada/California state line (APNs: 074-103-01 & 05, 074-451-20 & 074-452-01) and consists of approximately 640, 320, 80 & 639.94 acres.

[TMRPA notes: **bolded text** identifies the portion of the request that is subject to review under the Regional Plan]

APNs: 074-103-01, 074-103-05, 074-451-20 and 074-452-01

Potential Conformance Issues

A portion of the subjects site include a playa/hydro features that is listed as a Development Constraints Area (DCA), per Policy *NR 2 – Development Constraints Area* of the 2024 Truckee Meadows Regional Plan.

WSUP26-0008
EXHIBIT B

TMRPA requests more information about the interaction between the proposed solar facility and the playa/hydro feature.

TMRPA has not identified any other potential conformance issues at this time.

Finally, the proposed regional utility corridor and site will require an amendment to the 2024 Truckee Meadows Regional Plan, as noted above, to be represented on Map 3. The proposed amendment should be sponsored by the Washoe County Board of County Commissioners, as part of the overall process considered by Washoe County.

Regional Plan Policies for Consideration in The Analysis Performed by Washoe County

RF 11 – Compatibility Factors

PF 11 – Regional Utility Corridor and Sites Regional Plan Amendment Requirements

NR 3 – Development Constraints Area

RC 9 – Conformance Review Findings

RC 10 – Regional Plan Amendment Findings

Data and Information Related to Regional Plan Implementation

Regional Land Designation: Rural Area

Regional Utility Corridor/Site: None identified on site; however, a utility corridor and site are proposed in the application

Development Constraint Areas (DCA): playa (or hydro feature) is located on a portion of the subject site

Natural Resource Consideration Areas: please view included NRCA readout for more specific details.

Other Organization/Entity Comments

None at this time

Other Notes

None at this time

Upcoming Meeting Dates: none noted at this time

Please do not hesitate to contact TMRPA staff at 775-321-8385 if you have any questions or comments on this initial review memorandum. For more information or helpful tools, you can access the [2024 Truckee Meadows Regional Plan](#) and the [Regional Data Viewer or the NRCA Data Viewer](#) at www.TMRPA.org.

TMRPA Initial Review Memo
Washoe County, Case WSUP26-0008
Page 3

NRCA interactions with subject site: T:\400.RPC\26 Docs\26 Conformance Reviews\CR26-018 (NVSolarWRX)\GIS_CR26-018\NVSolarWRX_GIS.gdb\subSiteBoundary

Subject site area is: 1692.60397151 acres

NRCA 1: Agricultural Lands

Interaction with Agriculture Deferred Land = 0 acres (0 % coverage)

Interaction with USFS Range Pasture = 0 acres (0 % coverage)

NRCA 2: Critical Source Water Protection

Interaction with CSWP polygon = 0.0 acres (0.0 % coverage)

NRCA 3: Endangered/Threatened Species

Interaction with Carson Wandering Skipper distribution = 1692.60397151 acres (100.0 % coverage)

Interaction with Cui-ui distribution = 0 acres (0 % coverage)

Interaction with Lahontan Cutthroat Trout distribution = 0 acres (0 % coverage)

Interaction with Sierra Nevada Red Fox distribution = 0 acres (0 % coverage)

Interaction with Sierra Nevada Yellow-legged Frog distribution = 0 acres (0 % coverage)

Interaction with Steamboat Buckwheat distribution = 0 acres (0 % coverage)

Interaction with Warner Sucker distribution = 0 acres (0 % coverage)

Interaction with Webbers Ivesia distribution = 0 acres (0 % coverage)

Interaction with White Bark Pine distribution = 0 acres (0 % coverage)

Interaction with Yellow-billed Cuckoo distribution = 0 acres (0 % coverage)

NRCA 4: Floodplains

Interaction with FEMA flood zone A = 0 acres (0.0 % coverage)

Interaction with FEMA flood zone AE = 0 acres (0.0 % coverage)

Interaction with FEMA flood zone AE FLOODWAY = 0 acres (0.0 % coverage)

Interaction with FEMA flood zone AH = 0 acres (0.0 % coverage)

Interaction with FEMA flood zone AO = 0 acres (0.0 % coverage)

Interaction with FEMA flood zone D = 0 acres (0.0 % coverage)

Interaction with FEMA flood zone X = 0 acres (0.0 % coverage)

NRCA 5: Regional Trails

Within 1/4 mile of existing trailheads = NO

Within 1/4 mile of trails = NO

WSUP26-0008
EXHIBIT B

TMRPA Initial Review Memo
Washoe County, Case WSUP26-0008
Page 4

Within 1/2 mile of future trailheads = NO

Within 1/2 mile of future trails = NO

NRCA 6 - Slopes 15% to 30%

Slopes 15% to 30% = 0 acres (0.0 % coverage)

Slopes > 30% = 0 acres (0.0 % coverage)

NRCA 7: Wildfire Risk/Hazard

Interaction with EXTREME fire risk areas = 0 acres (0.0 % coverage)

Interaction with HIGH fire risk areas = 1692.57484145 acres (99.9982789796 % coverage)

Interaction with MODERATE fire risk areas = 0 acres (0.0 % coverage)

Interaction with LOW fire risk areas = 0 acres (0.0 % coverage)

NRCA 8: Wildlife Habitat/Migration Corridors

Interaction with Bighorn Sheep distribution = 0 acres (0 % coverage)

Interaction with Black Bear distribution = 0 acres (0 % coverage)

Interaction with Sooty Grouse distribution = 0 acres (0 % coverage)

Interaction with Mule Deer distribution = 0 acres (0 % coverage)

Interaction with Mule Deer movement corridors = 0 acres (0 % coverage)

Interaction with Pronghorn movement corridors = 0 acres (0 % coverage)

For more information please contact TMRPA - 775.321.8385 - input@tmrpa.org



Date: July 1, 2026

To: Julee Olander, Planner

From: Timber Weiss, P.E., Licensed Engineer

Re: Special Use Permit Case Number WSUP26-0008 (NVSolarWRX)

GENERAL PROJECT DISCUSSION

For hearing, discussion, and possible action to approve a special use permit for a solar electric generating facility consisting of up to 450 MWs of photovoltaic energy production, a 345 kV substation, a 7 mile 345 kV generation tie line, and an up to 200 MW battery energy storage system. This application is submitted by NVSolarWRX on behalf of property owners Robert Simmons and Michel Luttrell. The subject property is located in the Honey Lake Valley, 2 miles north of Fish Springs Road and 3 miles east of the Nevada/California state line (APNs: 074-103-01 & 05, 074-451-20 & 074-452-01) and consists of approximately 640, 320, 80 & 639.94 acres. The proposal is being reviewed under Development Code Article 810, Special Use Permits and is situated within Commission District 5 - Commissioner Herman. The site is currently governed by the Rural (R) Master Plan land use designation and the General Rural (GR) Regulatory Zone zoning district, falling within the boundaries of the High Desert Area Plan.

This project meets the standard for a project of regional significance because it will generate more than 5 MW of electricity. It will require approval by the regional planning authorities before any approval at the county level would take effect. This project will also need to comply with all Federal and State approvals before any approval at the county level would take effect.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

Water rights are required for this project. Prior to any permit approval associated with this project, applicant shall furnish an approved water right from Honey Lake Valley Hydrographic Basin to support construction, dust control, panel cleaning, or any other pertinent maintenance activity and commercial/domestic use.

With the submittal of the first building permit for this project, applicant shall submit a copy of the necessary water right permits approved by the Nevada State Engineer.

**WSUP26-0008
EXHIBIT B**

From: [COOPER, CLIFFORD E](#)
To: [Olander, Julee](#)
Subject: WSUP26-0008 NVSolarWRX
Date: Friday, June 12, 2026 9:12:54 AM

This Message Is From an External Sender

This message came from outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.

[Report Suspicious](#)

Julee,
AT&T does not have any adverse comments regarding this project.
Thanks,

CLIFF COOPER
SR SPECIALIST NETWORK ENGINEER
AT&T NEVADA
1375 Capital Blvd rm 115
Reno, NV 89502
ROW Office: 775-453-7578
Cell: 775-200-6015
Email: cc2132@att.com
TEXTING and DRIVING...It Can Wait

**WSUP26-0008
EXHIBIT B**



Washoe County Community Services Department, Planning & Building Division

Notice Card Template

Notices to be printed on:

Astrobrights® Color Card Stock, 8 1/2" x 11", 65 lb, Solar Yellow / Sunburst Yellow (or similar)

Instructions:

1. Complete the **Notice Card Template**
 - (i) Update all text in **RED**
 - *Leave text red for Planner's review*
 - (ii) Be sure to include a draft project description
2. Email DRAFT notice to Staff Planner for review
3. *The Planner will provide you with an approved notice and mailing list. APPLICANT is responsible for mailing the notices to all indicated addresses.*
4. Mailed notices must be postmarked at least ten (10) calendar days prior to the meeting.

Notice of Neighborhood Meeting

Dear Property Owner:

You are invited to attend a neighborhood meeting to discuss NVSolarWRX, a proposed development project in your area. This is your opportunity to review the proposed project, ask questions and provide feedback prior to submittal of a formal development application.

Neighborhood Meeting Information:

06:00 p.m., Friday, March 27, 2026

<https://tinyurl.com/5esnpyus>

Meeting ID: 298 674 766 935 23 Passcode: bA9yv9re

Project Description:

This project is located one mile east of Honey Lake Way, approximately 45 miles north of Reno, parcel number(s) 074-103-01, 074-103-05, 074-451-20, and 074-452-01. This proposed project is 450 MW photovoltaic solar electric production system with up to 200 MWs of battery energy storage.

If you have questions about the meeting or would like to discuss the proposed development project, please contact: Brent L. Moore, (916) 712-9707, bmoore.moore@verdantas.com

This is not a public hearing, and public officials will not be present. If you have questions regarding meeting requirements, please contact the Washoe County Staff Planner for the project: Tim Evans, 775.328.2314, tevans@washoecounty.gov

To review information about neighborhood meetings, please visit: <https://neighborhood-washoe.hub.arcgis.com/>

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NVSolarWRX Solar Washoe County Neighborhood Meeting

March 27th, 2026

Attendees:

Austin Moore (Verdantas)

Lourna Barnet (Neighbor)

Brent Moore (Verdantas)

Susan Van Ness (Presumed Neighbor)

Chris Wimmer (Neighbor)

Agenda

- **Introduction**

Austin Moore opened the meeting at 6:05 PM and read the Washoe County Statement on Code of Conduct

- **Project Description**

Presentation of project location and aspects of the proposed development. Details were shared concerning the Authority to Construct permit issued for the proposed project by the Public Utility Commission of Nevada under the Utility Environmental Protection Act, including how to download the application materials submitted in support of said permit, and a description of the Washoe County Special Use Permit process.

- **Public Questions/Comments**

- Lourna Barnet asked about the timeframe for the SUP. Austin Moore expressed that, unless there are any objections or concerns voiced by the neighbors at this stage which would require alterations to the proposed project, NVSolarWRX intends to submit its application on the April application intake day.
- Lourna Barnet asked about the location of her family's parcel relative to the proposed project. Austin Moore committed to coordinating with her after the meeting to get her family's information in order to create a map depicting her request.
- Susan Van Ness voiced her concern about potential foreign participation in the proposed project, whether through project ownership or the use of imported equipment or materials for the construction of the project.
- Austin Moore asked if any other attendees had any questions or comments and mentioned that the materials from the meeting would be made available on the County's Neighborhood Meeting Hub website and thanked everyone for attending

Meeting adjourned at 6:25 pm



NVSOLARWRX

Washoe County
Neighborhood Meeting
March 27th, 2026



Washoe County Statement on Code of Conduct

Neighborhood Meetings are conducted by the applicants at Washoe County's request. While these meetings are not managed or organized by Washoe County, all parties in attendance are expected to demonstrate civility and proper conduct.

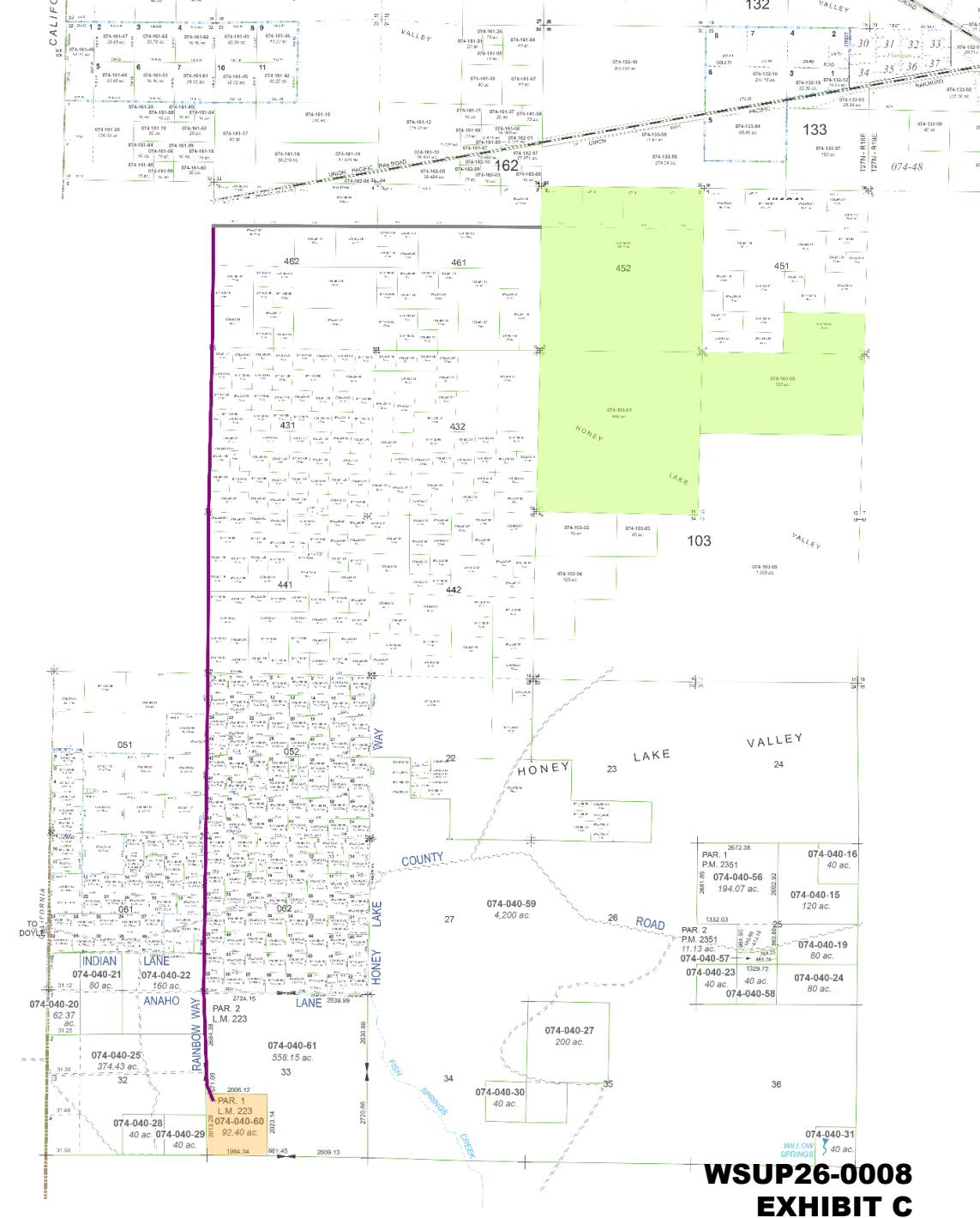
Any person or group of persons who disrupt the orderly or safe conduct of the meeting may be asked to leave. Irrelevant, uncivil, disrespectful, offensive, unduly repetitious statements and/or personal attacks are examples of speech that may be reasonably limited.

The Applicant may pause or cancel the meeting at their discretion.

Washoe County has instructed the applicant to provide an audio and/or video recording of this meeting. Your attendance signifies consent. If you do not consent to recording, you may fill out a comment card in lieu of attending the meeting.

The proposed NVSolarWRXPROJECT is located approximately 45 miles north of Reno in the Honey Lake Valley on 1,680 acres of private land comprised of Washoe County APNs:

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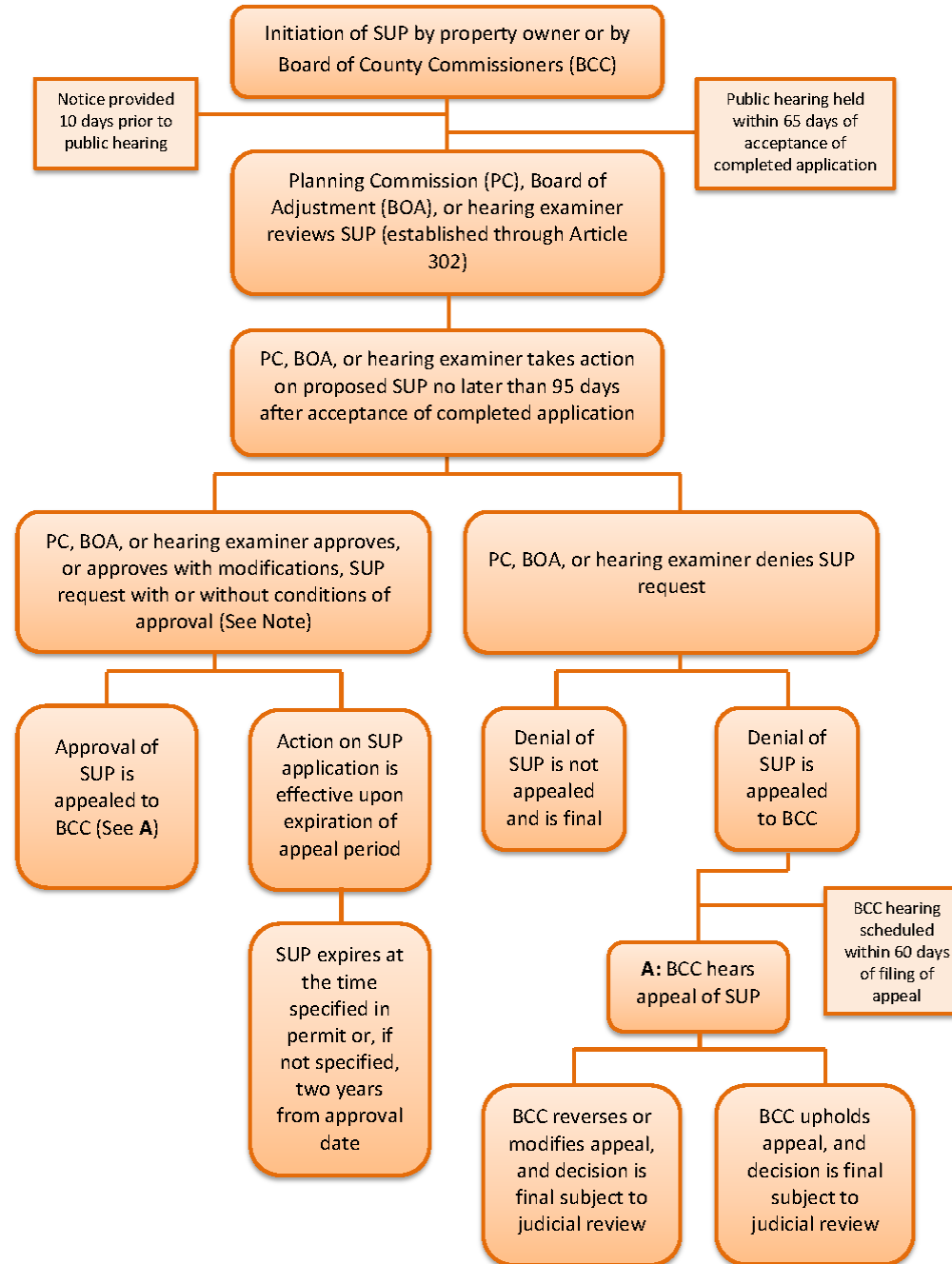




NVSOLARWRX

- 450 MW PV production
- UP TO 200 MW battery storage
- 345 kV project substation
- Connected to the grid via the previously permitted Rainbow Way 345 kV Gen-Tie line

Special Use Permit (SUP) – Article 810



FOR ADDITIONAL INFORMATION

VISIT:
[HTTPS://PUC-ONBASE.NV.GOV/](https://puc-onbase.nv.gov/)
AND SEARCH FOR
DOCKET NUMBER 25-10001



QUESTIONS/COMMENTS



THANK YOU



**WSUP26-0008
EXHIBIT C**

NVSolarWRX Neighborhood Meeting

03:43

Take control

Pop out

Chat

People

Raise

React

View

More

Camera

Mic

Share

Leave

Austin Moore

Brent Moore

SV

Chris (Guest)

Lourna Barnett

AM

Participants

Type a name

Share invite

In this meeting (6)

Mute all

AM Austin Moore

AM Austin Moore
Organizer
External

BM Brent Moore

C Chris (Guest)
Meeting guest

LB Lourna Barnett

SV S V

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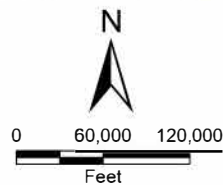
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59

WSUP26-0008
EXHIBIT C



△ Project Location



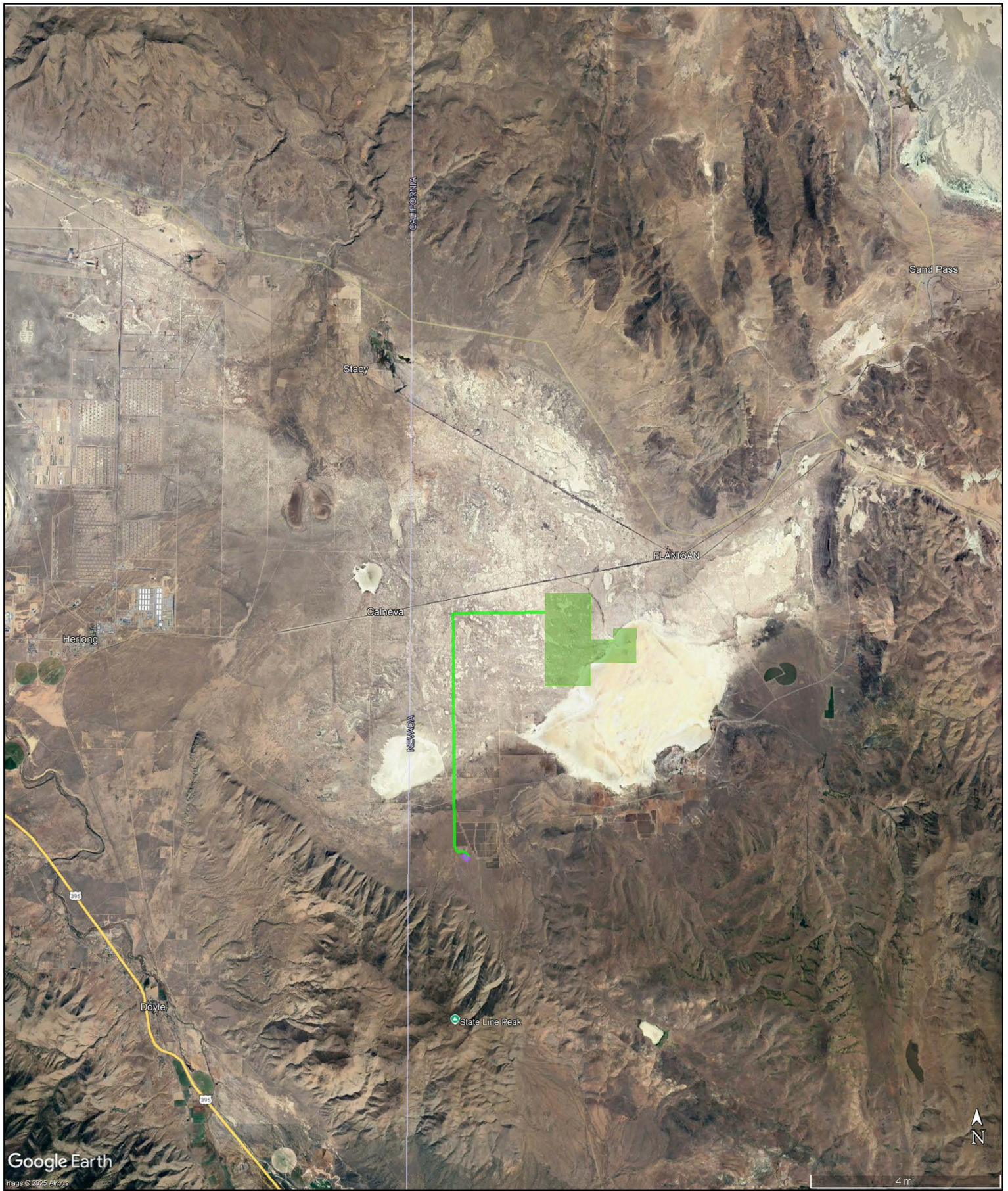
Aerial imagery provided by Esri.
 Projection: NAD 1983 2011 StatePlane California II FIPS 0402 Ft US



PROJECT LOCATION MAP
NVSolarWRX PSES/BESS Project
 Washoe County, NV

WSUP26-0008
EXHIBIT C

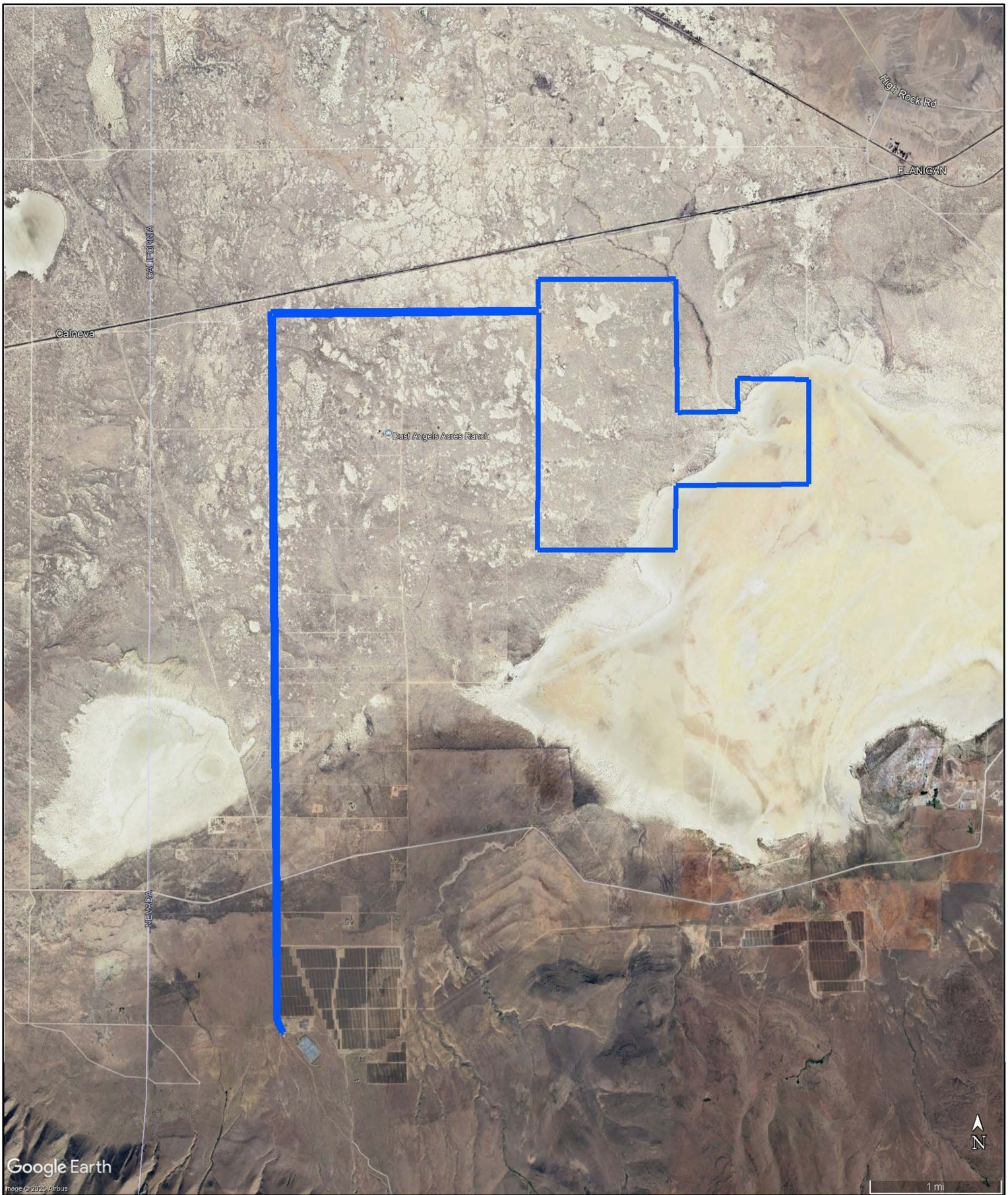
FIGURE	1
DRAWN BY	JMB
CHECKED BY	BLM
PROJECT MGR	BLM
DATE	02/2025
4140.2300008.0000	



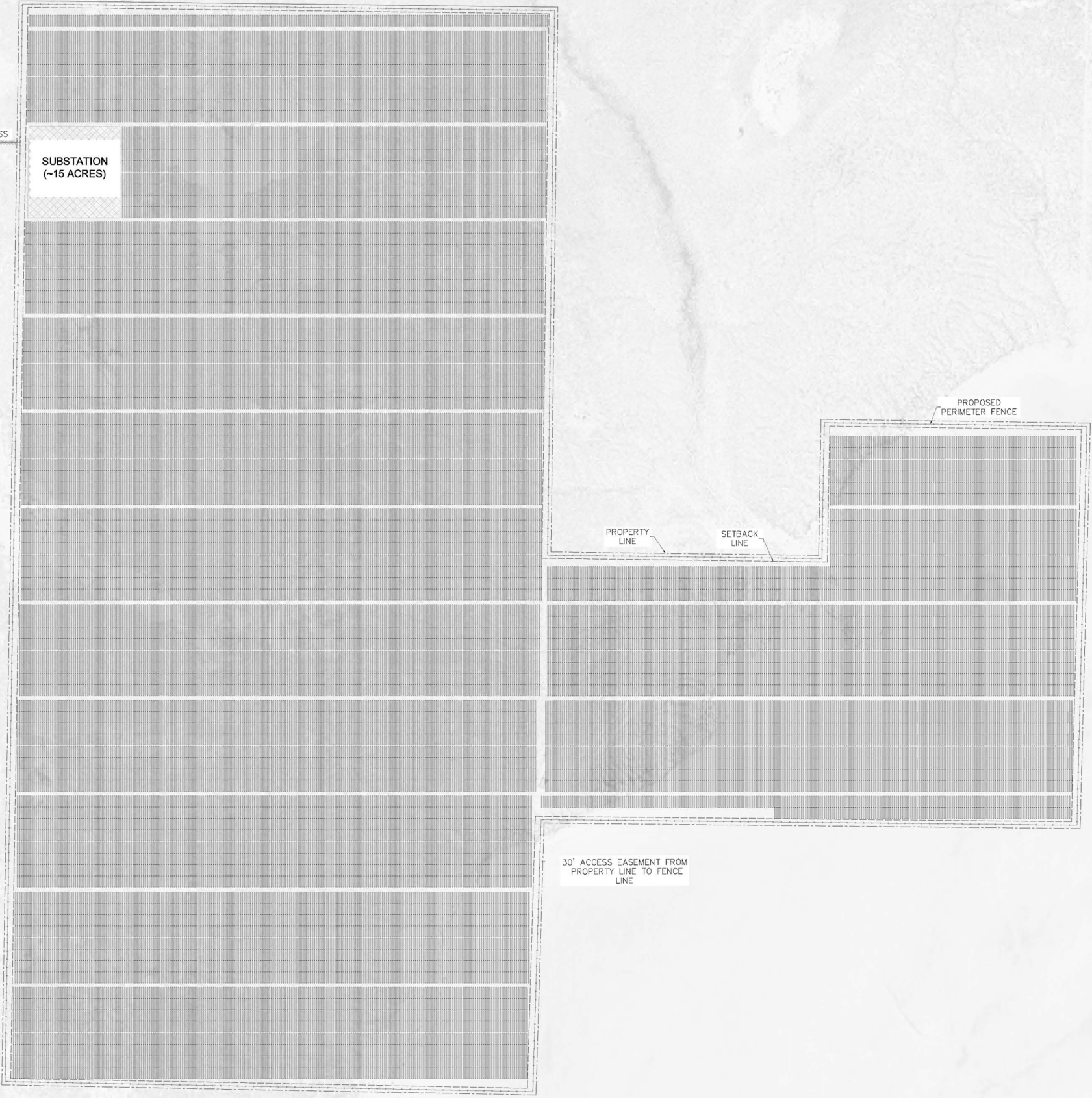
PROJECT VICINITY MAP
NVSolarWRX PSES/BESS Project
Washoe County, NV

WSUP26-0008
EXHIBIT C

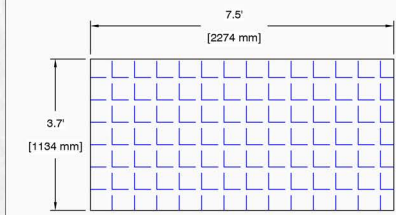
FIGURE	2
DRAWN BY	JMB
CHECKED BY	BLM
PROJECT MGR	BLM
DATE	02/2025
4140.2300008.0000	



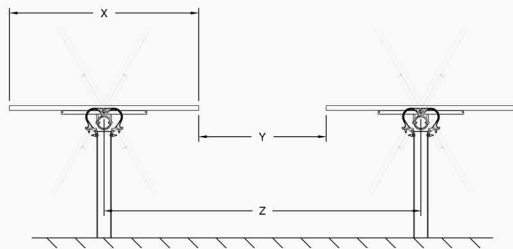
	PROJECT BOUNDARY MAP NVSolarWRX PSES/BESS Project Washoe County, NV		FIGURE		3
			DRAWN BY		JMB
			CHECKED BY		BLM
	WSUP26-0008 EXHIBIT C		PROJECT MGR		BLM
			DATE		02/2025
					4140.2300008.0000



SYSTEM SPECIFICATIONS	
MODULE MANUFACTURER	JINKO SOLAR
MODULE MODEL	JKM540M-72HL4-TV
MODULE RATING	540 W
TOTAL MODULE QTY	773,064
MODULES PER STRING	27
TOTAL NUMBER OF STRINGS	28,632
SYSTEM SIZE DC	417 MW

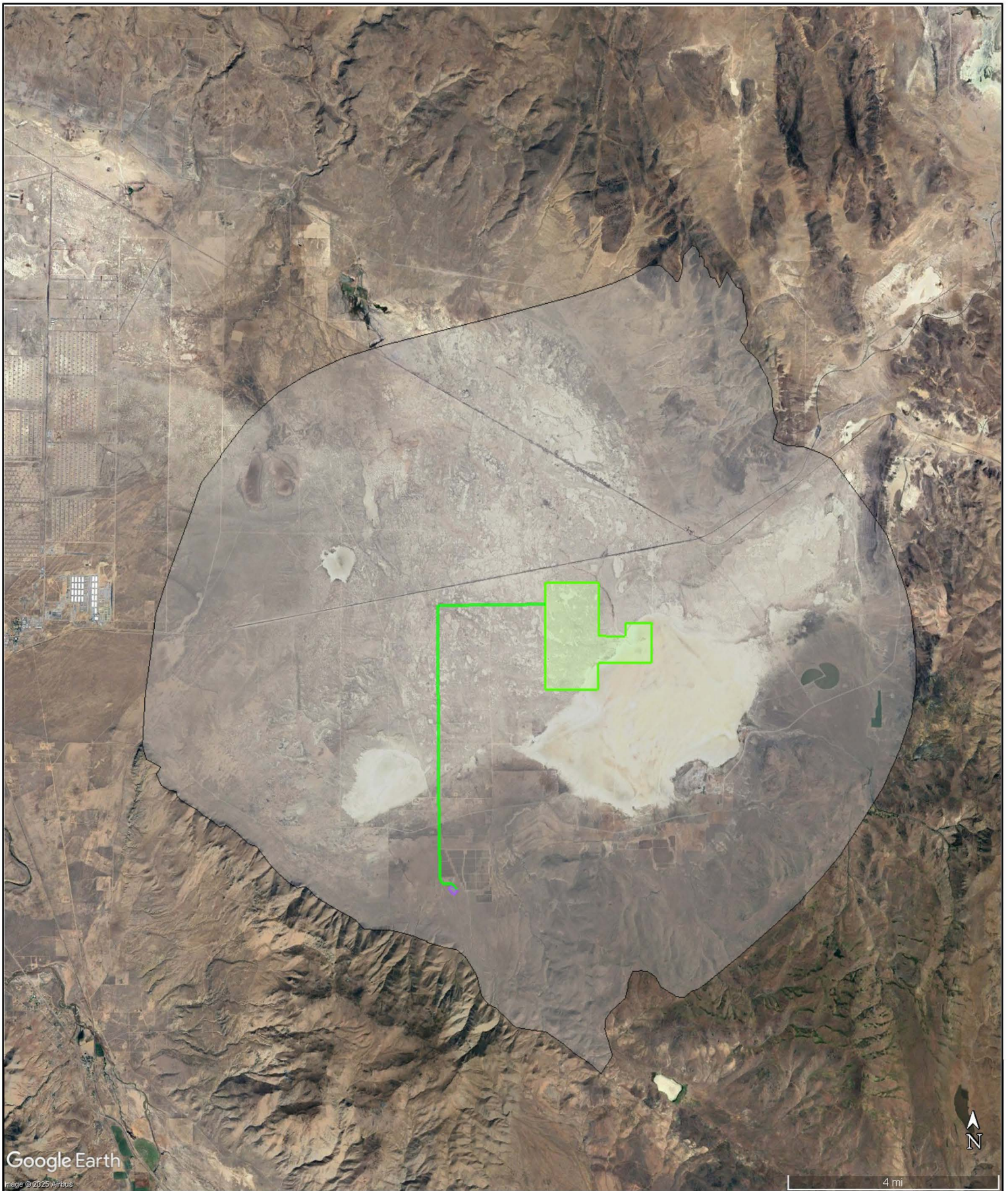


JINKO 540W MODULE DIMENSION



GCR TABLE			
	FEET	METER	
X	7.46	2.27	MODULE WIDTH
Y	11.19	3.41	aisle width
Z	18.65	5.69	PITCH
GCR	40.0%		$= X/Z = (Z-Y)/Z$

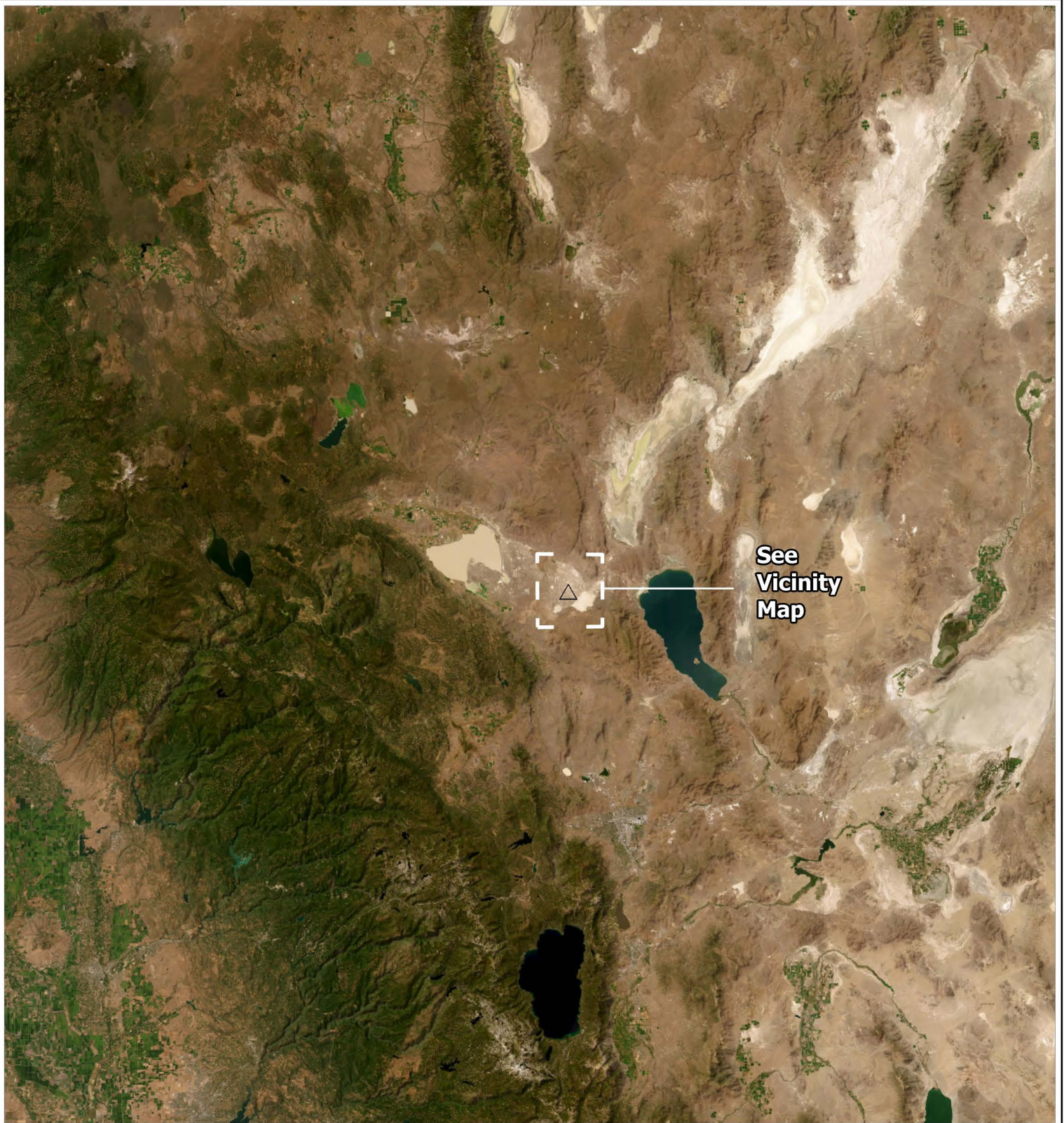
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NOT FOR
CONSTRUCTION



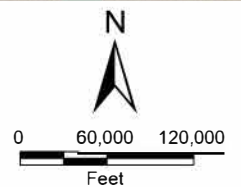
VIEWSHED MAP
NVSolarWRX PSES/BESS Project
Washoe County, NV

WSUP26-0008
EXHIBIT C

FIGURE		6
DRAWN BY	JMB	
CHECKED BY	BLM	
PROJECT MGR	BLM	
DATE	02/2025	
4140.2300008.0000		



△ Project Location

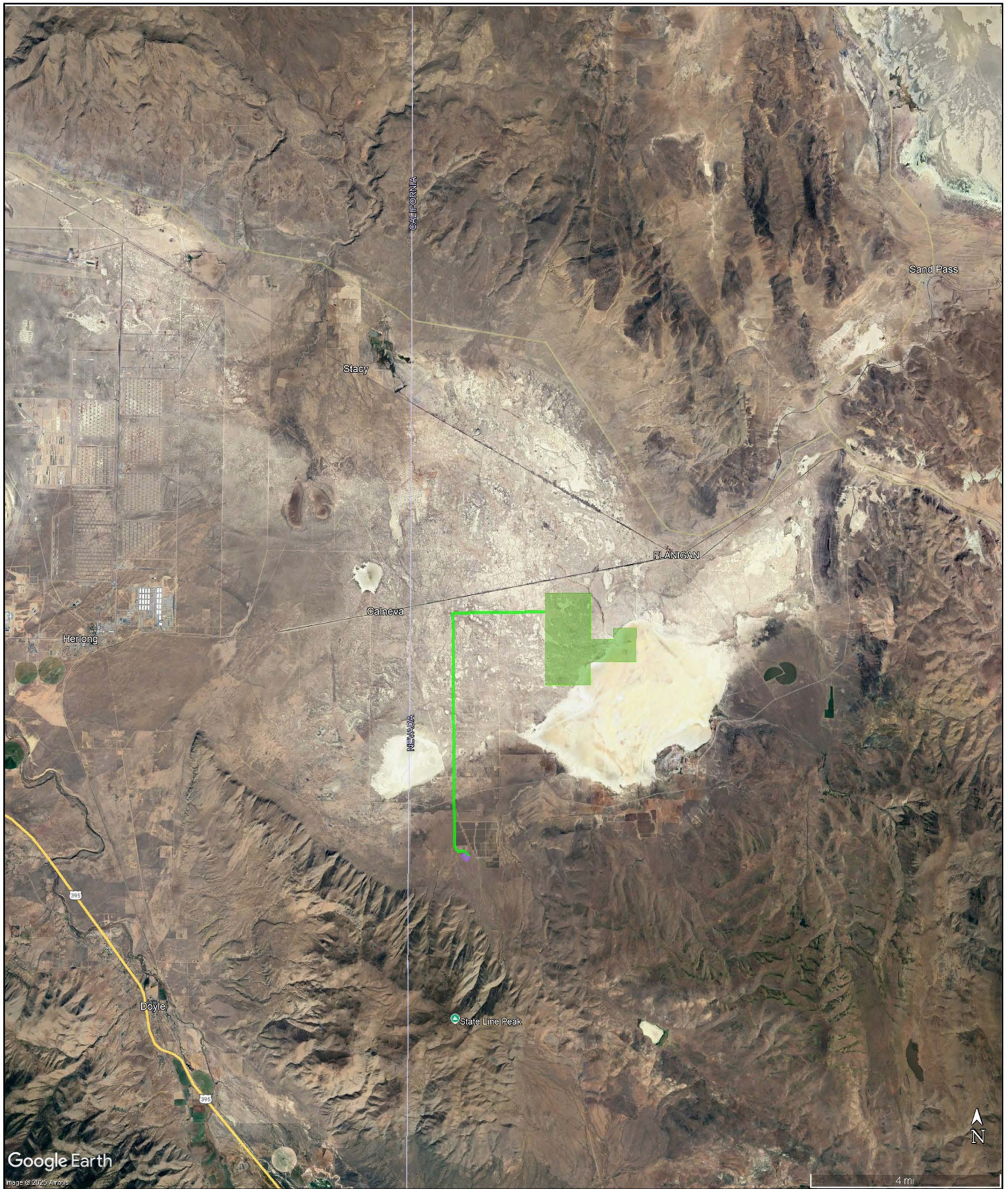


Aerial imagery provided by Esri.
Projection: NAD 1983 2011 StatePlane California II FIPS 0402 Ft US



PROJECT LOCATION MAP
NVSolarWRX PSES/BESS Project
Washoe County, NV **WSUP26-0008**
EXHIBIT C

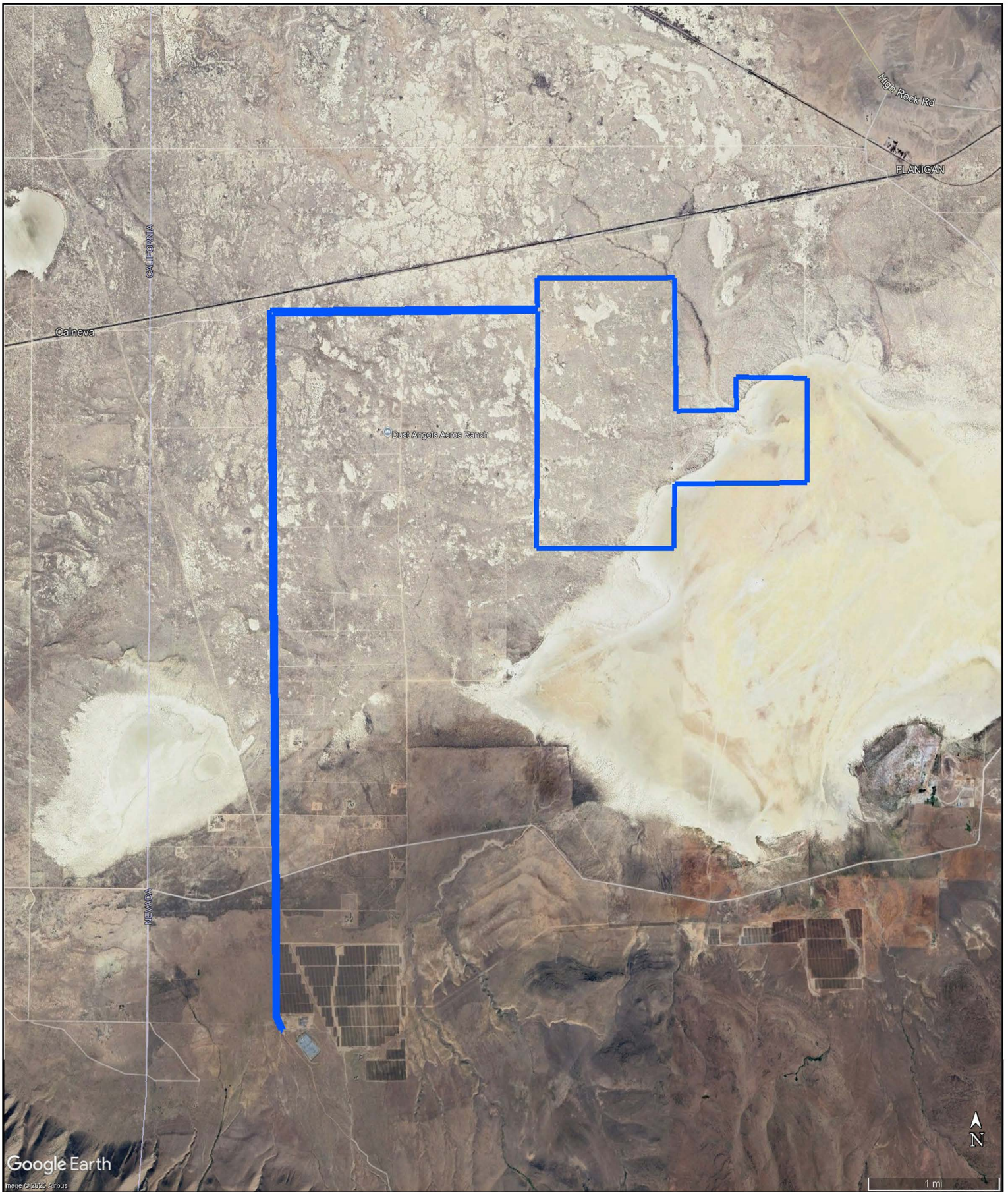
FIGURE	
1	
DRAWN BY	JMB
CHECKED BY	BLM
PROJECT MGR	BLM
DATE	02/2025
4140.2300008.0000	



PROJECT VICINITY MAP
NVSolarWRX PSES/BESS Project
Washoe County, NV

WSUP26-0008
EXHIBIT C

FIGURE	2
DRAWN BY	JMB
CHECKED BY	BLM
PROJECT MGR	BLM
DATE	02/2025
4140.2300008.0000	



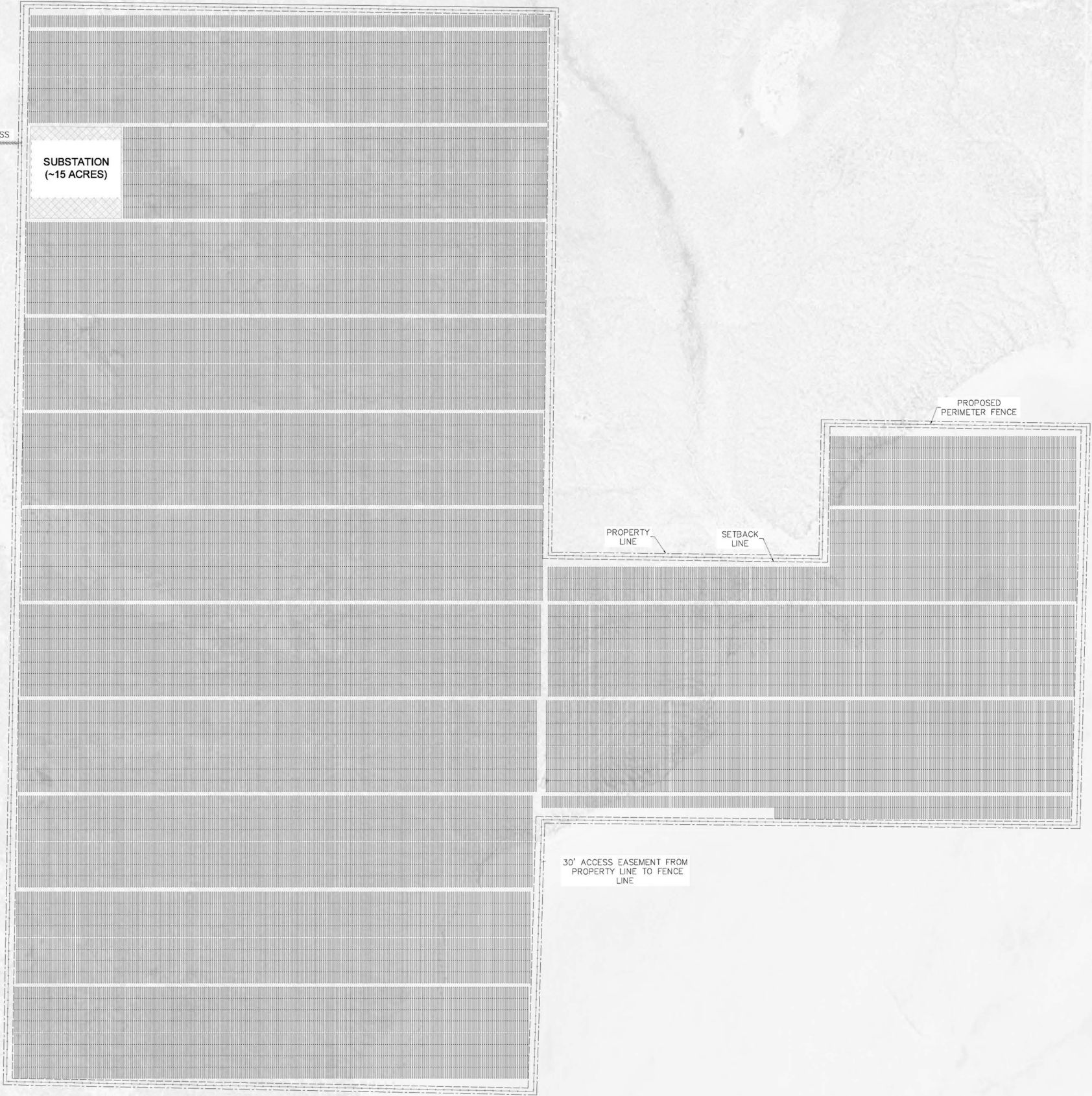
Google Earth
Image © 2025 Airbus



PROJECT BOUNDARY MAP
NVSolarWRX PSES/BESS Project
Washoe County, NV

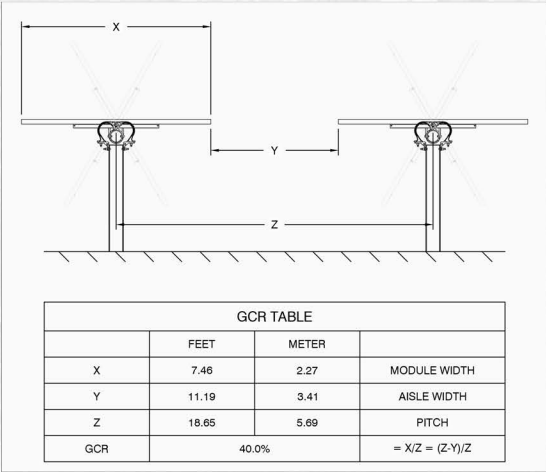
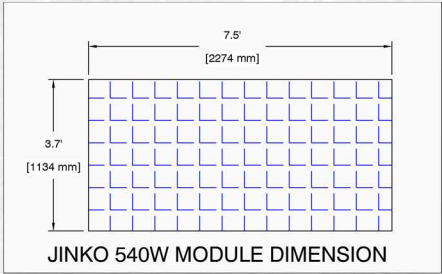
WSUP26-0008
EXHIBIT C

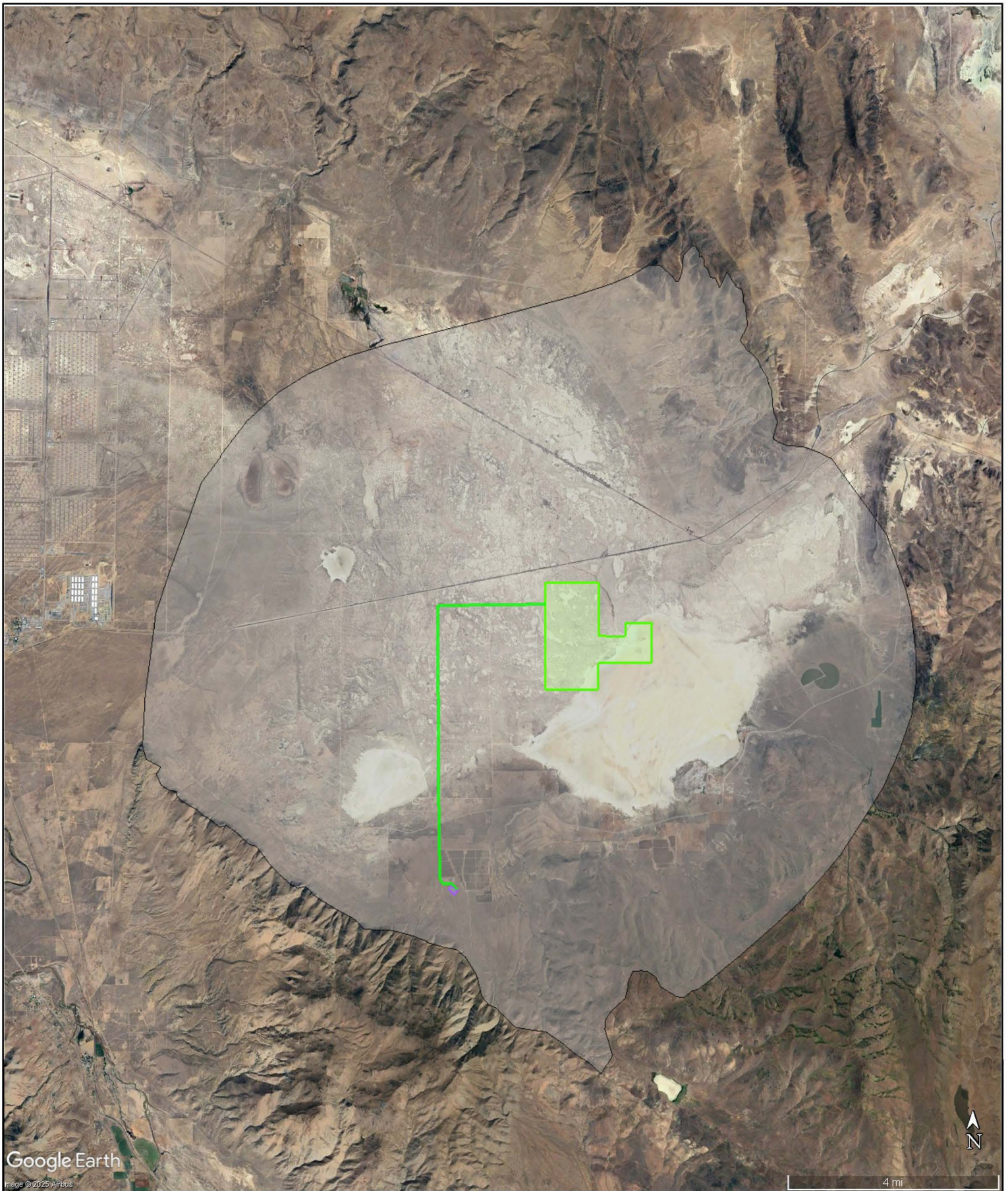
FIGURE	
3	
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**PRELIMINARY
NOT FOR
CONSTRUCTION**

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VIEWSHED MAP
NVSolarWRX PSES/BESS Project
Washoe County, NV

WSUP26-0008
EXHIBIT C

FIGURE		6
DRAWN BY	JMB	
CHECKED BY	BLM	
PROJECT MGR	BLM	
DATE	02/2025	
		4140.2300008.0000

From: bwade.rentreadypro.com
To: [Olander, Julie](#)
Subject: Public Comment/Owner
Date: Wednesday, July 1, 2026 12:23:01 PM

This Message Is From an Untrusted Sender

You have not previously corresponded with this sender.

[Report Suspicious](#)

Inquiry: NVSolarWRX (WSUP26-0008)
Contiguous Parcel 074-451-06

Dear Ms. Olander,

I am writing to you regarding the upcoming Planning Commission hearing for the **NVSolarWRX project (Special Use Permit Case WSUP26-0008)** scheduled for August 4, 2026.

I am the owner of **APN 074-451-06**, an 80-acre parcel located in Section 2 (T26N, R18E) that is directly contiguous to the eastern boundary line of Section 1 (**APN 074-452-01**), which is the primary site being developed for this solar project. Because my property shares an immediate border with the project footprint, I have a direct interest in the layout, boundary setbacks, and civil engineering plans currently under county review. I have attempted to reach out to the project developers via email over the last several months to discuss boundary alignment and the potential to lease my 80 acres to absorb their required setbacks or assist with project expansion, but I have not received a response.

As the assigned planner for this case,

could you please:

- Include this correspondence in the official public record/staff report for the **WSUP26-0008** case file.

- Forward my contact information and parcel details directly to the applicant's designated representative or legal counsel so we can establish a direct line of communication prior to the August 4th hearing.

Thank you for your assistance in ensuring neighboring property owners are properly connected with the development team.

Sincerely,

Barbara A. Wade
626 429 9821
PO Box 4175
Crestline, CA 92325

**Special Use
Permit
Application**

ORIGINAL

MEMORANDUM

To: Washoe County Planning & Building Division | Community Services Department

From: Verdantas, on behalf of NVSolarWRX, LLC

Subject: Special Use Permit (SUP) Application Package for the NVSoalrWRX Project

Date: June 8, 2026

Enclosed herein is the Special Use Permit (SUP) Application Package for the NVSoalrWRX Project in Washoe County, Nevada. Table 1, Development Application Submittal Requirements, has been provided to demonstrate applicability of SUP submittal requirements and current submittal status.

Table 1 Development Application Submittal Requirements			
#	Submittal Requirements	Applicable (Y/N)	Status
1	Fees: See Master Fee Schedule.	Y	A check in the amount of \$3,535.52 made payable to Washoe County is enclosed per the Master Fee Schedule (to be verified at planning counter)
2	Development Application: A completed Washoe County Development Application form.	Y	Enclosed
3	Owner Affidavit: The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.	Y	Enclosed: Attachment A
4	Proof of Property Tax Payment: The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.	Y	Enclosed: Attachment B
5	Application Materials: The completed Special Use Permit Application materials.	Y	Enclosed
6	Proposed Site Plan Specifications (Special Use Permit and Stables): a. Lot size with dimensions drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') showing all streets and ingress/egress to the property. b. Show the location and configuration of all existing and proposed buildings (with distances from the	Y	Enclosed: Attachment C Preliminary site plan enclosed. Final site plan will be prepared at a future date when an EPC contractor is

	property lines and from each other), all existing buildings that will remain (with distances from the property lines and from each other), all existing buildings that will be removed, and site improvements on a base map with existing and proposed topography expressed in intervals of no more than five (5) feet. c. Show the location and configuration of wells and well houses, septic systems and leach fields, overhead utilities, water and sewer lines, and all existing and proposed easements. d. Show locations of parking, landscaping, signage and lighting. e. The cross sections of all rights-of-way, streets, alleys or private access ways within the proposed development, proposed name and approximate grade of each, and approximate radius of all curves and diameter of each cul-de-sac. f. Property boundary lines, distances and bearings. g. Contours at five (5) foot intervals or two (2) foot intervals where, in the opinion of the County Engineer, topography is a major factor in the development. h. Indication of prominent landmarks, rock outcroppings, and natural foliage which will be deciding considerations in the design of the development. i. If any portion of the land within the boundary of the development is subject to inundation or stormwater overflow, as shown on the adopted Federal Emergency Management Agency's Flood Boundary and Floodway Maps, that fact and the land so affected shall be clearly shown on the map by a prominent note on each sheet, as well as width and direction of flow of each watercourse within the boundaries of the development. j. Existing and proposed roads, trails or rights-of-way within the development shall be designated on the map. Topography and existing developments within three hundred (300) feet must also be shown on the map. k. Vicinity map showing the proposed development in relation to Interstate 80, Highway 395, I-580, or a major arterial. The vicinity map shall also include a north arrow.		selected to design/build the proposed project.
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	l. Date, scale, and number of each sheet in relation to the total number of sheets, and the name of the person preparing the plans. m. Location of snow storage areas sufficient to handle snow removed from public and private street, if above 5,500 feet. n. All known areas of potential hazard (and the basis for delineation) shall be clearly designated on the map. Additionally, active fault lines (post-Holocene) shall be delineated on the map. o. Location of areas with slopes greater than fifteen percent (15%) and thirty percent (30%). p. Boundary of any wetland areas and/or floodplains within the project site. q. Note by the project engineer or design professional indicating compliance with all applicable provisions of the Washoe County Development Code. r. Significant Hydrological Resources. Indicate the critical and sensitive buffer zones according to Article 418 of the Washoe County Development Code.		
7	Site Plan Specifications for Grading: a. Location and limits of all work to be done. b. Existing contours and proposed contours. c. Location of any structures on adjacent parcels that are within fifteen (15) feet of the work site's parcel boundary. d. Existing draining (natural and man-made) and proposed drainage patterns. e. Sufficient elevation data to show the drainage will work as proposed. f. Quantities of excavation fill and disturbed surface area shall be calculated and shown on the site plan. Areas under buildings and pavement need not be included in these calculations. g. Quantities of material proposed to be removed from the site must be shown. The proposed disposal area and the disposition of fill must be noted on the plan. h. Limiting dimensions of cut and fill. i. Proposed BMPs (Best Management Practices) for controlling water and wind erosion if a disturbed area is left undeveloped for more than thirty (30) days.	Y	Enclosed: Attachment C

	j. Cut and fill slopes setback from the property boundary. k. Structure setbacks from a slope.		
8	Grading: In accordance with the grading provisions of Washoe County Code, Article 438, if the thresholds for a grading permit are met or exceeded, the grading plans shall indicate the existing and proposed grades, slope treatments (i.e. rip rap, erosion control, etc.) and drainage channels and the direction of flow. Cross sections must be provided at a minimum of two key locations.	Y	Enclosed: Attachment C
9	Traffic Impact Report (Special Use Permit and Stables): Traffic impact reports are required whenever the proposed development project will generate 80 or more weekday peak hour trips as determined using the latest edition Institute of Transportation Engineers (ITE) trip generation rates or other such sources as may be accepted by Washoe County Engineering. Projects with less than 200 peak hour trips may not need to perform an impact analysis for future years. Traffic consultants are encouraged to contact Washoe County Engineering and Capital Projects staff prior to preparing a traffic impact report.	N	Not applicable. A Traffic Impact Report is not required for a solar facility.
10	Landscaping: Landscape plans may be required, for stables. Landscape plans may include: a soils evaluation; color and type of building material, such as fencing material; type of plant material; location of plant material and proposed maintenance schedule; size of plant material at planting and size of plant material at full maturation; type and amount of mulch material; and an irrigation plan. a. Planting Plan Specifications: The planting plan must include all necessary information to satisfy Washoe County Code Section 110.412.60, Planting Standards. - Proposed Tree Locations. Individual trees shall be graphically depicted in the proposed locations; trees shall be identified as either evergreen or deciduous; trees shall be individually labeled or coded and cross referenced to the proposed plant species in the plant legend. - Proposed Plant Material. The preliminary plan must identify where, and a square footage amount for, one or all of the	N	Not Applicable. Landscaping not required for a solar facility.

	following items: trees, mulch (rock, DG or bark), seeded areas, etc. - Existing On-Site Vegetation. In the case of large strands of trees and shrubs, individual locations may be identified with a revision cloud symbol. Smaller numbers or strands of trees(six (6) inch caliper and greater) shall be identified individually. Shrub areas and other forms of vegetation such as grasses shall be identified with a revision cloud symbol. - Plant Legend. Legend shall include all proposed plant material, including the following: common name, botanical name, size at planting, spacing and quantity (of trees only). - Landscape Area Legend. A summary of proposed areas and their square footages shall include: lawn, existing and or proposed paving, existing trees to be preserved, existing trees to be removed and the amount of proposed shrubs. b. Irrigation Plan Specifications: The irrigation plan must include all necessary information to satisfy Washoe County Code Section 110.412.65, Irrigation Standards. - Location, size, and specifications of water source(s), water mains, meter(s), valves, and the controller. - Temporary or permanent water irrigation systems. - Specifications of irrigation equipment identified by manufacturer's name and equipment identification number. - An approved backflow prevention device is required on all landscape irrigation systems.		
11	Signage Plan: The signage plans shall include sign elevations and delineate location, height, style, dimensions, intensity of sign lighting and finish of any proposed signage:	N	A signage plan will be prepared at a future date when an EPC contractor is selected to design/build the proposed project.
12	Lighting Plan: Show the location and configuration of all proposed exterior lighting including a detail of the parking lot light fixtures, pole heights, security	N	A lighting plan will be prepared at a future

	lighting, and wall mounted illumination fixtures. Parking lot areas shall be depicted showing lumen isolines demonstrating compliance with the provisions of the Washoe County Development Code.		date when an EPC contractor is selected to design/build the proposed project.
13	Building Elevations: All buildings and structures including fences, walls, poles and monument signs proposed for construction within the project shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. All architectural elevations from all building faces shall be presented.	N	Per County Staff instructions, we request to waive Table 11.406.05.1 part 1-5 for structures under 30 ft.
14	Submission Packets: Two (2) packets and a flash drive. One (1) packet must be labeled "Original" and contain a signed and notarized Owner Affidavit. Any digital documents need to have a resolution of 300 dpi. If materials are unreadable, you will be asked to provide a higher quality copy. The packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. Labeling on these reproductions should be no smaller than 8 point on the 8.5" x 11" display. Large format sheets should be included in a slide pocket(s). Any specialized reports identified above shall be included as attachments or appendices and be annotated as such.	Y	Enclosed
Notes: (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes. (ii) Appropriate map engineering and building architectural scales are subject to the approval of Planning and Building and/or Engineering and Capital Projects. (iii) All oversized maps and plans must be folded to a 9" x 12" size. (iv) Labels: The applicant is required to submit three (3) sets of mailing labels for every tenant residing in a mobile home park that is within five hundred (500) feet of the proposed project (or within seven hundred fifty (750) feet of the proposed project if the proposed project is a project of regional significance). (v) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies to clarify the potential impacts and potential conditions of development to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building. (vi) Please be advised that the Washoe County Director of Planning and Building or their designee, Washoe County Board of Adjustment, and/or Washoe County Planning Commission have the ability to determine an application incomplete if they cannot ascertain what the applicant is requesting, or if there is insufficient information to determine a favorable outcome.			

Memorandum

Subject: NVSolarWRX Project Special Use Permit Application

Please contact Austin Moore at (916) 343-8881 with questions related to this submittal.

.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:		Initial:	
County Commission District:		Planning Area:	
CAB(s):		Master Plan Designation(s):	
		Regulatory Zoning(s):	

Special Use Permit Application
Supplemental Information
(All required information may be separately attached)

1. What is the project being requested?

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

3. What is the intended phasing schedule for the construction and completion of the project?

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

☐ Yes	☐ No
------------------------------	-----------------------------

9. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

2. How many cubic yards of material are you proposing to excavate on site?

3. How many square feet of surface of the property are you disturbing?

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

--

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

--

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

--

11. Are you planning any berms?

Yes	No	If yes, how tall is the berm at its highest?
-----	----	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

--

13. What are you proposing for visual mitigation of the work?

--

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

--

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

--

16. How are you providing temporary irrigation to the disturbed area?

--

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

--

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No	If yes, please attach a copy.
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