

**MAINTENANCE AND CONSTRUCTION AGREEMENT FOR THE  
GALENA TERRACE PARK**

This Maintenance and Construction Agreement is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2018, by and between Washoe County, a political subdivision of the State of Nevada, acting by and through its Community Services Department, hereafter called "County" and Galena Terrace Maintenance Association, Inc. a Nevada Domestic Nonprofit Corporation ("Galena Terrace Maintenance Association"). In consideration of the terms and conditions hereof, the parties agree as follows:

**WITNESSETH:**

Galena Terrace Maintenance Association is the current owner of real property located in Washoe County, Nevada, known as Parcel "A" within Galena Terrace Unit 10 subdivision map (FM No. 3712, currently Assessor's Parcel Number 144-180-01) and described in Exhibit "A" attached hereto and incorporated herein by reference ("Galena Terrace Park");

Nevada Revised Statutes NRS 278.4983 is a law relating to the residential construction tax (the "RCT"), providing the manner for its imposition, establishing its use and setting its rate at one percent (1%) of the valuation of each building permit issued, or \$1,000 per residential dwelling unit or mobile home, whichever is less, and providing other matters properly relating thereto;

Washoe County, has adopted by ordinance a residential construction tax, Washoe County Code Sections 20.435 to 20.467 pursuant to NRS 278.4983, to impose a tax upon the construction of apartment houses, residential dwelling units and mobile-home lots, as well as a method for its collection. The Project will be funded entirely by RCT, as compliant with Nevada Revised Statutes;

Washoe County has collected RCT funds from the development of the Galena Terrace Subdivision, located within Park District 1C. for the development of the real property as a park;

Galena Terrace Maintenance Association, is to assume the maintenance and liability of Galena Terrace Park, while County agrees to contribute staff and funding from RCT to plan, develop and construct Galena Terrace Park;

The parties agree on the following terms and conditions:



## **1. CONSTRUCTION**

- 1.1 The County shall solicit competitive bids for the construction of Galena Terrace Park compliant with Nevada Revised Statutes. The County intends to award the bid to the lowest responsive, complete and qualified bidder. Once the bids are received and certified, they will be presented to the Board of County Commissioners for consideration and possible approval.
- 1.2 The County shall be responsible for executing a separate construction agreement with the awarded bidder. All contractors hired for the purposes of constructing the Project shall meet the standard County indemnification and insurance requirements, including the addition of GTMA and Washoe County as named as additional insured and provide waiver of subrogation and shall provide proof to parties of said coverage prior to the beginning of any construction. The contract shall include proper protections for fencing, fire prevention, accidents, and dust control.
- 1.3 Park equipment should be placed based upon standards set by the U.S. Consumer Product Safety Commission and constructed to manufacturers' specifications.
- 1.4 Either party may at any time enter upon Galena Terrace Park during construction to inspect construction progress. In any event, GTMA shall be notified before the irrigation system is covered and shall be afforded an opportunity to inspect it.
- 1.5 The contractor, with the assistance of design professional, shall provide reproducible as-built drawings at the completion of construction and prior to final payment. One hard copy and one electronic copy of the as-builts will be provided to GTMA.
- 1.6 In the event any of the obligations identified above or the contracts do not have proper protections against liability for fire, accidents, dust control, etc., Galena Terrace Maintenance Association may provide written notice of such failure and County shall have ten (10) days to respond. The Parties shall work in good faith to resolve any issues.

## **2. MAINTENANCE**

Galena Terrace Maintenance Association will maintain the Galena Terrace Park by providing the labor, equipment and materials to properly maintain the park as follows:



- 2.1 Irrigation systems shall be adequately maintained on a year round basis to ensure proper operation and efficient irrigation to turf, trees and shrubs.
- 2.2 Landscape maintenance, mowing, fertilization, watering, and aeration will be performed on a regular and routine maintenance schedule in accordance with the level of service standards as attached as Exhibit C.
- 2.3 Galena Terrace Maintenance Association will pick up all litter, debris and trash from park and empty trash cans (if in place) at a minimum of once per week during the term of this agreement.
- 2.4 Maintenance does include replacement of all improvements related to the construction of Galena Terrace Park and further identified in Exhibit B
- 2.5 Galena Terrace Maintenance Association will maintain the sidewalk on County owned parcel 144-150-01.
- 2.6 Damage and Vandalism to Park. Replacement or repair of damage of the improvements within Exhibit "B" shall be the sole responsibility of the Galena Terrace Maintenance Association. Galena Terrace Maintenance Association, at its sole cost and expense, shall secure and maintain fire and all risk insurance for all property located at Galena Terrace Park. Galena Terrace Maintenance Association shall also secure and maintain a policy of Comprehensive General Liability coverage, in an amount of not less than \$1,000.00 per occurrence, and at least \$2,000,000 annual aggregate.
- 2.7 Right of Entry. Galena Terrace Maintenance Association grants Washoe County the right to enter upon the premises in order to perform visual inspections of the park for purposes of upholding the maintenance standards outlined within this contract. County shall hold harmless, indemnify, and defend Galena Terrace Maintenance Association from and against any and all claims, demands, and losses of Galena Terrace Maintenance Association and third parties arising out of or related to the Right of Entry granted to County for the purposes of inspecting the Park, hereof resulting from actions of County or any consultants, contractors, subcontractor, or others under County direction or control. Under no circumstances shall the County have any responsibility for any claims, demands, and losses resulting from any action or lack of action by Galena Terrace Maintenance Association.



### **3. MISCELLANEOUS PROVISIONS**

- 3.1 Time is of the essence of this Agreement.
- 3.2 Any notices, requests or instructions deemed by either Party to be given to the other shall be given in writing and are to be mailed by certified mail with return receipt requested, as follows:

Galena Terrace Maintenance Association  
C/O Association Sierra North  
10509 Professional Circle Ste 200  
Reno, NV 89521

With a copy to:

Gayle A. Kern, Esq.  
Leach Kern Gruchow Anderson Song  
5421 Kietzke Lane, Suite 200  
Reno, NV 89511

Washoe County -CSD  
Attention: Operations Division Director  
P. O. Box 11130  
Reno, Nevada 89520

- 3.3 Except as otherwise set forth herein, service of any notice or demand made by mail shall be deemed completed on the day of actual delivery or upon personal delivery.
- 3.4 This Agreement shall be construed and enforced in accordance with the laws of the State of Nevada and venue for any such action shall be in Washoe County, Nevada. In the event that there is a dispute concerning this Agreement, neither party will reimburse the other party its attorney's fees or costs.
- 3.5 This Agreement may not be modified, amended, altered or changed in any respect whatsoever except by further agreement in writing, duly executed by the parties.
- 3.6 This Agreement shall be binding upon and inure to the benefit of the parties hereto, and their respective successors, subcontractors, personal representatives, and assigns.



- 3.7 All periods of time referred to in this Agreement shall include all Saturdays, Sundays, and state or national holidays, unless the period of time specifies business days, provided that if the date to perform any act or give any notice with respect to this Agreement shall fall on a Saturday, Sunday, or state or national holiday, such act or notice may be timely performed or given on the next succeeding day which is not a Saturday, Sunday, or state or national holiday.
- 3.8 The parties hereto acknowledge and agree that each has been given the opportunity to review this Agreement with legal counsel independently, and/or has the requisite experience and sophistication to understand, interpret, and agree to the particular language of the provisions hereof. The parties have equal bargaining power and intend the plain meaning of the provisions herein. In the event of an ambiguity in or dispute regarding interpretation of terms, the interpretation of this Agreement shall not be resolved by any rule of interpretation providing for interpretation against the party who causes the uncertainty to exist or against the draftsman.
- 3.9 Each party shall indemnify, hold harmless and defend, not excluding the other's right to participate, the other party from and against all liability, claims, actions, damages, losses, and expenses, including but not limited to reasonable attorneys' fees and costs, arising out of any alleged negligent or willful acts or omissions of the indemnifying party, its officers, employees and agents. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this paragraph.
- Washoe County will not waive and intends to assert available NRS chapter 41 liability limitations in all cases. Contract liability of both parties shall not be subject to punitive damages.
- 3.10 The parties recognize that upon completion of the Project, the Property will become a public park and shall remain open to all members of the public. Any reservations of the park are to be made through the GTMA and noticed on the site 48 hours prior the event taking place.

#### **4. TERM**

Regular maintenance shall occur on a reasonable basis on a schedule as determined by the Association and included within Exhibit C. GTMA shall maintain the Project on the Property in perpetuity, and ensure the Property is open and available for the general public and compliant with Nevada Revised Statutes.



**5. WARRANTY**

GTMA shall receive full and complete warranties from the construction contractors, equipment manufacturers, architects, consultants, any service or material provider, on the Park Project. Such warranties shall be implied and written and no waiver of any warranty shall be agreed to in any contract with any provider.

**6. PROPERTY TAX LIABILITY**

There shall be no property taxes assessed on the Park Property pursuant to NRS 361.233.

**7. WASHOE COUNTY DRAINAGE PIPES/CULVERTS UNDER PARK PROPERTY**

The County shall ensure reasonable maintenance of all drainage easements held on, adjacent to, or under the Park Property.

**8. ENTIRETY OF THE AGREEMENT**

This Agreement for the Galena Terrace Park contains the entire agreement between the parties hereto and supersedes any and all prior agreements, arrangements or understandings regarding the same subject matter as this Agreement, which are null and void.



**IN WITNESS WHEREOF**, the parties hereto have caused this agreement to be signed the day and year first above written.

COUNTY OF WASHOE, a political  
subdivision of the State of Nevada

By \_\_\_\_\_  
Marsha Berkbigler, Chair  
Washoe County Commission

STATE OF NEVADA            )  
  : ss.  
COUNTY OF WASHOE        )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2018, before me, a Notary Public,  
personally appeared \_\_\_\_\_, known to me to be the person who  
executed the above instrument, and acknowledged to me that she executed the same for  
the purposes therein stated.

\_\_\_\_\_  
NOTARY PUBLIC

GALENA TERRACE  
MAINTENANCE ASSOCIATION,  
INC., a Nevada Domestic Nonprofit  
Corporation

By \_\_\_\_\_

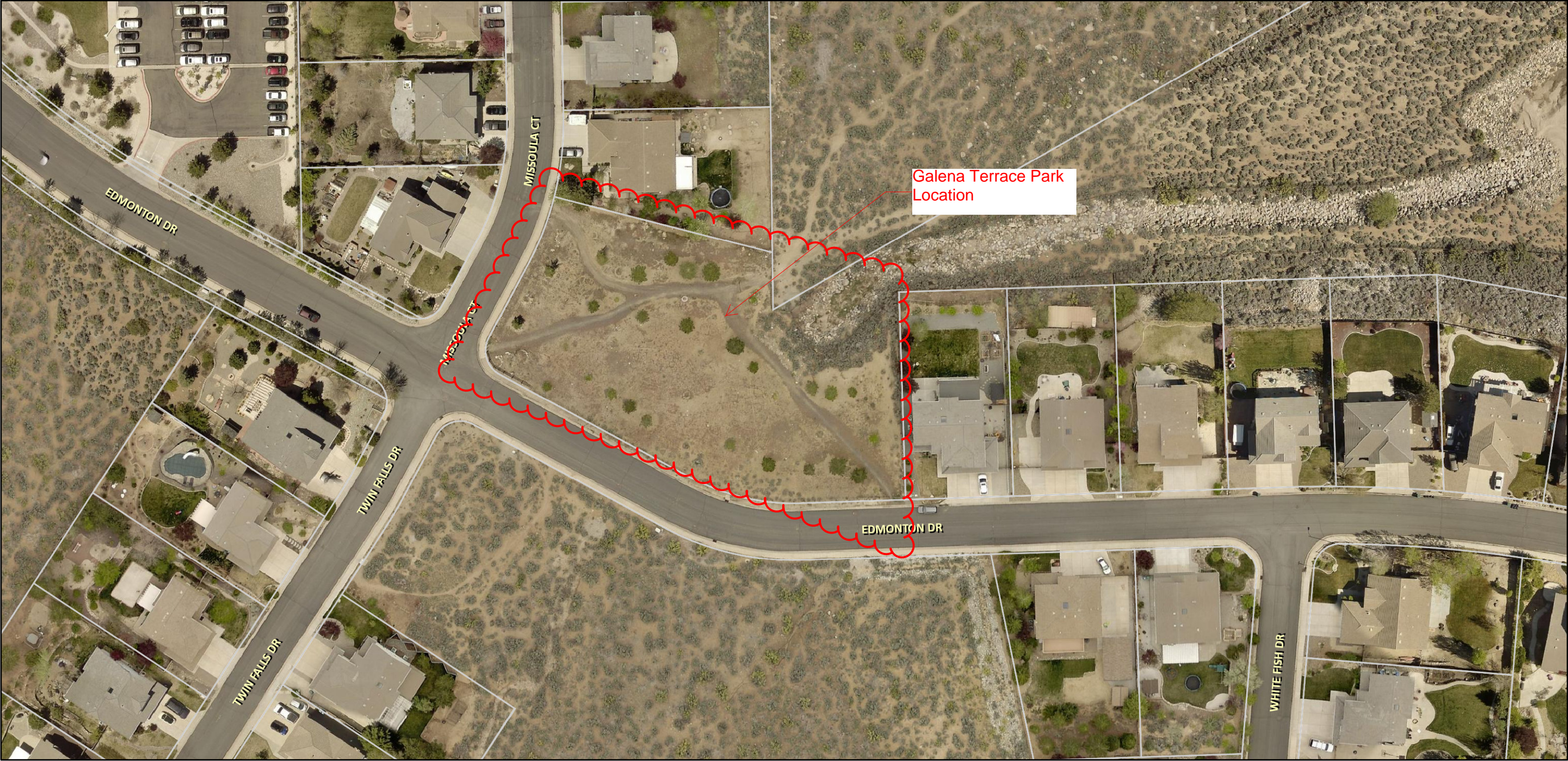
STATE OF NEVADA            )  
  : ss.  
COUNTY OF WASHOE        )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2018, before me, a Notary Public, personally  
appeared \_\_\_\_\_, known to me to be the person who executed  
the above instrument, and acknowledged to me that s/he executed the same for the  
purposes therein stated.

\_\_\_\_\_  
NOTARY PUBLIC

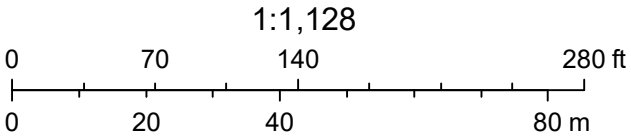


# Galena Terrace Park Exhibit A



June 21, 2018

- Ditch
- Reno City Boundary



Washoe County  
Washoe County GIS  
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics,  
CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User  
Community





# GALENA TERRACE PARK

## VICINITY MAP

**OWNER**

**GALENA TERRACE MAINTENANCE  
ASSOCIATION**  
**10509 PROFESSIONAL CIRCLE, SUITE 200**  
**RENO, NEVADA 89521**  
**(775) 828-4990**

*DEVELOPER*

**WASHOE COUNTY COMMUNITY  
SERVICES DEPARTMENT – PARKS  
1001 E. NINTH STREET, BLDG. A  
RENO, NV 89520  
(775) 823-6500**

**CIVIL ENGINEER**

**ODYSSEY ENGINEERING, INC.**  
895 ROBERTA LANE, SUITE 104  
SPARKS, NV 89431  
(775) 359-3303  
CONTACT: KENNETH W. ANDERSON, P.E.

*LANDSCAPE ARCHITECT*

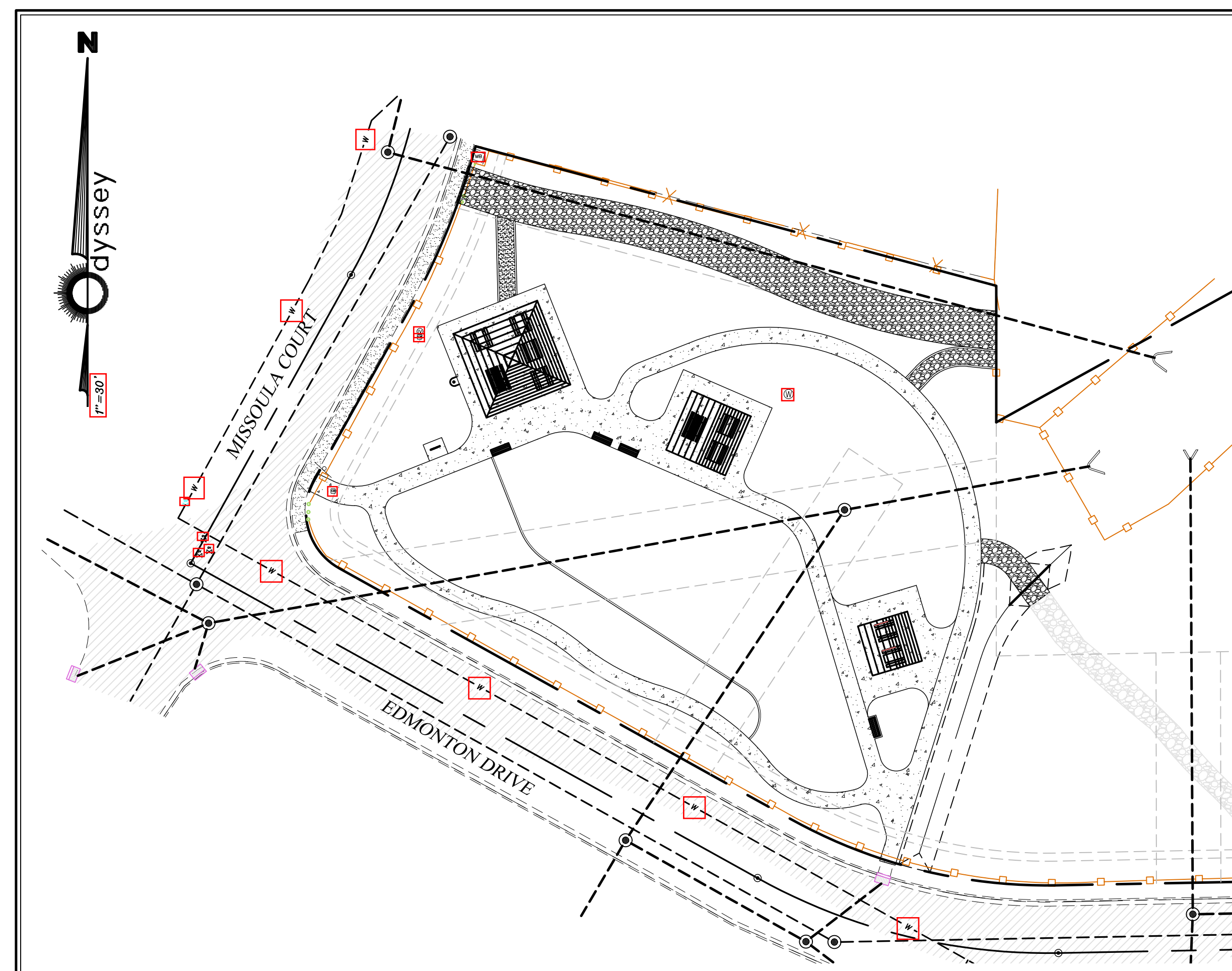
L.A. STUDIO NEVADA  
1552 C STREET  
SPARKS, NV 89431  
(775) 323-2223  
CONTACT: RYAN HANSEN, A.S.L.A., P.L.A.

***ELECTRICAL ENGINEER***

**JENSEN ENGINEERING, INC.**  
9655 GATEWAY DRIVE, #A  
RENO, NV 89521  
(775) 852-2288  
CONTACT: GERALD JENSEN, P.E.

## *LIST OF ABBREVIATIONS*

A.C.	ASPHALTIC CONCRETE	L.F.	LINEAL FEET
A.P.	ANGULAR POINT	L.P.	LOW POINT
B.C.	BEGIN CURVE	L.S.	LIGHT STANDARD
B.F.C.	BACK FACE CURB	M.H.	MANHOLE
B.V.C.	BEGIN VERTICAL CURVE	P.	PAD ELEVATION
B.S.	BACK OF SIDEWALK	P.I.	POINT OF INTERSECTION
C.B.	CATCH BASIN	P.O.	PUSH ON
C.	CENTERLINE	P.R.C.	POINT OF REVERSE CURVATURE
CH.	CHORD	P.O.T.	POINT OF TANGENT
C.M.P.	CORRUGATED METAL PIPE	P.V.C.	POLYVINYL CHLORIDE PIPE
CONC.	CONCRETE	P.	PROPERTY LINE
CONST.	CONSTRUCT	(R)	RADIAL
C.P.	CONCRETE PIPE	R.	RADIUS
D.I.	DROP INLET	R.E.	RECLAIMED EFFLUENT
DET.	DETAILS	REF.	REFERENCE
D.W.	DEWATERING OR DRIVEWAY	RET.	RETURN
ELEV.	ELEVATION	R.C.C.	REINFORCED CONCRETE PIPE
E.C.	END OF CURVE	R.T.	RIGHT
E.V.C.	END VERTICAL CURVE	R/W.	RIGHT OF WAY
EXIST.	EXISTING	S.D.C.O.	STORM DRAIN CLEAN OUT
E.G.	EXISTING GRADE	S.S.C.O.	SANITARY SEWER CLEAN OUT
F.F.	FINISH FLOOR	S.S.	SANITARY SEWER
F.F.C.	FRONT FACE CURB	S.W.	SIDEWALK
F.G.	FINISH GRADE	SPT.	SHEET
F.H.	FIRE HYDRANT	STA.	STATION
FL.	FLOW LINE	S.D.	STORM DRAIN
F.V.A.	FLUSH VALVE ASSEMBLY	T.	TANGENT
G.	GAS	T.C.	TOP OF CURB
G.B.	GRADE BREAK	T.P.	TOP OF PAVEMENT
G.V.	GATE VALVE	TYPE.	TYPICAL
HORIZ.	HORIZONTAL	VERT.	VERTICAL
H.P.	HIGH POINT	V.C.	VERTICAL CURVE
INT.	INTERSECTION	V.P.I.	VERTICAL POINT OF INTERSECTION
I.E.	INVERT ELEVATION	W.	WATER
L.T.	LEFT	W.C.	WASHOE COUNTY
L.	LENGTH	W.S.E.	WATER SURFACE ELEVATION



## SITE LAYOUT

THE OWNER IS RESPONSIBLE FOR COMPLIANCE WITH THE CONDITIONS OF THEIR STORM WATER DISCHARGE PERMIT. THIS INCLUDES THE PLANNING, IMPLEMENTATION AND MAINTENANCE OF ANY AND ALL SEDIMENTATION AND EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES (BMP'S) IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). BY ENTERING THE DIRECTION OF FLOW, THESE IMPROVEMENTS ARE REQUIRED TO ONLY NOT REFLECT THESE EROSION CONTROL MEASURES AND BMP'S. THE OWNER SHALL BE CONTACTED REGARDING THE STORM WATER DISCHARGE PERMIT AND ASSOCIATED SWPPP.

*CIVIL SHEET INDEX*

T-1	.....	TITLE SHEET
N-1	.....	OVERALL SITE PLAN AND NOTES
DEM-1	.....	DEMOLITION PLAN
G-1	.....	GRADING AND DRAINAGE PLAN
S-1	.....	SITE DIMENSIONAL PLAN

## LANDSCAPE SHEET INDEX

L1	.....	REFERENCE PLAN
L2	.....	PLANTING PLAN
L3	.....	IRRIGATION PLAN
L4	.....	IRRIGATION DETAILS
L5	.....	LANDSCAPE DETAILS
L6	.....	PARK AMENITY DETAILS

*ELECTRICAL SHEET INDEX*

E1.0	.....	SYMBOLS, NOTES & LUMINAIRE SCHEDULE
E2.0	.....	SITE ELECTRICAL PLAN

# BASIS OF BEARINGS

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983  
(NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939  
APPLIED.

## BASIS OF ELEVATION

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)  
USING CONTROL CITY OF RENO BENCHMARK 3091  
(ELEVATION=4555.77 FT.)

**FLOOD ZONE:**

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED  
ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE  
DATE MARCH 16, 2009

## SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS, FOR PUBLIC WORKS CONSTRUCTION (2012 EDITION AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.


## ENGINEER'S CERTIFICATE

THESE PLANS (SHEETS T-1 OF 5 THRU S-1 OF 5) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, CITY ORDINANCES, STANDARDS, AND CITY CODE. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND CITY CODE, CITY STANDARDS SHALL PREVAIL.



KENNETH W. ANDERSON

P.E. #15598

 <p>805 ROBERT LANE SUITE 104, SPARKS, NV 89431 (775) 358-2003 FAX (775) 358-2393 ODSSEY@NDO.COM</p>	<p>SCALE</p> <p>HORIZ. <u>N.T.S.</u></p> <p>VERT. <u>1" = 10'</u></p>		<p>JOB NO.</p> <p>3837</p>		<p>SHEET</p> <p>T-1</p>		<p>OF</p> <p>5</p>	
	<p>GALENA TERRACE PARK</p>		<p>WASHOE COUNTY</p>		<p>NEVADA</p>			
	<p>TITLE SHEET</p>							
	<p>DATE: 7-10-2017</p>		<p>REV.</p>		<p>DATE</p>		<p>DESCRIPTION</p>	
	<p>DRAWN BY: K.W.A.</p>		<p>DESIGNED BY: ACAD2017</p>		<p>CHECKED BY: K.W.A.</p>		<p>BY APP'D</p>	

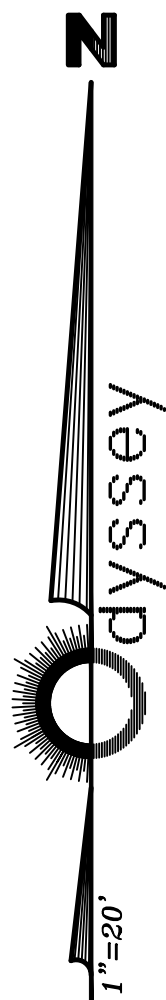








( IN FEET )  
1 inch = 20 ft.



### BASIS OF BEARING:

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

### BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

### FLOOD ZONE:

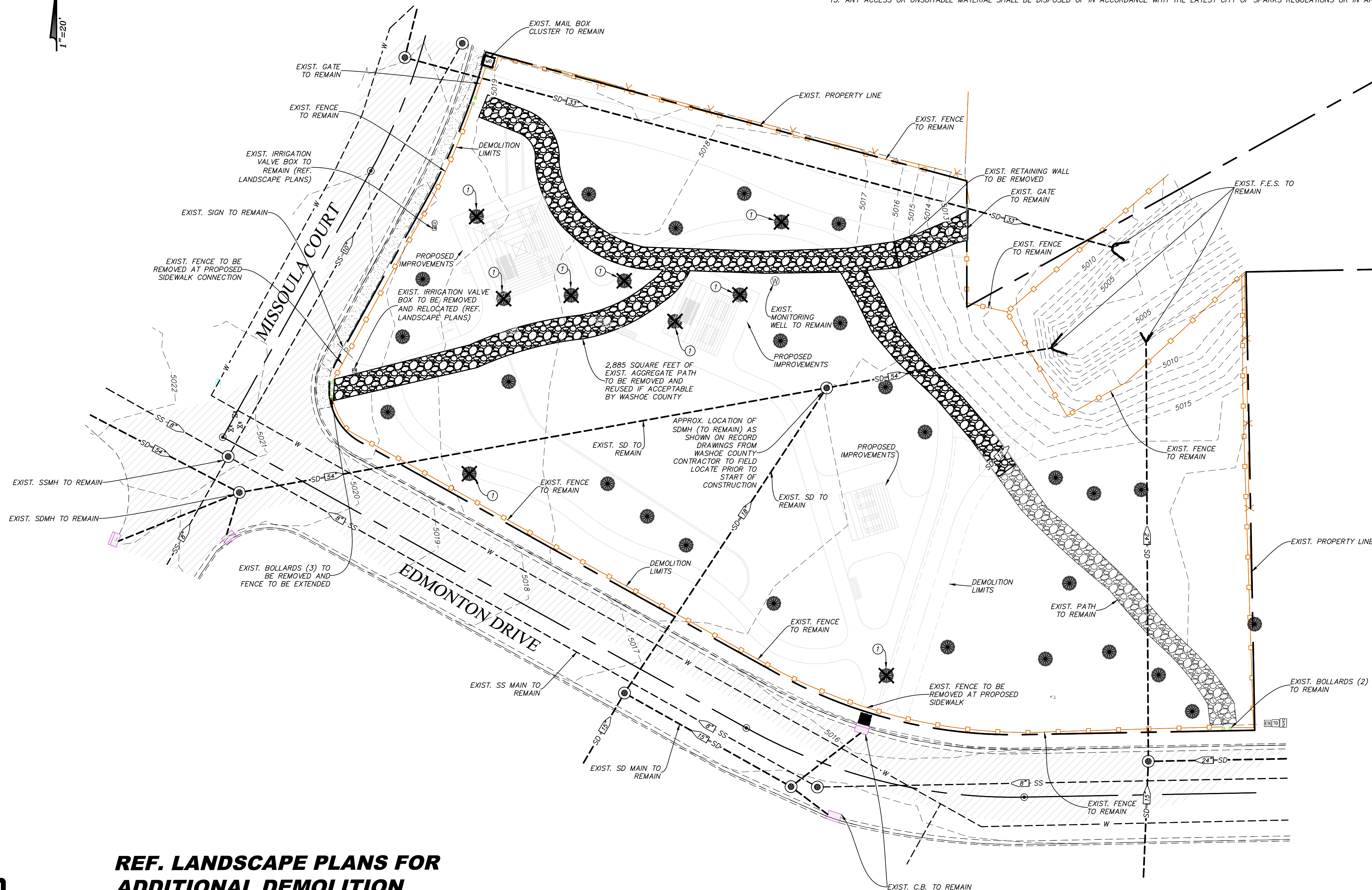
THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

### NOTE:

- ① EXIST. TREE TO BE REMOVED

### DEMOLITON NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION 2012 ADDITION (AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.
2. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH SECTION 040.030 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINT OF CONNECTION WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS PER FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES.
5. NO MATERIAL OF ANY KIND SHALL BE STOCKPILED, OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES MAINTAINED BY WASHOE COUNTY.
6. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM SURFACE EVIDENCE AND AVAILABLE UTILITY COMPANY RECORDS. ALL UTILITIES SHOULD BE VERIFIED IN THE FIELD. ODYSSEY ENGINEERING INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS OF SUCH RECORDS.
7. THE CONTRACTOR SHALL MAINTAIN AN ON-GOING PROCESS OF REMOVAL OF ALL SPILLAGE OF EXCAVATION MATERIAL ON ALL PAVED STREETS.
8. LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
9. ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND OWNERS PERSONNEL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN EXISTING B.M.P. IMPROVEMENTS THAT ARE IN PLACE, AND SHALL PROVIDE AND MAINTAIN ADDITIONAL B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.P.
11. THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
12. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, WASHOE COUNTY, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
13. ADD 5000 FEET TO ALL TRUNCATED ELEVATIONS.
14. THE NATURAL VEGETATION AND EXISTING LANDSCAPING SHALL BE PRESERVED AS MUCH AS PRACTICAL DURING ROADWAY AND DRAINAGE IMPROVEMENTS CONSTRUCTION.
15. ANY ACCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST CITY OF SPARKS REGULATIONS OR IN APPROVED AREAS.



### LEGEND:

- EXISTING ASPHALT PAVING
- GRAVEL PATH TO BE REMOVED
- GRAVEL PATH (TO REMAIN)
- EXISTING CURB AND GUTTER
- EXISTING POST CURB
- EXISTING MANHOLE
- EXISTING TYPE 4-R CATCH BASIN
- EXISTING TYPE 1 CATCH BASIN
- EXISTING TYPE 3 CATCH BASIN
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER LATERAL
- EXISTING WATER AND GAS
- EXISTING WATER
- EXISTING GAS
- EXISTING RECLAIM IRRIGATION MAIN
- EXISTING UNDERGROUND ELECTRIC/TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING FIRE HYDRANT
- EXISTING WATER SERVICE
- EXISTING SITE LIGHT
- EXISTING CONTOUR
- EXISTING
- EXISTING SPOT ELEVATION
- SAWCUT LINE
- EXISTING TREE
- EXISTING TREE TO BE REMOVED

**REF. LANDSCAPE PLANS FOR  
ADDITIONAL DEMOLITION  
INFORMATION**



Know what's below.  
Call before you dig.

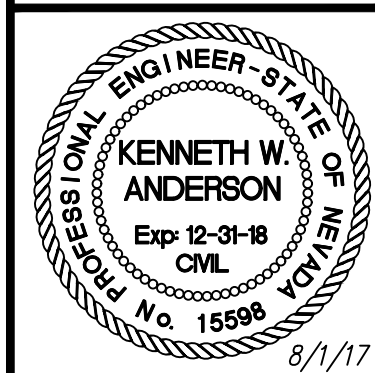
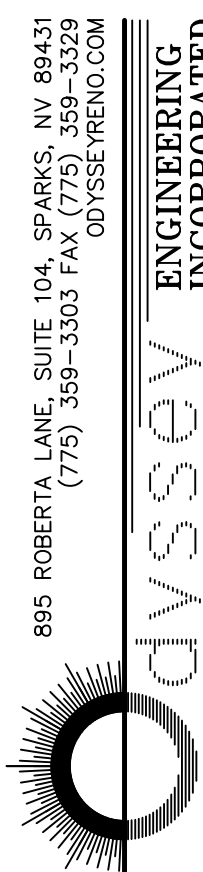
PERMIT SET

GALENA TERRACE PARK  
DEMOLITION PLAN

NEVADA

WASHOE COUNTY

885 ROBERTA LANE, SUITE 104, SPARKS, NV 89431  
(775) 359-3303 FAX (775) 359-3329  
ODYSSEYRENO.COM



SCALE  
HORIZ. 1"=20'  
VERT. ---  
JOB NO.  
3837  
SHEET  
DEM-1  
OF  
5

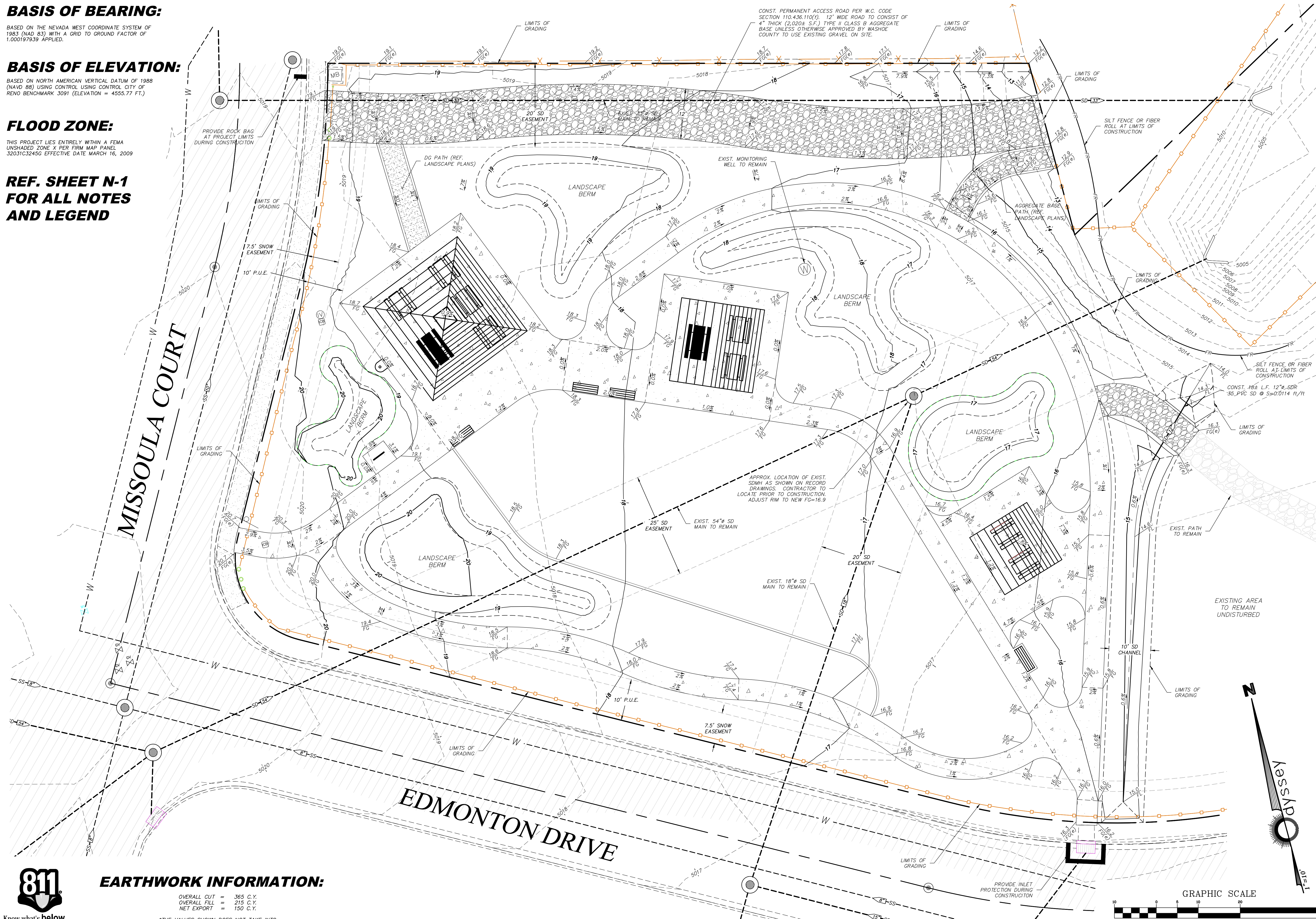


BASED ON THE NEVADA WEST COORDINATE SYSTEM OF  
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BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988  
(NAVD 88) USING CONTROL USING CONTROL CITY OF  
RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

THIS PROJECT LIES ENTIRELY WITHIN A FEMA  
UNSHADED ZONE X PER FIRM MAP PANEL  
32031C3245G EFFECTIVE DATE MARCH 16, 2009

MISSOULA COURT



### **EARTHWORK INFORMATION:**

OVERALL CUT = 365 C.Y.  
OVERALL FILL = 215 C.Y.  
NET EXPORT = 150 C.Y.

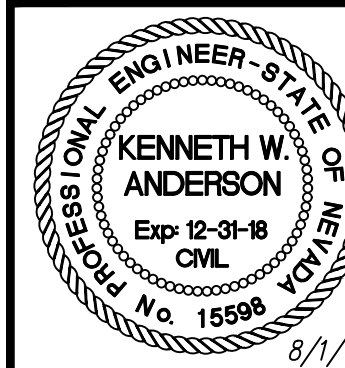
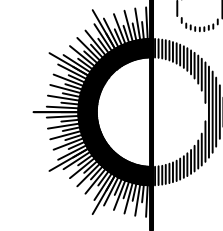
\*THE VALUES SHOWN DOES NOT TAKE INTO ACCOUNT SHRINK/SWELL OF THE IN-SITU SOIL



Know what's **below**.  
**Call** before you dig.

PERMIT SET

GALENA TERRACE PARK  
GRADING AND DRAINAGE PLAN  
WASHINGTON COUNTY  
NEVADA



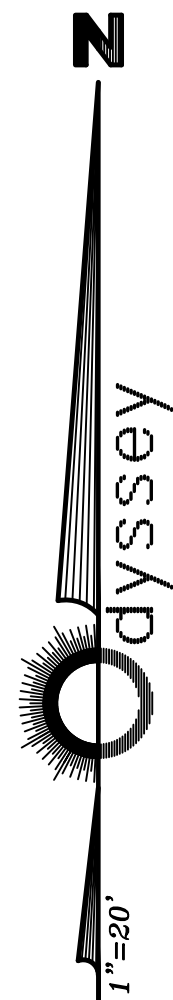
SCALE  
HORIZ.  $1"=10'$   
VERT. ---  
JOB NO. 3837  
SHEET  
 $G-1$   
OF  
5

August 1, 2017 - 13:37      Dwg Name: h:\hansen landscape-galena terrace park\production drawings\04-GALENA PARK GRADING.dwg      Updated By: user





( IN FEET )  
1 inch = 20 ft.



CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	13.16'	16.00'	47°07'43"
C2	15.71'	10.00'	90°00'00"
C3	11.78'	5.00'	135°00'00"
C4	8.65'	11.00'	45°04'44"
C5	104.43'	65.00'	92°03'17"
C6	51.56'	80.00'	36°55'35"
C7	2.97'	5.00'	34°05'07"
C8	7.85'	5.00'	90°00'00"
C9	35.86'	30.00'	68°29'20"
C10	39.45'	65.00'	34°46'32"
C11	29.10'	75.00'	22°13'49"
C12	27.75'	65.00'	24°27'49"
C13	31.11'	75.00'	23°46'05"
C14	19.01'	30.00'	36°18'10"
C15	6.45'	5.00'	73°52'21"
C16	9.40'	22.00'	24°28'34"
C17	96.40'	60.00'	92°03'17"

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C18	45.30'	75.00'	34°36'25"
C19	12.73'	5.00'	145°54'53"
C20	17.44'	20.00'	49°58'28"
C21	7.85'	5.00'	90°00'00"
C22	7.85'	5.00'	90°00'00"
C23	7.85'	5.00'	90°00'00"
C24	4.72'	6.00'	45°04'44"
C25	11.78'	15.00'	45°00'00"
C26	13.08'	15.00'	49°58'28"
C27	7.85'	5.00'	90°00'00"
C28	29.88'	25.00'	68°29'20"
C29	42.49'	70.00'	34°46'32"
C30	27.16'	70.00'	22°13'49"
C31	29.89'	70.00'	24°27'49"
C32	29.04'	70.00'	23°46'05"
C33	15.84'	25.00'	36°18'10"
C34	7.95'	5.04'	90°19'08"

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C35	9.95'	10.00'	57°00'28"
C36	15.04'	17.35'	49°40'57"
C37	13.04'	14.00'	53°21'53"
C38	18.63'	20.00'	53°21'53"
C39	8.22'	212.00'	2°13'14"
C40	65.07'	212.00'	17°35'07"
C41	64.13'	238.00'	15°26'15"
C42	26.37'	160.00'	9°26'40"
C43	24.40'	148.00'	9°26'40"
C44	67.36'	250.00'	15°26'15"
C45	68.21'	200.00'	19°32'22"
C46	7.85'	5.00'	90°00'10"
C47	12.94'	5.00'	148°14'03"
C48	7.85'	5.00'	90°00'00"
C49	10.83'	5.00'	124°05'07"

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S64°25'38"E	5.82'
L2	N68°26'39"E	25.62'
L3	N21°33'21"W	28.00'
L4	N68°26'39"E	36.00'
L5	S21°33'21"E	35.01'
L6	N23°26'39"E	2.58'
L7	N68°31'23"E	17.85'
L8	S17°30'14"W	76.37'
L9	N17°30'14"E	6.11'
L10	N16°34'53"W	5.55'
L11	N15°01'51"W	1.02'
L12	N64°25'38"W	5.80'
L13	S68°31'23"W	17.85'
L14	N17°30'14"E	16.48'

LINE TABLE		
LINE	DIRECTION	LENGTH
L15	S16°34'53"E	16.23'
L16	S66°33'21"E	9.05'
L17	S23°26'39"W	21.00'
L18	S66°33'21"E	30.00'
L19	N23°26'39"E	14.00'
L20	S66°33'21"E	1.79'
L21	S23°26'39"W	2.58'
L22	S68°26'39"W	50.89'
L23	N66°33'21"W	63.92'
L24	N16°34'53"W	71.49'
L25	N35°30'13"W	11.32'
L26	S35°30'13"E	10.78'
L27	N43°17'22"E	4.57'
L28	S84°31'01"E	8.91'

LINE TABLE		
LINE	DIRECTION	LENGTH
L29	N43°17'22"E	4.57'
L30	N1°29'26"W	22.83'
L31	N1°29'26"W	26.94'
L32	S71°45'12"E	10.60'
L33	N71°45'12"W	10.57'
L34	N73°25'07"E	21.00'
L35	S16°34'53"E	10.12'
L36	S73°25'07"W	9.23'
L37	S73°18'36"W	2.50'
L38	S16°41'24"E	7.00'
L39	S73°18'36"W	2.51'
L40	S16°34'53"E	6.64'

## BASIS OF BEARING:

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

## BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

## FLOOD ZONE:

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

## SITE NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION 2012 ADDITION (AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINT OF CONNECTION WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND LEGENDS PERSONNEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN EXISTING B.M.P. IMPROVEMENTS THAT ARE IN PLACE, AND SHALL PROVIDE AND MAINTAIN ADDITIONAL B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.
- THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, WASHOE COUNTY, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.

## LEGEND:

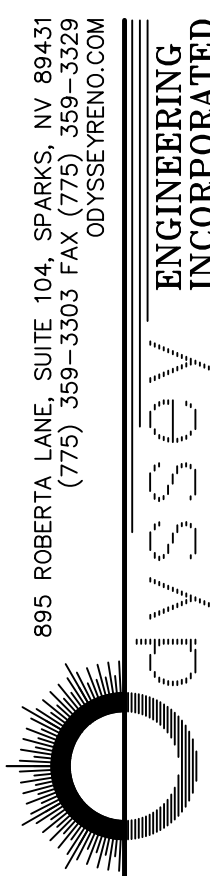
- EXISTING ASPHALT PAVING
- EXISTING PATH (TO REMAIN)
- GRAVEL PATH
- DG PATH (REF. LANDSCAPE PLANS)
- P.C.C. SIDEWALK (REF. DETAIL SHEET N-1)
- CURB AND GUTTER (DASHED IF EXISTING)
- POST CURB (DASHED IF EXISTING)
- MANHOLE (DASHED IF EXISTING)
- TYPE 4-R CATCH BASIN (DASHED IF EXISTING)
- TYPE 1 CATCH BASIN (DASHED IF EXISTING)
- TYPE 3 CATCH BASIN (DASHED IF EXISTING)
- EXISTING SITE LIGHT
- SAWCUT LINE

PERMIT SET

GALENA TERRACE PARK  
SITE PLAN

NEVADA

WASHOE COUNTY



SCALE  
HORIZ. 1"=20'  
VERT. ---  
JOB NO.  
3837  
SHEET  
S-1  
OF  
5



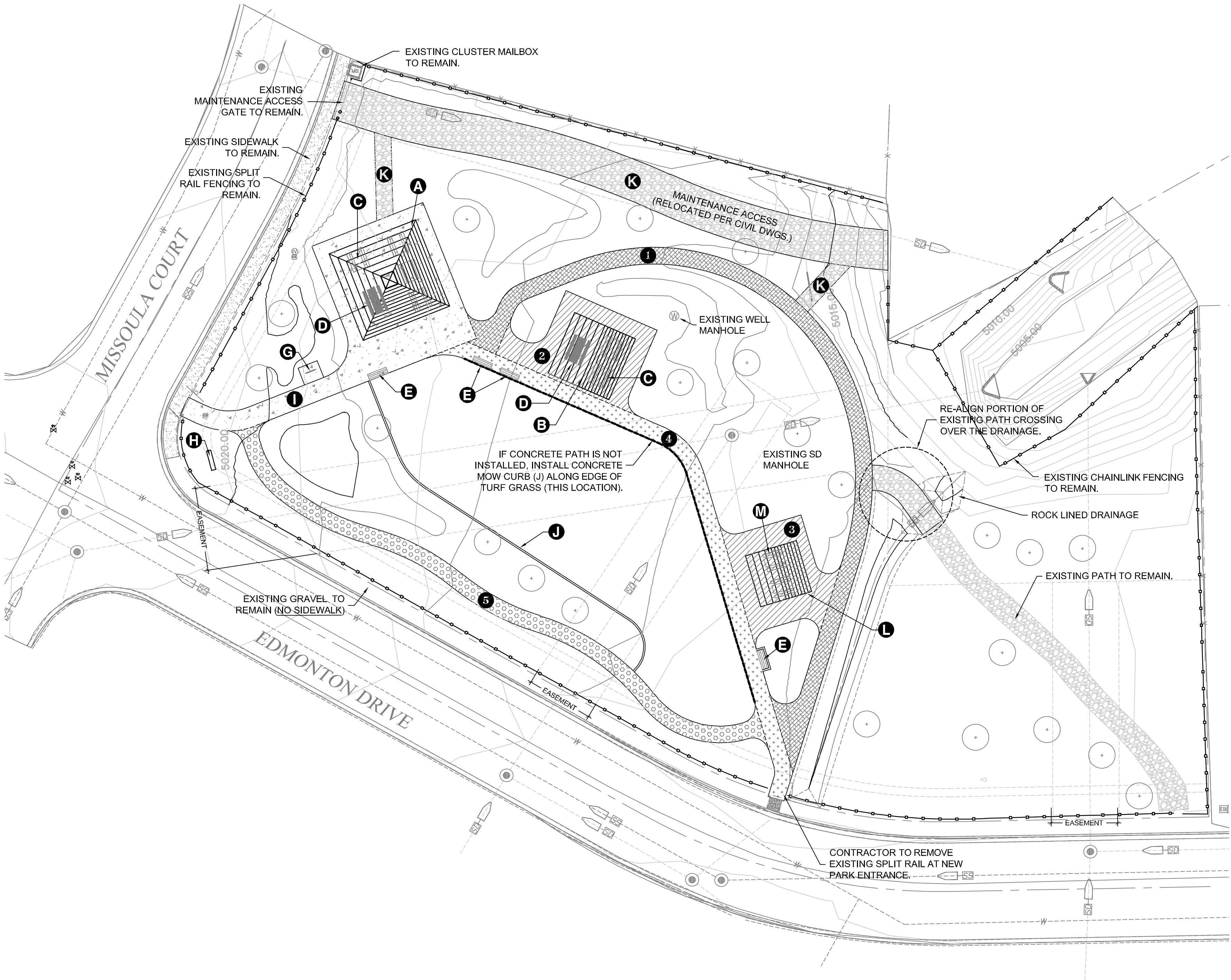
Know what's below.  
Call before you dig.



REFERENCE CHART				
SYM.	QTY.	DESCRIPTION	MFG/MODEL NUMBER	COLOR/PATTERN
A	1	SHADE STRUCTURE W/ (6) TABLES	RCP SHELTER MODEL #: AS-SQ28-06 28' X 28' ALL STEEL SQUARE SHELTER	FRAME: DARK GREEN, ROOF: LIGHT STONE
B	1	SHADE STRUCTURE W/ (4) TABLES	RCP SHELTER MODEL #: AS-SQ20-06 20' X 20' ALL STEEL SQUARE SHELTER	FRAME: DARK GREEN, ROOF: LIGHT STONE
C	6	STANDARD PICNIC TABLE	WABASH SIGNATURE SERIES 6' PORTABLE PICNIC TABLE WITH WABASH SURFACE MOUNT CLAMPS.	GREEN/PERFORATED
D	2	ADA ACCESSIBLE PICNIC TABLE	WABASH SIGNATURE SERIES 8' PORTABLE PICNIC TABLE WITH WABASH SURFACE MOUNT CLAMPS.	GREEN/PERFORATED
E	4	BENCH	WEBCOAT: MODEL B6WBMODCLASSPSM 6' METAL SURFACE MOUNT BENCH	GREEN/PERFORATED
F	--	NOT USED	--	--
G	1	BIKE RACK (5 BIKES)	PARK WAREHOUSE - CONTEMPORARY 3 - LOOP BIKE RACK - 2 3/8" OD ROUND TUBE. SURFACE MOUNT ON CONCRETE PAD.	GREEN
H	1	PARK MONUMENT SIGN	COUNTY SUPPLIED AND CONTRACTOR INSTALLED	--
I	1	CONCRETE SIDEWALK/PATH	SEE CIVIL SHEET N-1 FOR PCC SIDEWALK	--
J	1	CONCRETE MOW CURB	PER LANDSCAPE DETAILS	--
K	--	3/4" CRUSHED AGG. BASE	REUSE EXISTING AGG. BASE AS AVAILABLE. IMPORT AS NEEDED (DEPTH PER CIVIL).	--
L	1	ADD ALTERNATE #1 - SHADE STRUCTURE	RCP SHELTER MODEL #: AS-SQ16-06 16' X 16' ALL STEEL SQUARE SHELTER	FRAME: DARK GREEN, ROOF: LIGHT STONE
M	2	ADD ALTERNATE #1 - STANDARD PICNIC TABLE	WABASH SIGNATURE SERIES 6' PORTABLE PICNIC TABLE WITH WABASH SURFACE MOUNT CLAMPS.	GREEN/PERFORATED

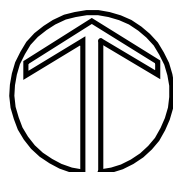
BID ALTERNATES		
SYM.	DESCRIPTION	DESCRIPTION
1	PATHWAY	BID ALTERNATE (1.1A): CONCRETE
		BID ALTERNATE (1.2A): DECOMPOSED GRANITE
2	20'X20' SHELTER	BID ALTERNATE (2.1A, 2.1B, 2.1C, 2.1D): PICNIC SHELTER, (2) STANDARD PICNIC TABLES, (1) ADA PICNIC TABLE, AND ASSOCIATED CONCRETE PAD.
		BID ALTERNATE (2.2A): DECOMPOSED GRANITE MULCH
3	16'X16' SHELTER	BID ALTERNATE (3.1A, 3.1B, 3.1C): PICNIC SHELTER, (2) STANDARD PICNIC TABLES, AND ASSOCIATED CONCRETE PAD.
		BID ALTERNATE (3.2A): DECOMPOSED GRANITE MULCH
4	PATHWAY	BID ALTERNATE (4.1A, 4.1B): CONCRETE PATHWAY W/ (3) BENCHES
		BID ALTERNATE (4.2A, 4.2B): DECOMPOSED GRANITE, ADD CONCRETE MOW CURB ALONG EDGE OF TURF GRASS, DELETE (3) BENCHES.
5	PATHWAY	BID ALTERNATE (5.1A): CONCRETE
		BID ALTERNATE (5.2A): DECOMPOSED GRANITE

 BASE BID PCC FLATWORK - ENTRY SIDEWALK AND PAD FOR 28'X28' SHELTER.



### GENERAL NOTES:

- CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND SITE AMENITIES PER MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS PER THESE PLANS AND CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN MANUFACTURER AND THESE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, ENGINEER AND WASHOE COUNTY.
- CONTRACTOR SHALL NOTE THAT THE SHADE STRUCTURE, FOOTINGS, SLAB DESIGN AND DETAILS SHALL BE PROVIDED BY THE CONTRACTOR AND/OR MANUFACTURER. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING PLANS TO WASHOE COUNTY COMMUNITY DEVELOPMENT TO OBTAIN A BUILDING PERMIT AND PAY ALL ASSOCIATED FEES. SEE CONTRACT DOCUMENTS FOR FURTHER DETAILS.



0' 20' 40' 60'  
Scale in Feet

PERMIT SET





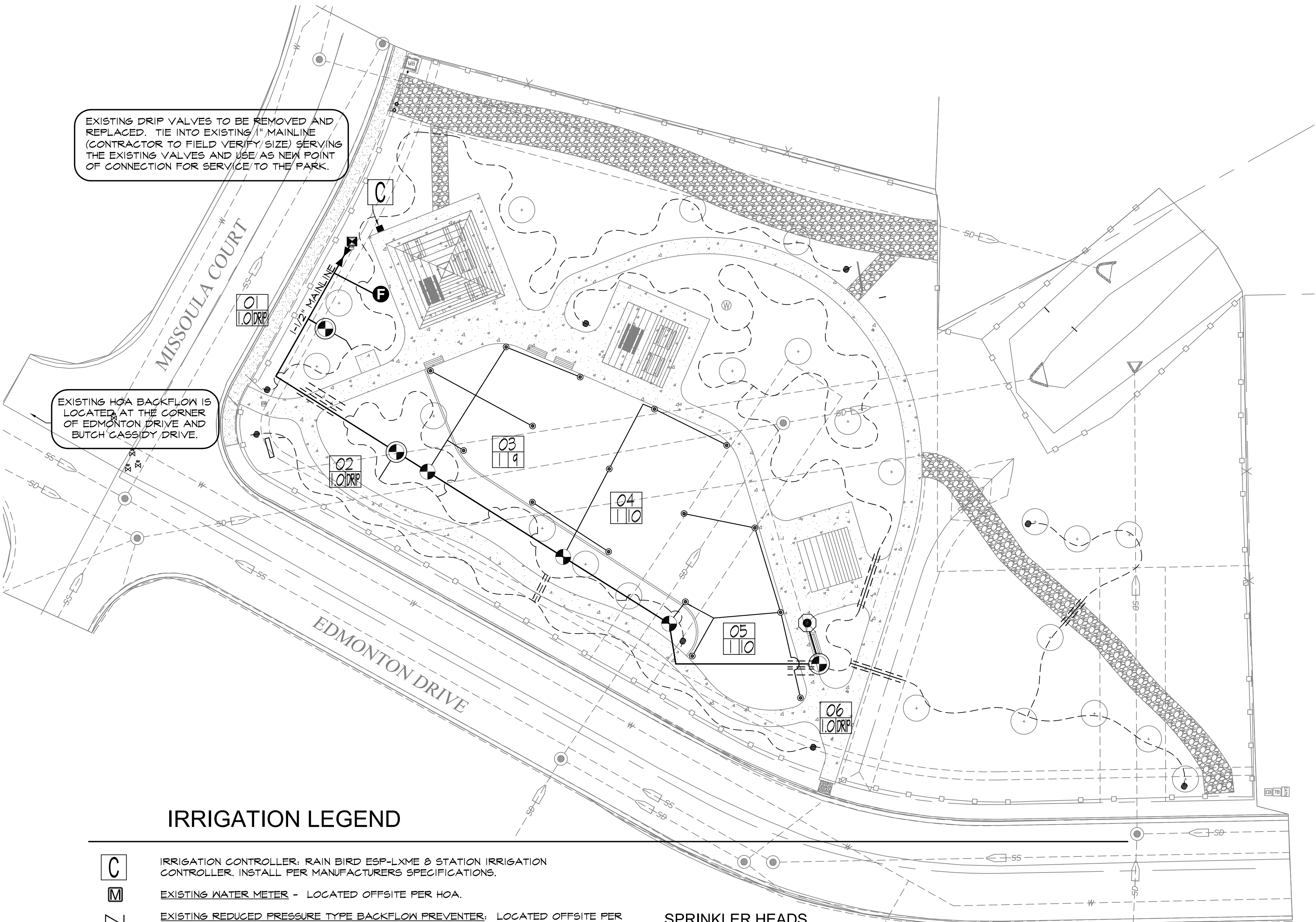




IRRIGATION SPECIFICATIONS

GENERAL

1. PLAN IS DIAGRAMMATIC ONLY. FINAL LOCATION OF LINES AND HEADS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE. LINES SHALL BE IN A COMMON TRENCH WHEREVER POSSIBLE. THE POINT-OF-CONNECTION SHALL BE AS INDICATED ON THE PLAN.
2. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND ENSURE THAT ALL LOCAL CODES ARE MET.
3. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF THE IRRIGATION SYSTEM AS DEPICTED ON THESE PLANS.
4. CONTRACTOR SHALL VERIFY AVAILABLE FLOW AND PRESSURE DOWNSTREAM FROM THE POINT-OF-CONNECTION PRIOR TO SYSTEM INSTALLATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF AVAILABLE FLOW IS LESS THAN REQUIRED TO RUN THE LARGEST ZONE. CONTRACTOR SHALL NOT PROCEED ANY FURTHER WITH INSTALLATION OF THE SYSTEM UNTIL NECESSARY DESIGN REVISIONS HAVE BEEN DETERMINED BY OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL NOT FULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR DIFFERENCES IN DIMENSIONS EXIST THAT MIGHT HAVE BEEN UNKNOWN DURING ENGINEERING. SUCH OBSTRUCTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO ADDITIONAL COST TO OWNER.
6. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
7. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SPRINKLER MATERIALS, INCLUDING PIPE, WITH THE LANDSCAPE DRAWINGS TO AVOID INTERFERING WITH THE PLANTING OF TREES, SHRUBS, OR OTHER PLANTINGS.
8. ALL VALVES ARE TO BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
9. ALL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE 12 GAUGE UL DIRECT BURIAL OR LARGER AS REQUIRED BY LENGTH PER MANUFACTURER'S SPECIFICATIONS.
10. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO THE UNDISTURBED ADJACENT SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, HUMPS, OR OTHER IRREGULARITIES.
11. A MINIMUM OF TWO WORKING DAYS PRIOR TO PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT AT 1-800-227-2600 FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRICAL CABLES, TELEPHONE CABLES, ETC.
12. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
13. INSTALL ALL PIPE AND CONTROL WIRES IN LANDSCAPE BEDS AND IN COMMON TRENCHES WHEREVER POSSIBLE.
14. INSTALL ALL PIPE AND CONTROL WIRE, WHICH RUNS UNDER PAVING, WITHIN SCH. 40 PVC SLEEVES 4" DIA. MINIMUM SIZE AS REQUIRED TO ALLOW INSTALLATION WITHOUT BINDING. PROVIDE (1) SLEEVE PER PIPE. PROVIDE SEPARATE SLEEVES FOR CONTROL WIRE.
15. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR COMPLETE DRAINAGE OF THE MAINLINES BY INSTALLING MANUAL DRAINS AS INDICATED ON PLAN AND AT ALL SYSTEM LOW POINTS.
- FLUSHING AND TESTING
16. PIPING SHALL BE COMPLETELY FLUSHED OF FOREIGN PARTICLES BEFORE ATTACHING IRRIGATION COMPONENTS AND DRAIN VALVES.
17. AFTER FLUSHING, AND WHEN ALL VALVES AND QUICK COUPLERS ARE IN PLACE, ALL MAIN SUPPLY LINES SHALL BE TESTED AT 100 POUNDS PER SQUARE INCH (100 PSI) WITH VALVES CLOSED. MAINTAIN PRESSURE FOR A PERIOD OF NOT LESS THAN (4) CONSECUTIVE HOURS. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED.
18. AFTER FLUSHING, LATERAL PIPES SHALL BE TESTED WITH RISERS CAPPED AND DRAIN VALVES CLOSED. THE TEST SHALL BE MADE AT MAXIMUM OPERATING PRESSURE FOR A PERIOD OF NOT LESS THAN (1) HOUR. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE PRIOR TO BACKFILLING OVER PIPING.
19. OPERATIONAL TESTING: PERFORM OPERATIONAL TESTING AFTER HYDROSTATIC TESTING IS COMPLETED. DEMONSTRATE TO THE OWNER'S REPRESENTATIVE THAT THE SYSTEM MEETS COVERAGE REQUIREMENTS (100%) AND THAT AUTOMATIC CONTROLS FUNCTION PROPERLY.
20. AFTER COMPLETION OF GRADING AND SOD PLACEMENT, CAREFULLY ADJUST SPRINKLER HEADS TO MEET HEIGHT INDICATED ON DRAWINGS.
- SUBMITTALS
21. MATERIALS LIST: WITHIN (15) DAYS AFTER AWARD OF CONTRACT, SUBMIT TO OWNER'S REPRESENTATIVE (3) COPIES OF A COMPLETE MATERIAL LIST (PARTIAL LIST NOT ACCEPTABLE) OF ALL MATERIALS TO BE USED ON THE PROJECT, SPECIFYING MANUFACTURER, GRADE, TRADE NAME, CATALOG NUMBER, SIZE, ETC. THIS SHALL IN NO WAY BE CONSTRUED AS ALLOWING A SUBSTITUTION FOR ANY ITEM SPECIFIED ON THE PLANS. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE MAY BE REJECTED AND THE CONTRACTOR REQUIRED TO REMOVE THE MATERIALS AT HIS OWN EXPENSE.
- INSTALLATION AND PERFORMANCE OF APPROVED SUBSTITUTIONS ARE THE CONTRACTORS RESPONSIBILITY. ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION MUST BE MADE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ADDITIONAL COST TO OWNER.
22. PRIOR TO SYSTEM INSTALLATION CONTRACTOR SHALL VERIFY AND SUBMIT TO OWNER'S REPRESENTATIVE IN WRITING, AVAILABLE FLOW AND PRESSURE AT POINT-OF-CONNECTION AS DESCRIBED IN SPECIFICATION #4 ABOVE.
23. COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION MATERIAL (CONTROLLER KEYS, ETC.) SHALL BE DELIVERED TO OWNER.
24. CONTRACTOR SHALL PREPARE AND ISSUE TO THE OWNER (AT COMPLETION OF THE INSTALLATION) AN ANNUAL CHART INDICATING LOCATION, OPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.
25. ASBUILT IRRIGATION DRAWINGS: CONTRACTOR SHALL FURNISH ASBUILTS OF THE COMPLETE IRRIGATION SYSTEM. PROCURE FROM OWNER'S REPRESENTATIVE DIGITAL COPIES OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON THE CONSTRUCTION SITE AT ALL TIMES WHILE THE IRRIGATION SYSTEM IS BEING INSTALLED. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK INSTALLED DURING EACH DAY. ACTUAL LOCATION OF VALVES AND ALL IRRIGATION AND DRAINAGE PIPING SHALL BE SHOWN ON THE PRINTS BY DIMENSIONS FROM EASILY IDENTIFIED PERMANENT FEATURES, SUCH AS BUILDINGS, CURBS, FENCES, WALKS OR PROPERTY LINES. DRAWINGS SHALL SHOW APPROVED MANUFACTURER'S NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE TO SCALE AND ALL INDICATIONS SHALL BE NEAT. ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY WAY. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE AT OR BEFORE FINAL ACCEPTANCE/APPROVAL OF THE PROJECT.
- GUARANTEE/FINAL ACCEPTANCE
26. CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. MANUFACTURER WARRANTIES SHALL ONLY EXCEED THIS GUARANTEE AND CONTRACTOR SHALL BE LIABLE FOR REPAIRS/REPLACEMENT OF FAILED MATERIAL/WORKMANSHIP.
- MAINTENANCE
27. AFTER SYSTEM IS INSTALLED AND APPROVED, INSTRUCT OWNER'S DESIGNATED PERSONNEL IN COMPLETE OPERATION AND MAINTENANCE PROCEDURES. DRAIN ENTIRE SYSTEM AT END OF FIRST WATERING SEASON FOLLOWING INSTALLATION. TRAIN OWNER'S DESIGNATED PERSONNEL BY HAVING THEM ASSIST IN WINTERIZING PROCEDURE.



IRRIGATION LEGEND

- C** IRRIGATION CONTROLLER: RAIN BIRD ESP-LXME 8 STATION IRRIGATION CONTROLLER. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- M** EXISTING WATER METER - LOCATED OFFSITE PER HOA.
- Z** EXISTING REDUCED PRESSURE TYPE BACKFLOW PREVENTER: LOCATED OFFSITE PER HOA.
- ⊕** MANUAL DRAIN VALVE: 3/4" CURB STOP VALVE. (MUELLER OR OAE) INSTALL AT ALL LOW POINTS ALONG MAINLINE
- ⌞** CURB STOP VALVE: MUELLER (OAE) FOR MAINLINE ISOLATION. SAME SIZE AS MAINLINE.
- ⦿** SPRAY VALVE: RAIN BIRD PESB (WITH PRS-D MODULE TO PREVENT MISTING IF NEEDED DUE TO HIGH PRESSURE).
- ⦿** DRIP VALVE ASSEMBLY: FLOWS UP TO 3 GPM INSTALL RAIN BIRD XGZ-LF-100-PRF LOW FLOW DRIP KIT. FLOWS FROM 3-20 GPM INSTALL RAIN BIRD XGZ-PRB-100-COM DRIP KIT.
- ⦿** QUICK COUPLER: RAIN BIRD 44-LRG. PROVIDE OWNER WITH TWO VALVE KEYS (RAIN BIRD 44-K).
- F** FREE-STANDING FREEZELESS YARD HYDRANT, MOODFORD MODEL R34 WITH DUCTILE HEAD AND HANDLE, ALL METAL CONSTRUCTION, AND TAMPERPROOF LOCK.
- # 01 1 8 GPM** VALVE I.D. - STATION #, VALVE SIZE, AND APPROX. G.P.M.
- MAINLINE: 1-1/2 INCH SCH. 40 PVC. INSTALL AT 24 INCH MINIMUM DEPTH. (NO STRADDLES) ALL MAINLINE FITTINGS SHALL BE SCH 80.
- LATERAL PIPES: SCH. 40 PVC LATERAL - SIZE PER CHART. INSTALL AT 18 INCH MINIMUM DEPTH.
- - - - -** DRIP DISTRIBUTION TUBING: 3/4" SALCO FLEXIBLE PVC TUBING IRRIGATION TUBING WITH REMOVABLE FLUSH CAP.
- =====** SLEEVES: ALL IRRIGATION SLEEVES UNDER STREETS AND DRIVEWAYS SHALL BE 4 INCH MINIMUM SCH. 40 PVC. SLEEVES FOR DRIP TUBING UNDER SIDEWALKS MAY BE 2 INCH MINIMUM SCH. 40. PROVIDE ONE SLEEVE PER PIPE AND ONE SLEEVE FOR WIRING.
- [ ]** VALVE BOXES (NOT SHOWN): ALL VALVES SHALL BE LOCATED IN RAIN BIRD PVB PROFESSIONAL SERIES VALVE BOXES PER DETAILS. NOTE: ANY BOXES LOCATED IN PAVED AREAS (IF NEEDED) SHALL BE TRAFFIC RATED CONCRETE.

SPRINKLER HEADS

CONTRACTOR SHALL SELECT SPECIFIC ARC AND NOZZLE AS REQUIRED FOR OPTIMUM SPRAY COVERAGE. VERIFY AVAILABLE FLOW AT PRESSURE AT THE NEW P.O.C. PRIOR TO THE START OF CONSTRUCTION. CONTACT PROJECT LANDSCAPE ARCHITECT FOR SYSTEM DESIGN REVISIONS IF AVAILABLE FLOW AND/OR PRESSURE IS LESS THAN MINIMUM REQUIRED TO EFFICIENTLY OPERATE THE HEADS AS SHOWN.

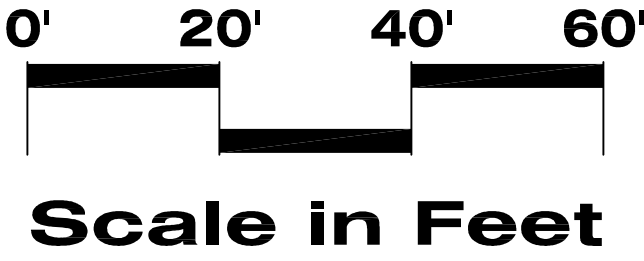
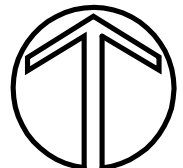
SYM	SPRINKLER HEAD DESCRIPTION
⦿	RAIN BIRD 5004 + FC R 55 - FULL:3.0 NOZZLE 36' RAD @ 2.26 GPM RAIN BIRD 5004 + FC R 55 - HALF:2.5 NOZZLE 35' RAD @ 1.80 GPM RAIN BIRD 5004 + FC R 55 - QUARTER:1.5 NOZZLE 33' RAD @ 1.12 GPM

IRRIGATION LATERAL PIPE SIZE CHART	
PIPE SIZE	FLOW RATE
3/4" SCH 40.....	1-8 GPM
1" SCH 40.....	9-11 GPM
1-1/4" SCH 40.....	12-22 GPM
1-1/2" SCH 40.....	23-30 GPM
2" SCH 40.....	31-50 GPM
2-1/2" SCH 40.....	51-70 GPM

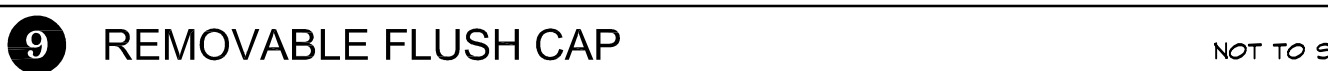
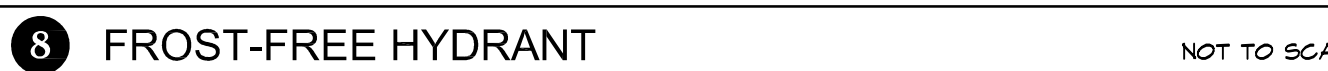
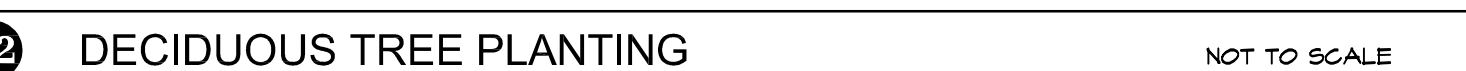
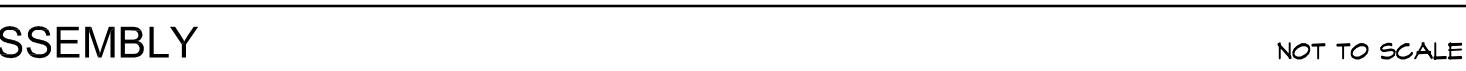
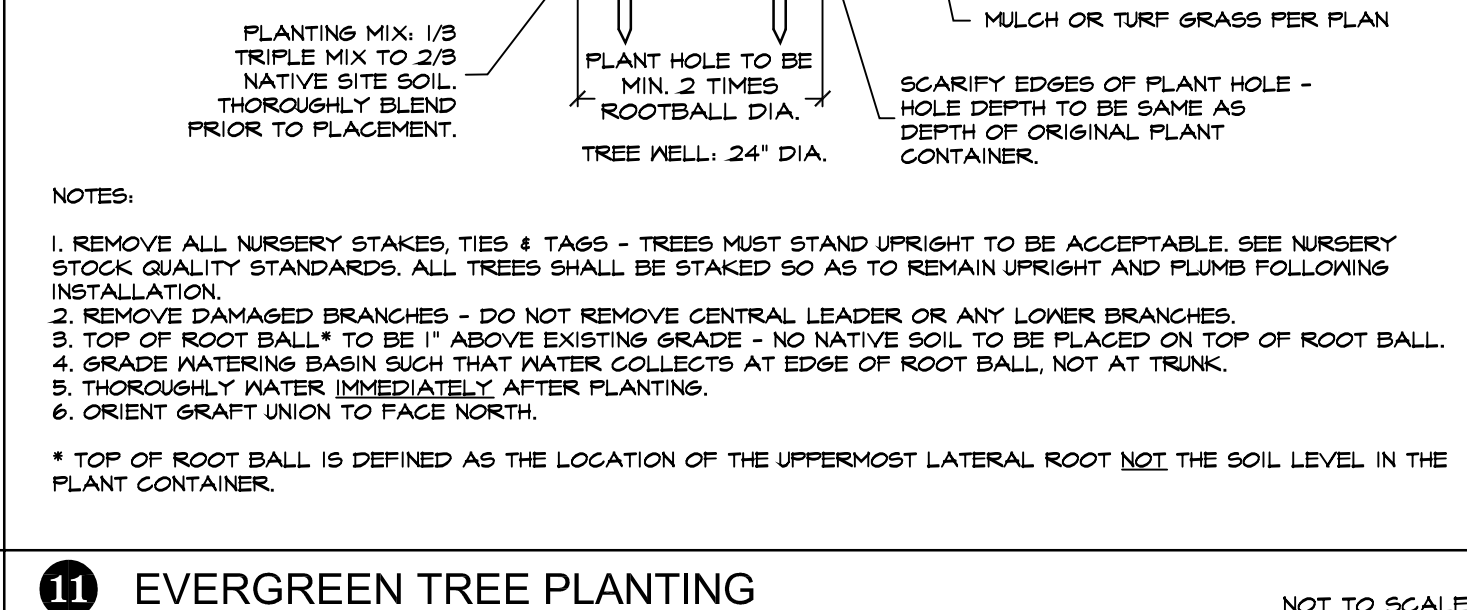
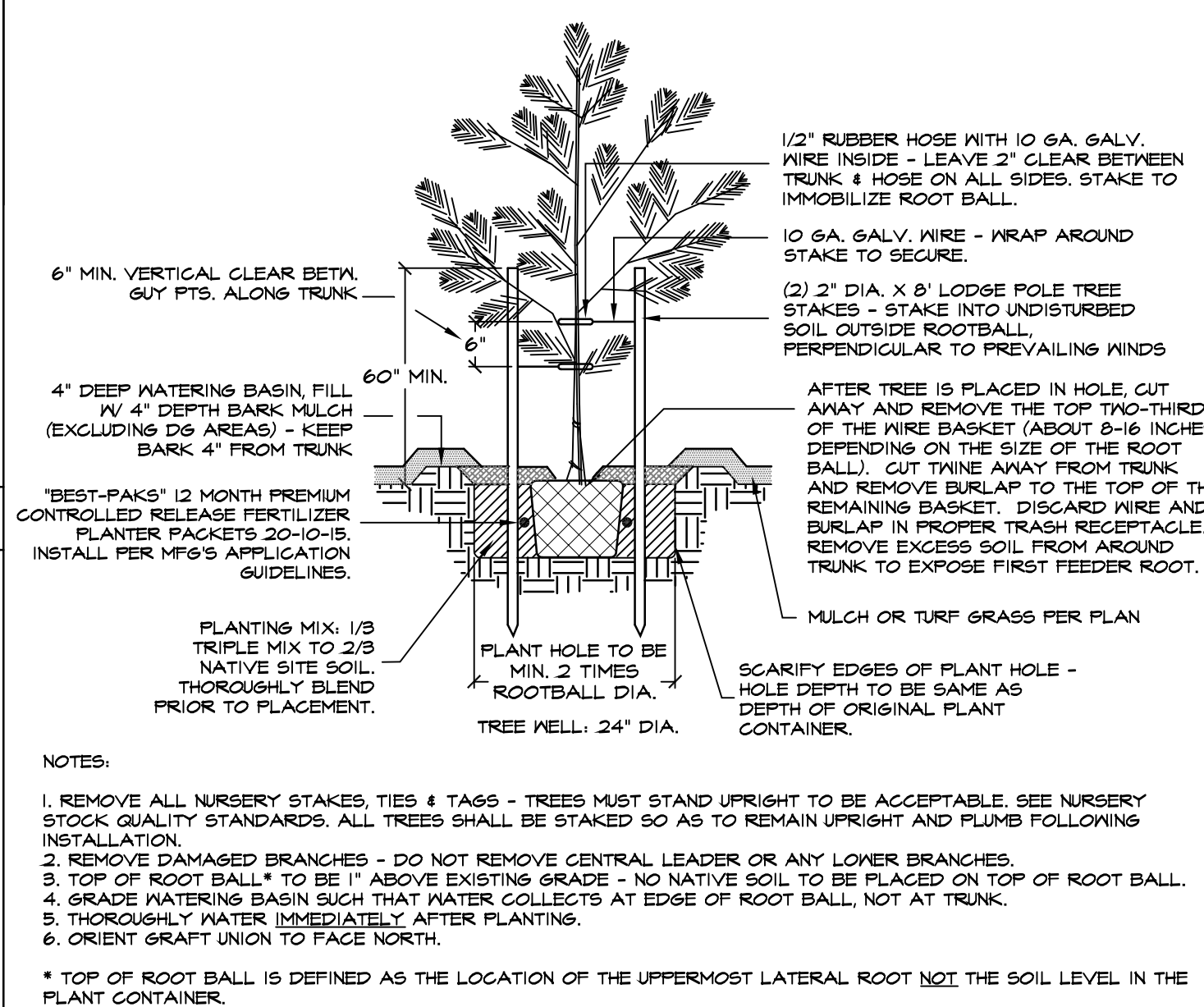
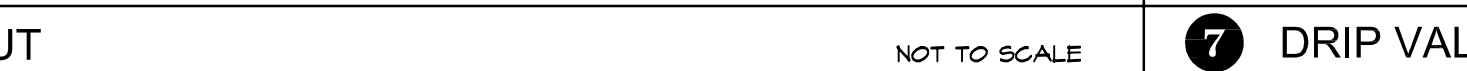
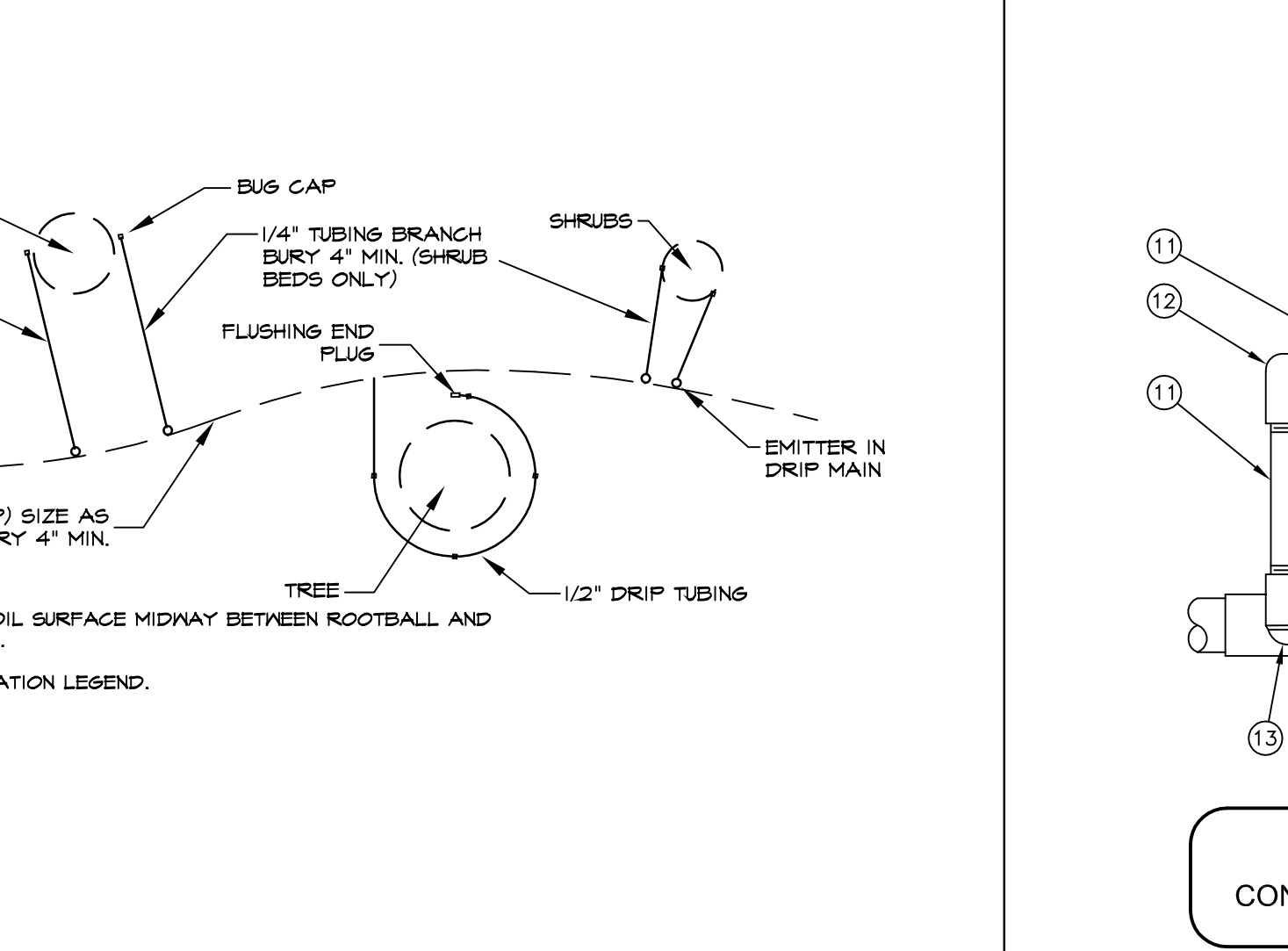
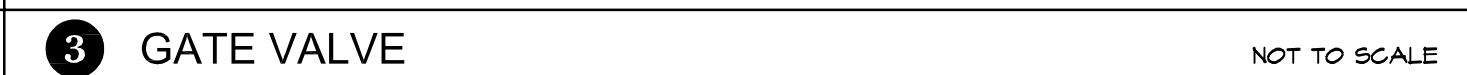
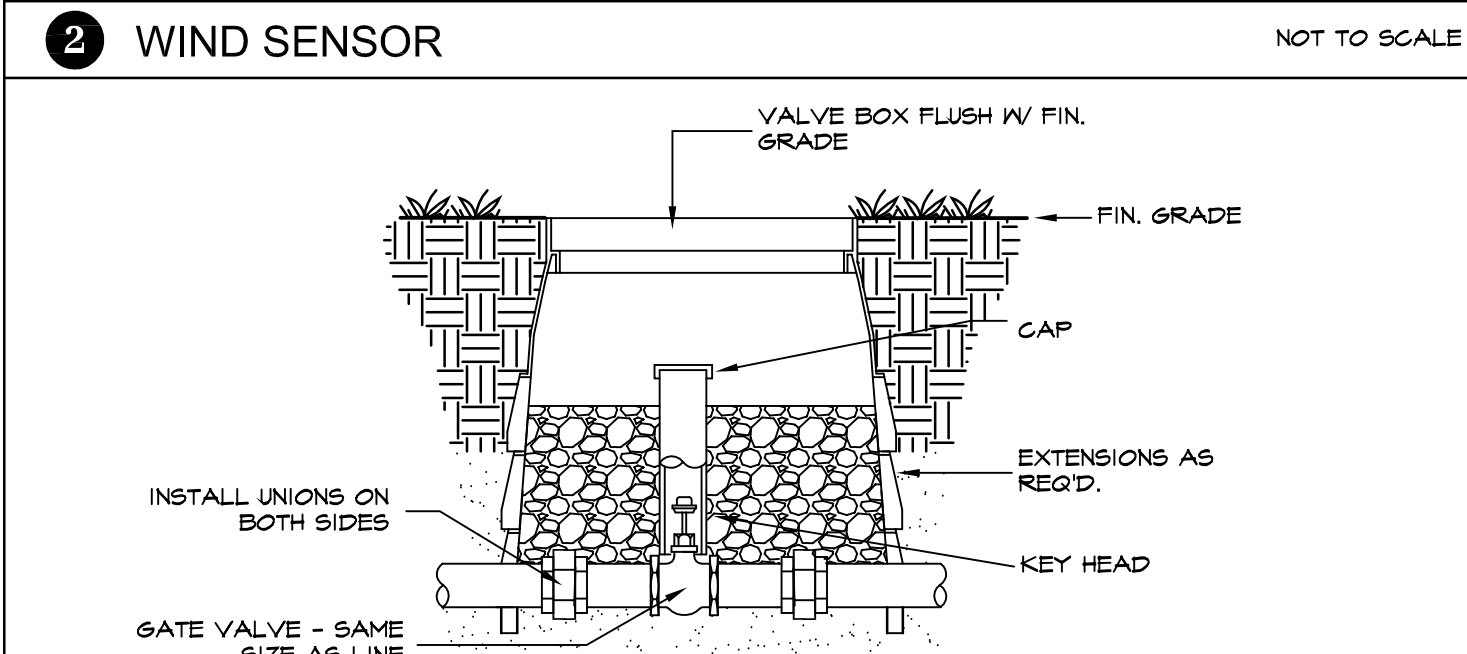
EMITTER SCHEDULE

- DECIDUOUS TREES: (6) SALCO 2 GPH PRESSURE COMPENSATING EMITTERS
- EVERGREEN TREES: (4) SALCO 2 GPH PRESSURE COMPENSATING EMITTERS
- #5 SHRUBS: (3) SALCO 1 GPH PRESSURE COMPENSATING EMITTERS
- (NEW) POINT OF CONNECTION: TIE INTO EXISTING 1" MAINLINE (CONTRACTOR TO FIELD VERIFY SIZE AND AVAILABLE PRESSURE)

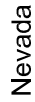
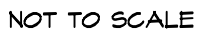
PERMIT SET









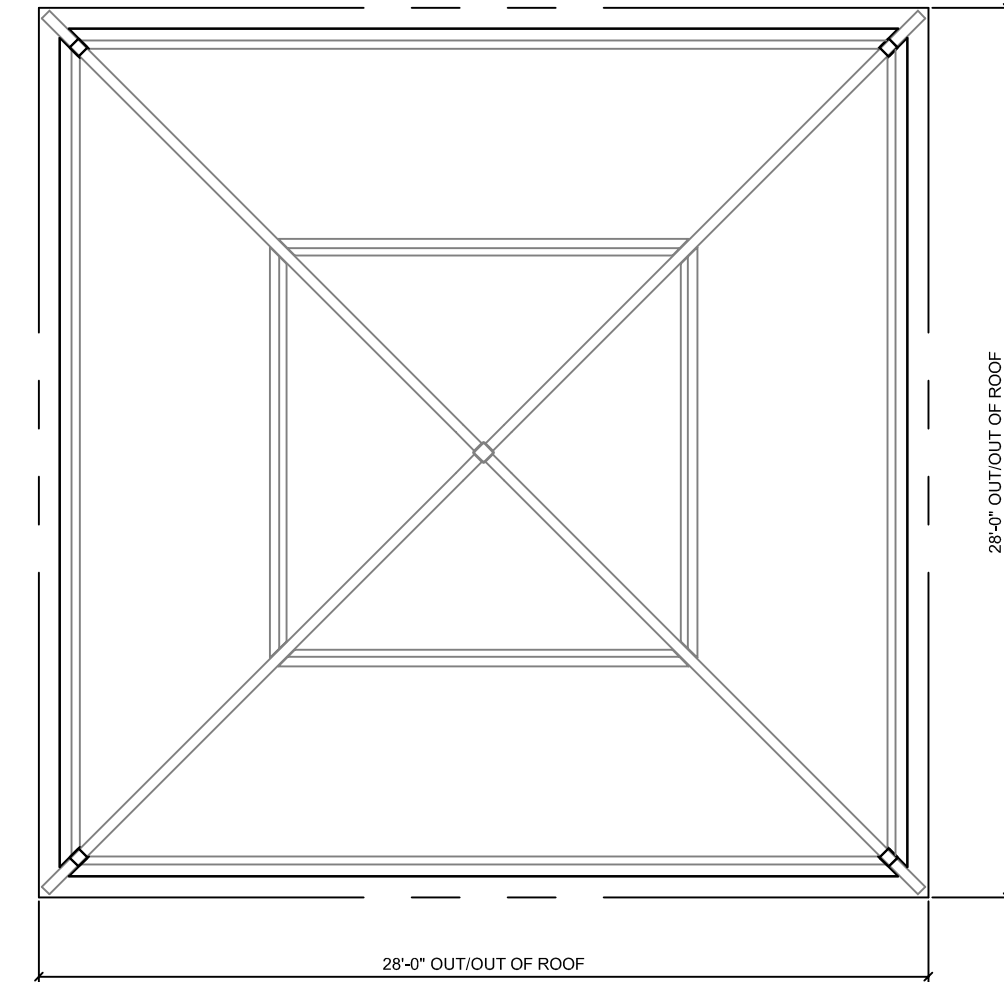


Washoe Co.

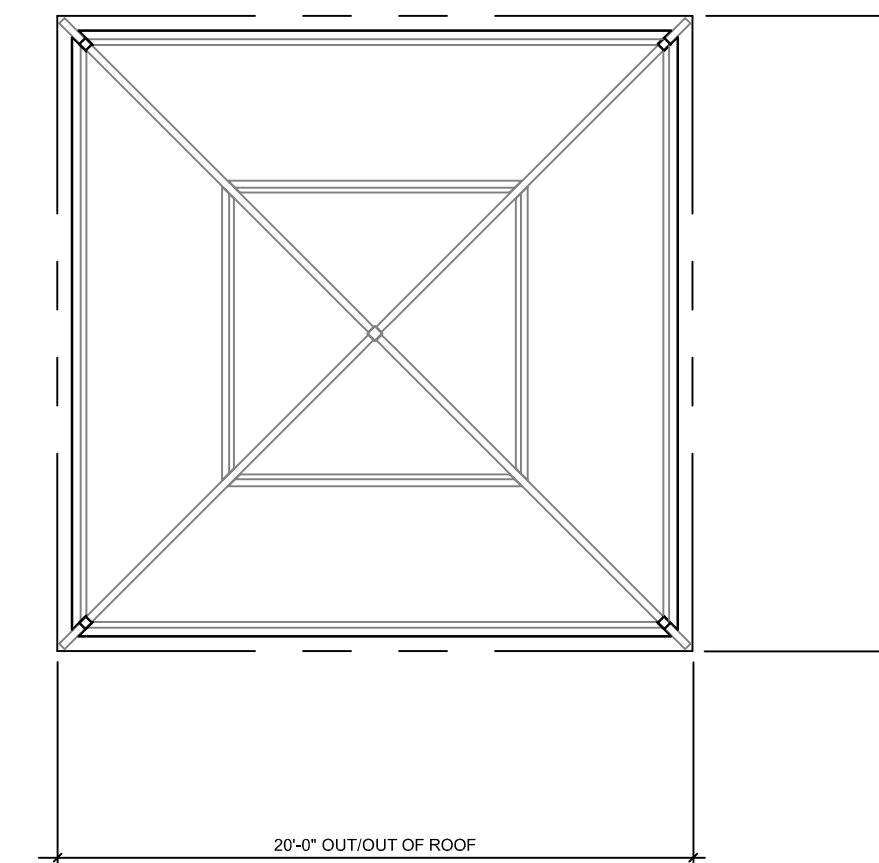




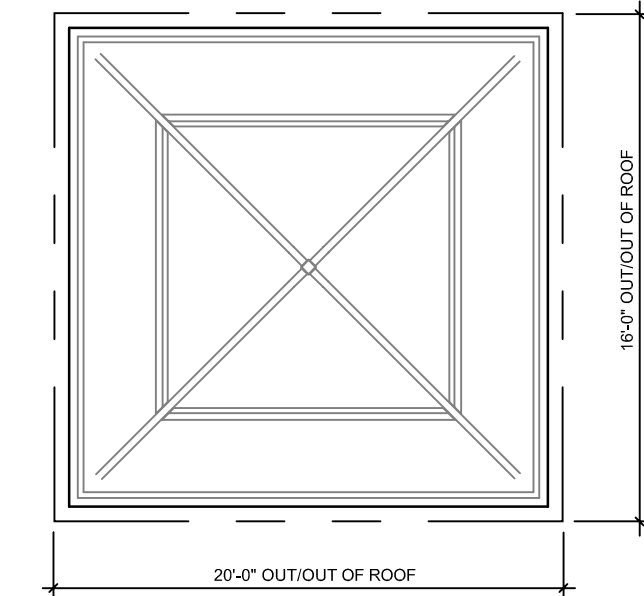
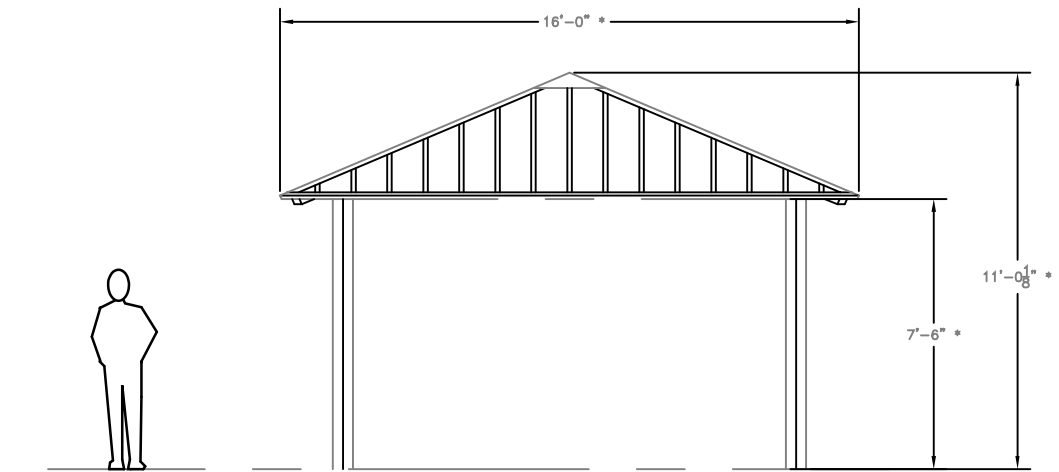
**Model #: AS-SQ20-06**  
20' x 20' ALL STEEL SQUARE SHELTER



AS-SQ28-06  
ROOF FRAMING PLAN



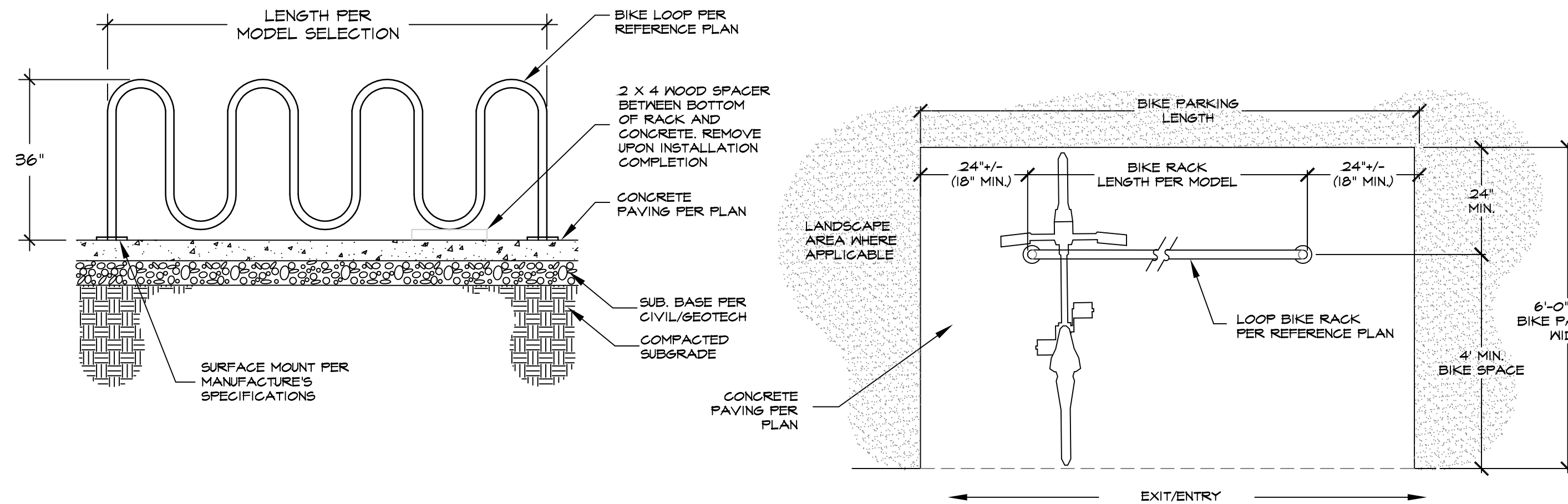
AS-SQ20-06  
ROOF FRAMING PLAN



AS-SQ20-06  
ROOF FRAMING PLAN

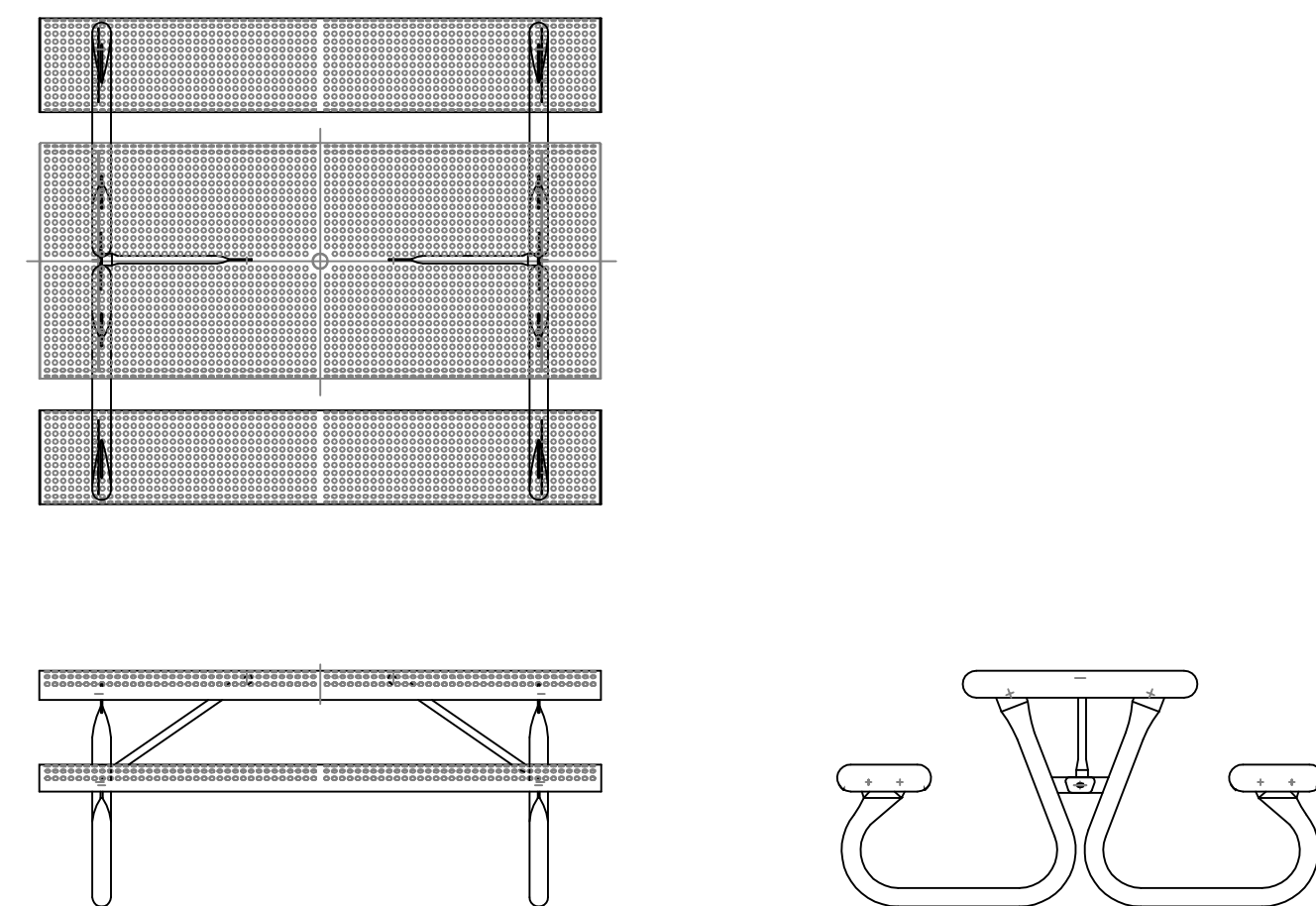
## 1 SHADE SHELTER

NOT TO SCALE



**3** 3 LOOP - 5 BIKE RACK

NOT TO SCALE

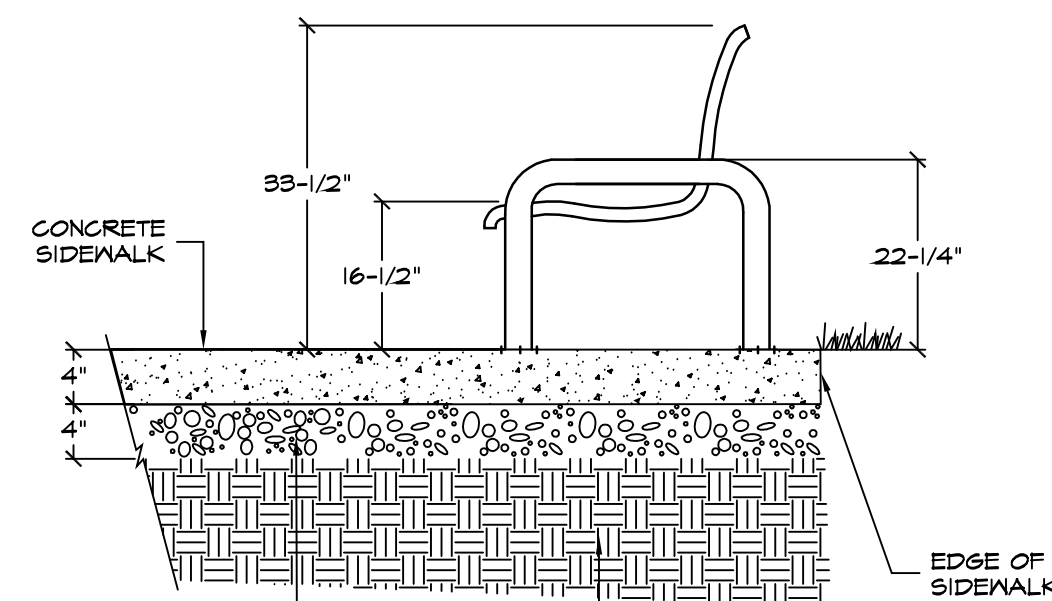


SEE REFERENCE PLAN (SHEET LI)  
FOR TABLE TYPES

INSTALL COMPLETE, PER  
MANUFACTURERS SPECIFICATIONS.

## 8 PORTABLE PICNIC TABLE

NOT TO SCALE



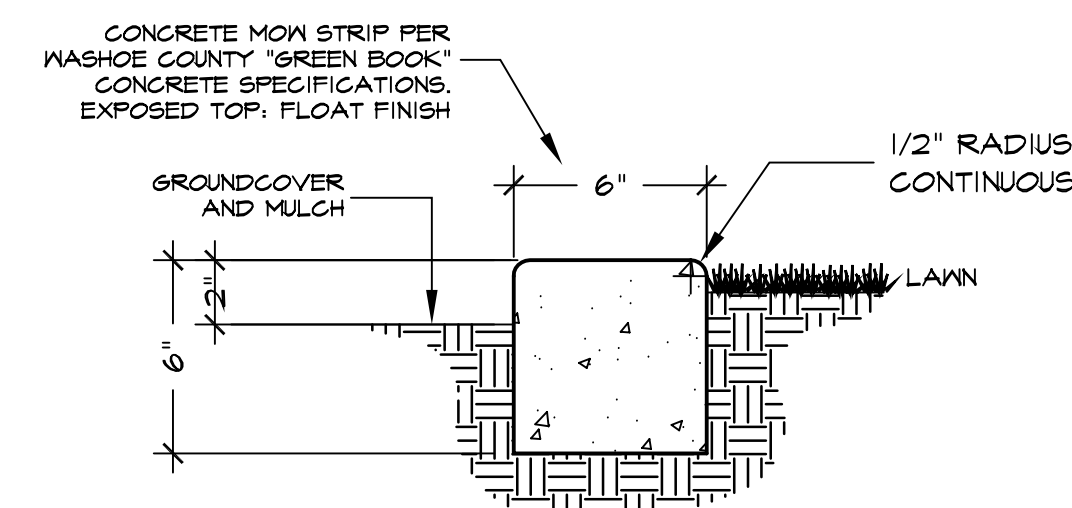
SURFACE MOUNT

WEBCOAT BENCHES: (2) B6WBMODGLASSPSM 6' CONTOURED  
BENCH SURFACE MOUNT.

COLOR: BLUE. INSTALL PER MFG'S SPECIFICATIONS.

### 9 6' BENCH SURFACE MOUNT DETAIL

NOT TO SCALE



WASHOE COUNTY "GREEN BOOK" CONCRETE SPECIFICATIONS;  
1) PROVIDE EXPANSION JOINTS 30' ON CENTER MAX. WEAKENED PLANE JOINTS AT 5' ON CENTER MAX.  
2) THE CONCRETE REINFORCEMENT SHALL CONSIST OF COLLATED, FIBRILLATED POLYPROPYLENE FIBERS AS MANUFACTURED BY FIBERMESH OR APPROVED EQUAL.  
3) ADD 1-1/2 LBS. FIBERMESH PER CUBIC YARD OF CONCRETE.  
4) CONSTRUCTION OF CONCRETE SHALL NOT BE DONE AT ANY SIZE OR TYPE OVER MOW STRIP UNTIL CONCRETE HAS ACHIEVED THE REQUIRED 28 DAYS DESIGN STRENGTH. THE CONTRACTOR SHALL PROTECT MOW STRIP UNTIL 28 DAYS.  
5) SUBGRADE SHALL BE DENSIFIED TO 90% RELATIVE COMPACTION (OR IN COMPLIANCE WITH GEOTECHNICAL REPORTS RECOMMENDATIONS).

#### 4 CONCRETE MOW STRIP

NOT TO SCALE



Nevada

**Park Amenities Details**  
**GALENA TERRACE PARK**  
Washoe County Community Services

Washoe Co.

Reno

[illegible]

Sheet

**L6**  
of  
**6**



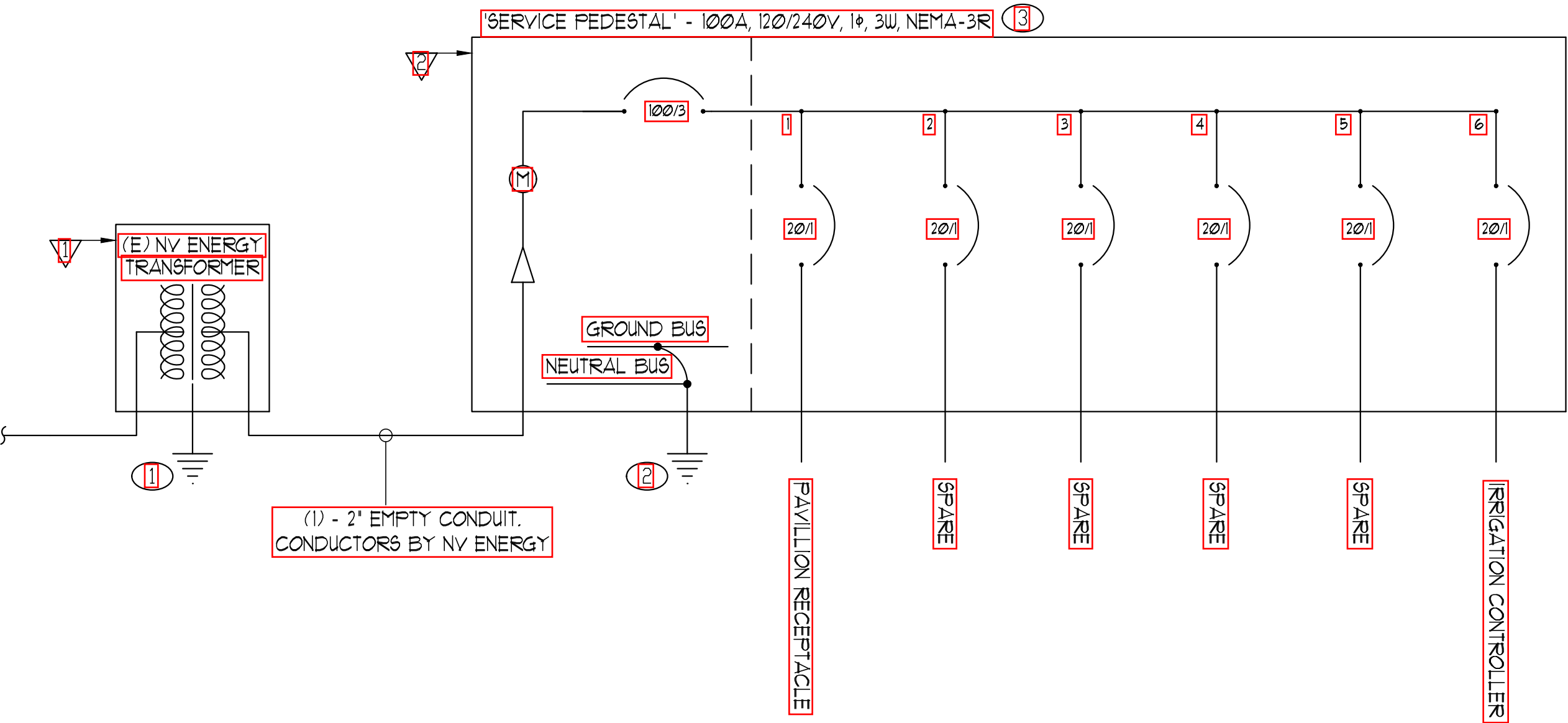
## PERMIT SET



ELECTRICAL SYMBOLS AND NOMENCLATURE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE-OUTLET RECEPTACLE		1-ø 1-POLE CIRCUIT PATH (1/2" CONDUIT, (2) - #12 CU UN) ABOVE FLOOR
	DOUBLE-OUTLET "DUPLEX" RECEPTACLE		1-ø 2-POLE CIRCUIT PATH (1/2" CONDUIT, (3) - #12 CU UN) ABOVE FLOOR
	THREE-PHASE (3ø) RECEPTACLE (CONFIGURATION AS NOTED)		3-ø 3-POLE CIRCUIT PATH (1/2" CONDUIT, (4) - #12 CU UN) ABOVE FLOOR
	QUADRUPLE-OUTLET "QUAD" RECEPTACLE		RETURN CIRCUIT TO PANEL "HOMERUN" (CIRCUIT AS NOTED) ABOVE FLOOR
	SPECIAL RECEPTACLE (VOLTAGE/CONFIGURATION AS NOTED)		1-ø 1-POLE CIRCUIT PATH (1/2" CONDUIT, (2) - #12 CU UN) BELOW FLOOR
	JUNCTION BOX		1-ø 2-POLE CIRCUIT PATH (1/2" CONDUIT, (3) - #12 CU UN) BELOW FLOOR
	THERMOSTAT		3-ø 3-POLE CIRCUIT PATH (1/2" CONDUIT, (4) - #12 CU UN) BELOW FLOOR
	FLOOR MOUNT RECEPTACLE		CODE SIZE GROUND BONDING CONDUCTOR PER N.E.C. TABLE 250-95
	SAFETY DISCONNECT SWITCH (SIZE/VOLTAGE/CONFIGURATION AS NOTED)		NEUTRAL CONDUCTOR: #12 THHN
	COMBINATION SAFETY SWITCH/MAGNETIC STARTER		RETURN CIRCUIT TO PANEL "HOMERUN" (CIRCUIT AS NOTED) BELOW FLOOR
	TELEPHONE/DATA JUNCTION BACKBOX # 3/4" EMPTY CONDUIT INTO ACCESSIBLE CEILING SPACE		CIRCUIT BREAKER (AMPS/POLES AS NOTED)
	SINGLE-POLE TOGGLE SWITCH (VOLTAGE AS REQUIRED)		FUSE (AMPS/POLES AS NOTED)
	MULTI-STATION "THREE-WAY" TOGGLE SWITCH (VOLTAGE AS REQUIRED)		EQUIPMENT NOTE INDICATOR
	SOLID STATE DIMMING SWITCH (VOLTAGE AS REQUIRED)		REVISION "DELTA" NOTE INDICATOR
	MOTOR-RATED TOGGLE SWITCH (VOLTAGE AS REQUIRED)		FEEDER NOTE INDICATOR
	KEYED TOGGLE SWITCH (VOLTAGE AS REQUIRED)		48" MOUNTING HEIGHT AFF. (ACTUAL HEIGHT AS NOTED)
	OCCUPANCY SENSING (MOTION SENSOR) SWITCH		ABOVE FINISHED FLOOR
	CABLE TELEVISION OUTLET		ABOVE FINISHED GRADE
	PANELBOARD (NAME/AMP/PHASE/VOLTAGE/CONFIGURATION AS NOTED)		AUTOMATIC TRANSFER SWITCH
	AUXILIARY SYSTEM EQUIPMENT (KEYPAD/FOB)		CONDUIT
	MULTI-OUTLET ASSEMBLY (PLUG MOLD)		CIRCUIT BREAKER
	TRANSFORMER (NAME/KVA RATING/PHASE/VOLTAGE AS NOTED)		CEILING
	MECHANICAL EQUIPMENT INDICATOR		NEW
	PHOTO ELECTRIC CELL		EXISTING
	TIME CLOCK		RELOCATE (AS SHOWN)
	DUCT DETECTOR FIRE ALARM SYSTEM COMPONENT		FUTURE
	SMOKE DETECTOR FIRE ALARM SYSTEM COMPONENT		FIRE ALARM CONTROL PANEL
	HEAT DETECTOR FIRE ALARM SYSTEM COMPONENT		FURNISHED BY OTHERS
	CONTACTOR		GROUND FAULT INTERRUPTING TYPE
	FLOW SWITCH FIRE ALARM SYSTEM COMPONENT		HIGH INTENSITY DISCHARGE
	TAMPER SWITCH FIRE ALARM SYSTEM COMPONENT		LIGHTING
	HORN/STROBE COMBINATION FIRE ALARM SYSTEM COMPONENT		LOW VOLTAGE
	MANUAL PULL STATION		MAIN CIRCUIT BREAKER
	SHUNT TRIP STATION		MAIN SWITCH BOARD
	MOTOR (HORSEPOWER AS NOTED)		NIGHT LIGHT
	DETAIL/SHEET NOTE INDICATOR		TYPICAL
	SHEET NOTE INDICATOR		UNDER GROUND
	SHEET/EQUIPMENT NOTE INDICATOR		UNLESS OTHERWISE NOTED
			WEATHER PROOF
			TRANSFORMER

GENERAL ELECTRICAL NOTES:

1. IT IS THE INTENT OF THESE DRAWINGS TO REQUIRE A COMPLETE AND FINISHED ELECTRICAL SYSTEM IN EVERY WAY. FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.
2. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY AND LOCAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT STANDARDS, CODES AND PRACTICES AS REQUIRED BY: 2011 NEC, 2012 IBC, 2012 IECC AND UTILITY COMPANY STANDARDS.
3. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AT THE PROJECT SITE, PRIOR TO SUBMITTING A BID. NO EXTRA PAYMENT WILL BE MADE FOR CONDITIONS THAT WOULD HAVE BEEN EVIDENT DURING A SITE INSPECTION. PAYMENT WILL BE MADE FOR CONDITIONS THAT WOULD HAVE BEEN EVIDENT DURING A SITE INSPECTION.
4. APPEARANCE AND WORKMANSHIP SHALL BE OF THE HIGHEST STANDARDS OF QUALITY. ONLY LICENSED ELECTRICIANS AND TECHNICIANS SHALL BE USED TO ACCOMPLISH THE ELECTRICAL WORK.
5. ELECTRICAL CONTRACTOR SHALL GUARANTEE THE ELECTRICAL WORK TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. LIGHTING LAMPS SHALL BE EXEMPT FROM THIS REQUIREMENT BUT SHALL BE NEW AND IN PERFECT WORKING ORDER AT THE TIME OF FINAL ACCEPTANCE.
6. VERIFY THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT AND OUTLETS PRIOR TO ROUGHING-IN. FINAL CONNECTIONS TO EQUIPMENT SHALL BE MADE ACCORDING TO THE EQUIPMENT MANUFACTURERS APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE A NEAT AND COMPLETE SET OF "AS-BUILT" DRAWINGS WITHIN 30 DAYS OF FINAL ACCEPTANCE OF HIS WORK.
8. CONDUIT/CONDUCTOR RUNS SHOWN ARE DIAGRAMMATICAL ONLY. THE BEST FINAL CONDUIT ROUTING SHALL BE AS DETERMINED BY THE ELECTRICAL CONTRACTOR AT THE TIME OF INSTALLATION.
9. ALL CONDUCTORS SHALL BE COPPER TYPE THHN/THWN 90° C. RATED.



SINGLE-LINE DIAGRAM

NOT TO SCALE

NOTES: (SINGLE-LINE DIAGRAM, ONLY)

- (1) EXISTING NV ENERGY TRANSFORMER SECONDARY GROUND ROD.
- (2) GROUND MAIN ELECTRICAL SERVICE PER NEC ARTICLE 250-C INCLUDING:  
1. 30' - #3/0 CU CONCRETE ENCASED "UFER" GROUNDING ELECTRODE.  
2. #3/0 CU CONNECTION TO EACH METAL PIPING SYSTEM.  
3. #3/0 CU CONNECTION TO BUILDING STRUCTURAL STEEL.  
4. #6 CONNECTION TO THE TELEPHONE TERMINAL CABINET.  
5. #3/0 CU MINIMUM MAIN BONDING JUMPER.
- (3) TESCO CONTROLS - TESCOFLEX SINGLE METER SERVICE UTILITY PEDESTAL - #4-200 OR APPROVED EQUIVALENT ELECTRICAL SERVICE PEDESTAL. 100A MAIN CIRCUIT BREAKER, 120/240V, 1ø, 3W, N3R ENCLOSED MODULAR METERMAIN SERVICE PEDESTAL. PROVIDE AND INSTALL COMPLETE WITH INTEGRAL 12 CIRCUIT PANEL ("SP1") AND IRRIGATION CONTROLLER.

"SP-1" SCHEDULE			
POSITION NO.	LOAD DESCRIPTION	BREAKER SIZE	LOAD KVA
SP - 1	PAVILLION LIGHT	20/1	0.25
SP - 2	SPARE	20/1	0.00
SP - 3	SPARE	20/1	0.00
SP - 4	SPARE	20/1	0.00
SP - 5	SPARE	20/1	0.00
SP - 6	IRRIGATION CONT.	20/1	0.25
TOTAL KVA =			0.50
ø 240V 1ø =			2.00 AMPERES

EQUIPMENT SCHEDULE		
EQP. NO.	EQUIPMENT DESCRIPTION	NOTES
1	(E) NV ENERGY TRANSFORMER	COORDINATE WITH NV ENERGY
2	(N) SERVICE PEDESTAL "SP" - 100A, 120/240V, 1ø, 3W, N3R	TESCO

REVISONS	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

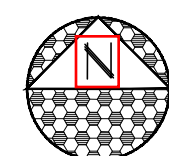
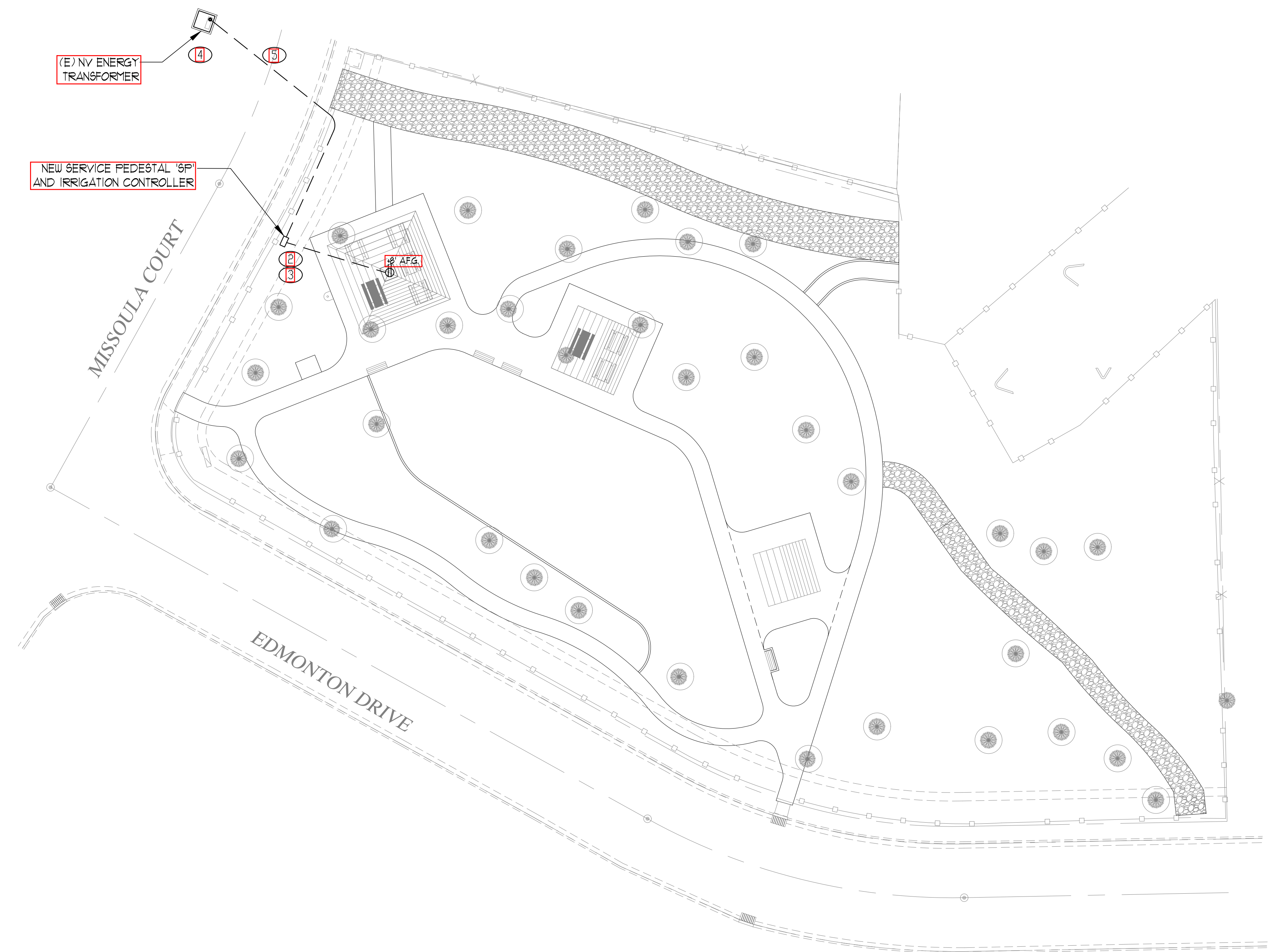
DRAWN BY:	TAS
DESIGNED BY:	TAS
CHECKED:	GGJ
DATE:	6-29-17
PROJECT NO:	C122XV

SHEET NUMBER

E1.0

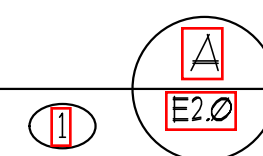
SHEET 1 OF 2





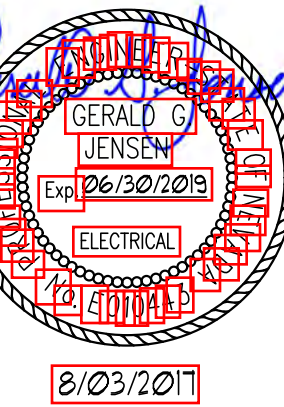
## SITE ELECTRICAL PLAN

SCALE: 1" = 20'-0"



### NOTES: (THIS SHEET ONLY)

- ELECTRICAL CONTRACTOR SHALL COORDINATE THE ELECTRICAL SERVICE WORK WITH THE SERVING UTILITY CO (NV ENERGY) AND SHALL PROVIDE AND INSTALL ALL NECESSARY UTILITY INFRASTRUCTURE AS DETAILED BY UTILITY COMPANY WORK ORDER DRAWINGS.
- PROVIDE AND INSTALL ELECTRICAL SERVICE AND EQUIPMENT COMPLETE INCLUDING 36" X 36" X 10" STEEL REINFORCED CONCRETE MOUNTING BASE AND ANCHOR BOLTS. VERIFY EXACT LOCATION OF ELECTRICAL EQUIPMENT AND IRRIGATION CONTROLLER WITH OWNER AND LANDSCAPE ARCHITECT PRIOR TO ROUGH IN.
- PROVIDE AND INSTALL (2) - 1" CONDUIT STUB-OUTS FROM ELECTRICAL COMPARTMENT (OF PEDESTAL) FOR FUTURE ELECTRICAL LOADS. PROVIDE AND INSTALL (2) - 2" CONDUIT STUB-OUTS FROM IRRIGATION CLOCK COMPARTMENT (OF PEDESTAL) FOR IRRIGATION WIRING. COORDINATE WITH LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK.
- COORDINATE WITH HOME OWNER TO INSTALL CONDUIT WITHIN UTILITY EASEMENT. REPLACE ANY EXISTING LANDSCAPING DURING EXCAVATION.
- CUT, PATCH, AND REPLACE EXISTING ROAD AND SIDEWALK AS NECESSARY.



## ELECTRICAL PLANS FOR GALENA TERRACE PARK

### SITE ELECTRICAL PLAN

REVISIO	NO.	DESCRIPTION	DATE	BY
	1			TAS
	2			TAS
	3			GGJ
	4			
	5			

DRAWN BY: TAS  
DESIGNED BY: TAS  
CHECKED: GGJ  
DATE: 6-29-17  
PROJECT NO: C122XV

SHEET NUMBER

E2.0

SHEET 2 OF 2



# GALENA TERRACE MAINTENANCE ASSOCIATION

## LANDSCAPE MAINTENANCE

Galena Terrace Maintenance Association (GTMA) agrees to furnish all labor, supervision, tools, materials, and equipment necessary to maintain Galena Terrace Park (Park). GTMA shall maintain the Park in accordance with the following specifications and conditions which adhere to and in most cases exceed HOA maintenance specification.

### GROWING SEASON

(Starting first week of April through October, weather permitting)

#### 1. TREES, SHRUBS, AND VINES

**GTMA shall** prune and trim trees, shrubs, and vines on a regular basis to maintain a neat appearance and promote healthy growth.

#### 2. MOWING & SPRINKLER

**GTMA shall** mow all park lawns on a weekly basis through the growing season so as to maintain a neat appearance and to promote healthy growth. GTMA shall edge grass around trees, sprinklers, fences, lights, curbs, etc. After mowing and edging, GTMA shall remove all clippings from sidewalks, driveways, and curbs. GTMA shall check sprinkler weekly.

#### 3. THATCHING

**GTMA shall** thatch and aerate lawn area at least once annually.

#### 4. QUALITY FERTILIZER AND SOIL AMENDMENTS

**GTMA shall** fertilize the lawns four (4) times per year to maintain healthy growth and two (2) times a year to shrubs and trees. Application shall be determined by the time of the year, soils, type and condition of lawns and plantings. GTMA shall use quality fertilizers and soil amendment.

#### 5. PARK MAINTENANCE

- **GTMA shall** remove leaves, dead branches, weeds, animal feces, etc. as needed,;
- **GTMA shall** maintain dog posts (once installed) by keeping disposal bags supplied and emptying waste receptacles as needed;
- **GTMA shall** walk the entire area weekly checking for maintenance needs and issues requiring attention.
- **GTMA shall** apply quality weed control application to weeds as needed.
- **GTMA shall** remove trash, paper plastic/bottles, and other debris from the common area as needed.

### DORMANT SEASON

(Starting first week of November through March, depending upon weather)



# GALENA TERRACE MAINTENANCE ASSOCIATION

## LANDSCAPE MAINTENANCE

### 6. SNOW AND ICE REMOVAL

- **GTMA shall** clear snow and ice from Park sidewalks after 2 inches of snow accumulation.
- **GTMA shall** apply appropriate ice remover to keep sidewalks open and safe for Park users. GTMA shall use ice remover that shall not deteriorate or damage concrete sidewalks, curbing's, or gutters. GTMA shall be responsible for repairing any and all damage caused by applying the wrong ice remover or applying ice remover incorrectly.