MAINTENANCE AND CONSTRUCTION AGREEMENT FOR THE GALENA TERRACE PARK

This Maintenance and	Construction Ag	reement is mad	de and entered int	to this
day of	, 2018, by a	and between W	ashoe County, a	political
subdivision of the Stat	e of Nevada, acti	ng by and thro	ugh its Communi	ty Services
Department, hereafter	called "County"	and Galena Te	rrace Maintenanc	e Association, Inc.
a Nevada Domestic No	onprofit Corporat	tion ("Galena T	Terrace Maintenar	nce Association").
In consideration of the	terms and condit	tions hereof, th	le parties agree as	follows:

WITNESSETH:

Galena Terrace Maintenance Association is the current owner of real property located in Washoe County, Nevada, known as Parcel "A" within Galena Terrace Unit 10 subdivision map (FM No. 3712, currently Assessor's Parcel Number 144-180-01) and described in Exhibit "A" attached hereto and incorporated herein by reference ("Galena Terrace Park");

Nevada Revised Statutes NRS 278.4983 is a law relating to the residential construction tax (the "RCT"), providing the manner for its imposition, establishing its use and setting its rate at one percent (1%) of the valuation of each building permit issued, or \$1,000 per residential dwelling unit or mobile home, whichever is less, and providing other matters properly relating thereto;

Washoe County, has adopted by ordinance a residential construction tax, Washoe County Code Sections 20.435 to 20.467 pursuant to NRS 278.4983, to impose a tax upon the construction of apartment houses, residential dwelling units and mobile-home lots, as well as a method for its collection. The Project will be funded entirely by RCT, as compliant with Nevada Revised Statutes;

Washoe County has collected RCT funds from the development of the Galena Terrace Subdivision, located within Park District 1C. for the development of the real property as a park;

Galena Terrace Maintenance Association, is to assume the maintenance and liability of Galena Terrace Park, while County agrees to contribute staff and funding from RCT to plan, develop and construct Galena Terrace Park;

The parties agree on the following terms and conditions:

1. CONSTRUCTION

- 1.1 The County shall solicit competitive bids for the construction of Galena Terrace Park compliant with Nevada Revised Statues. The County intends to award the bid to the lowest responsive, complete and qualified bidder. Once the bids are received and certified, they will be presented to the Board of County Commissioners for consideration and possible approval.
- 1.2 The County shall be responsible for executing a separate construction agreement with the awarded bidder. All contractors hired for the purposes of constructing the Project shall meet the standard County indemnification and insurance requirements, including the addition of GTMA and Washoe County as named as additional insured and provide waiver of subrogation and shall provide proof to parties of said coverage prior to the beginning of any construction. The contract shall include proper protections for fencing, fire prevention, accidents, and dust control.
- 1.3 Park equipment should be placed based upon standards set by the U.S. Consumer Product Safety Commission and constructed to manufacturers' specifications.
- 1.4 Either party may at any time enter upon Galena Terrace Park during construction to inspect construction progress. In any event, GTMA shall be notified before the irrigation system is covered and shall be afforded an opportunity to inspect it.
- 1.5 The contractor, with the assistance of design professional, shall provide reproducible as-built drawings at the completion of construction and prior to final payment. One hard copy and one electronic copy of the as-builts will be provided to GTMA.
- 1.6 In the event any of the obligations identified above or the contracts do not have proper protections against liability for fire, accidents, dust control, etc., Galena Terrace Maintenance Association may provide written notice of such failure and County shall have ten (10) days to respond. The Parties shall work in good faith to resolve any issues.

2. MAINTENANCE

Galena Terrace Maintenance Association will maintain the Galena Terrace Park by providing the labor, equipment and materials to properly maintain the park as follows:

- 2.1 Irrigation systems shall be adequately maintained on a year round basis to ensure proper operation and efficient irrigation to turf, trees and shrubs.
- 2.2 Landscape maintenance, mowing, fertilization, watering, and aeration will be performed on a regular and routine maintenance schedule in accordance with the level of service standards as attached as Exhibit C.
- 2.3 Galena Terrace Maintenance Association will pick up all litter, debris and trash from park and empty trash cans (if in place) at a minimum of once per week during the term of this agreement.
- 2.4 Maintenance does include replacement of all improvements related to the construction of Galena Terrace Park and further identified in Exhibit B
- 2.5 Galena Terrace Maintenance Association will maintain the sidewalk on County owned parcel 144-150-01.
- 2.6 <u>Damage and Vandalism to Park</u>. Replacement or repair of damage of the improvements within Exhibit "B" shall be the sole responsibility of the Galena Terrace Maintenance Association. Galena Terrace Maintenance Association, at its sole cost and expense, shall secure and maintain fire and all risk insurance for all property located at Galena Terrace Park. Galena Terrace Maintenance Association shall also secure and maintain a policy of Comprehensive General Liability coverage, in an amount of not less than \$1,000.00 per occurrence, and at least \$2,000,000 annual aggregate.
- 2.7 Right of Entry. Galena Terrace Maintenance Association grants Washoe County the right to enter upon the premises in order to perform visual inspections of the park for purposes of upholding the maintenance standards outlined within this contract. County shall hold harmless, indemnify, and defend Galena Terrance Maintenance Association from and against any and all claims, demands, and losses of Galena Terrance Maintenance Association and third parties arising out of or related to the Right of Entry granted to County for the purposes of inspecting the Park, hereof resulting from actions of County or any consultants, contractors, subcontractor, or others under County direction or control. Under no circumstances shall the County have any responsibility for any claims, demands, and losses resulting from any action or lack of action by Galena Terrace Maintenance Association.

3. MISCELLANEOUS PROVISIONS

- 3.1 Time is of the essence of this Agreement.
- 3.2 Any notices, requests or instructions deemed by either Party to be given to the other shall be given in writing and are to be mailed by certified mail with return receipt requested, as follows:

Galena Terrace Maintenance Association C/O Association Sierra North 10509 Professional Circle Ste 200 Reno, NV 89521

With a copy to:

Gayle A. Kern, Esq. Leach Kern Gruchow Anderson Song 5421 Kietzke Lane, Suite 200 Reno, NV 89511

Washoe County -CSD Attention: Operations Division Director P. O. Box 11130 Reno, Nevada 89520

- 3.3 Except as otherwise set forth herein, service of any notice or demand made by mail shall be deemed completed on the day of actual delivery or upon personal delivery.
- 3.4 This Agreement shall be construed and enforced in accordance with the laws of the State of Nevada and venue for any such action shall be in Washoe County, Nevada. In the event that there is a dispute concerning this Agreement, neither party will reimburse the other party its attorney's fees or costs.
- 3.5 This Agreement may not be modified, amended, altered or changed in any respect whatsoever except by further agreement in writing, duly executed by the parties.
- 3.6 This Agreement shall be binding upon and inure to the benefit of the parties hereto, and their respective successors, subcontractors, personal representatives, and assigns.

- 3.7 All periods of time referred to in this Agreement shall include all Saturdays, Sundays, and state or national holidays, unless the period of time specifies business days, provided that if the date to perform any act or give any notice with respect to this Agreement shall fall on a Saturday, Sunday, or state or national holiday, such act or notice may be timely performed or given on the next succeeding day which is not a Saturday, Sunday, or state or national holiday.
- 3.8 The parties hereto acknowledge and agree that each has been given the opportunity to review this Agreement with legal counsel independently, and/or has the requisite experience and sophistication to understand, interpret, and agree to the particular language of the provisions hereof. The parties have equal bargaining power and intend the plain meaning of the provisions herein. In the event of an ambiguity in or dispute regarding interpretation of terms, the interpretation of this Agreement shall not be resolved by any rule of interpretation providing for interpretation against the party who causes the uncertainty to exist or against the draftsman.
- 3.9 Each party shall indemnify, hold harmless and defend, not excluding the other's right to participate, the other party from and against all liability, claims, actions, damages, losses, and expenses, including but not limited to reasonable attorneys' fees and costs, arising out of any alleged negligent or willful acts or omissions of the indemnifying party, its officers, employees and agents. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this paragraph.

Washoe County will not waive and intends to assert available NRS chapter 41 liability limitations in all cases. Contract liability of both parties shall not be subject to punitive damages.

3.10 The parties recognize that upon completion of the Project, the Property will become a public park and shall remain open to all members of the public. Any reservations of the park are to be made through the GTMA and noticed on the site 48 hours prior the event taking place.

4. TERM

Regular maintenance shall occur on a reasonable basis on a schedule as determined by the Association and included within Exhibit C. GTMA shall maintain the Project on the Property in perpetuity, and ensure the Property is open and available for the general public and compliant with Nevada Revised Statutes.

5. WARRANTY

GTMA shall receive full and complete warranties from the construction contractors, equipment manufacturers, architects, consultants, any service or material provider, on the Park Project. Such warranties shall be implied and written and no waiver of any warranty shall be agreed to in any contract with any provider.

6. PROPERTY TAX LIABILITY

There shall be no property taxes assessed on the Park Property pursuant to NRS 361.233.

7. WASHOE COUNTY DRAINAGE PIPES/CULVERTS UNDER PARK PROPERTY

The County shall ensure reasonable maintenance of all drainage easements held on, adjacent to, or under the Park Property.

8. ENTIRETY OF THE AGREEMENT

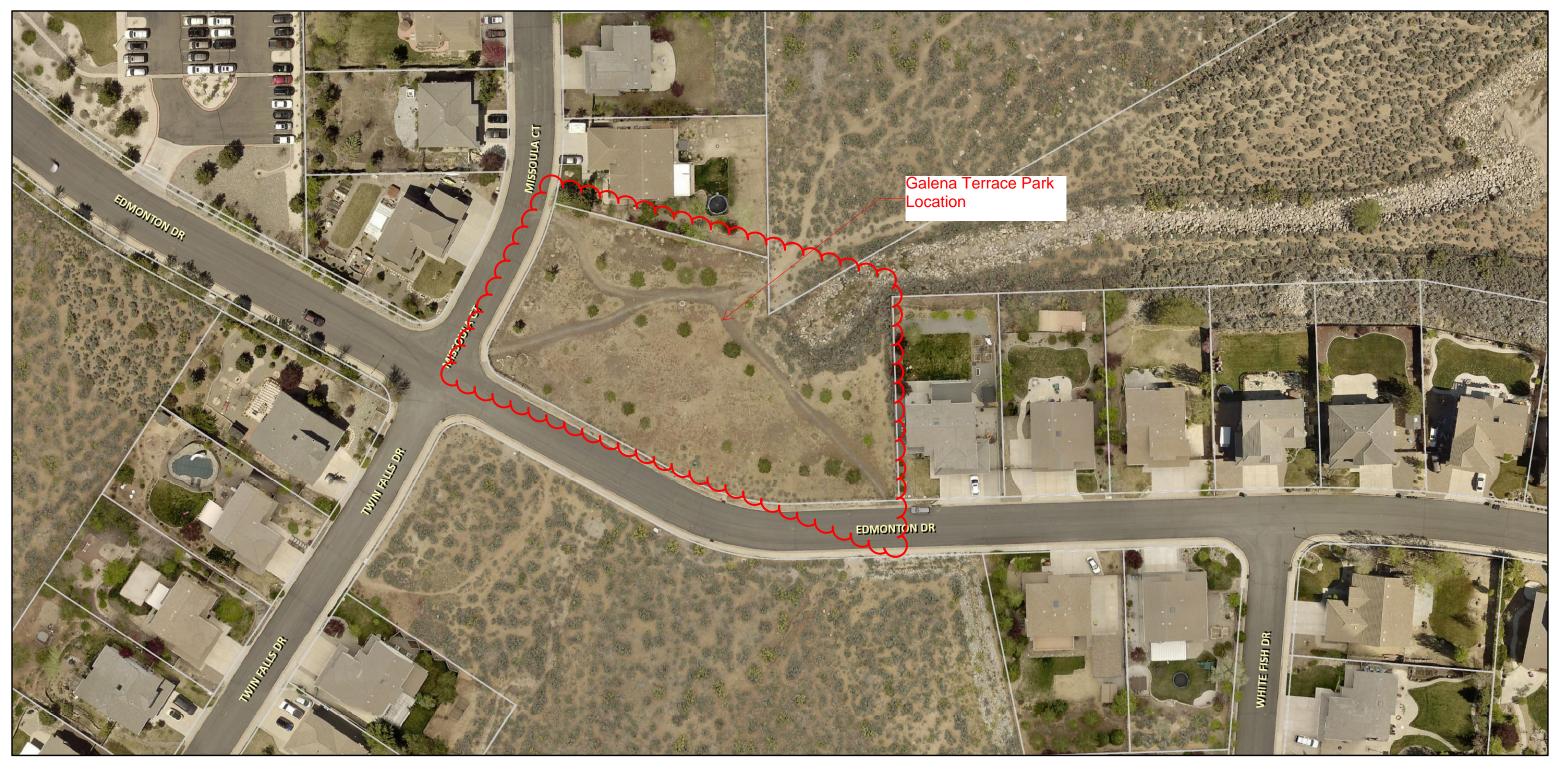
This Agreement for the Galena Terrace Park contains the entire agreement between the parties hereto and supersedes any and all prior agreements, arrangements or understandings regarding the same subject matter as this Agreement, which are null and void.

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be signed the day and year first above written.

COUNTY OF WASHOE, a political subdivision of the State of Nevada

		Ву
		Marsha Berkbigler, Chair
		Washoe County Commission
STATE OF NEVADA)	
	: ss.	
COUNTY OF WASHOE)	
personally appeared		, 2018, before me, a Notary Public,, known to me to be the person who ledged to me that she executed the same for
		NOTARY PUBLIC
		1,0114(11024)
		GALENA TERRACE
		MAINTENANCE ASSOCIATION,
		INC., a Nevada Domestic Nonprofit
		Corporation
	Ву	y
STATE OF NEVADA)	
	: ss.	
COUNTY OF WASHOE)	
On this day of		2018, before me, a Notary Public, personally
appeared	· · · · · · · · · · · · · · · · · · ·	known to me to be the person who executed
the above instrument, and ackr purposes therein stated.	nowledged to	me that s/he executed the same for the
		NOTARY PUBLIC

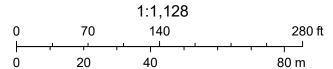
Galena Terrace Park Exhibit A



June 21, 2018

— Ditch

Reno City Boundary



Washoe County
Washoe County GIS
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics,
CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User
Community



VIL IMPROVEMENT PLA

GALENA TERRACE PARK

INCLUDES THE PLANNING, IMPLEMENTATION AND MAINTENANCE OF ANY AND ALL SEDIMENTATION AND EROSION CONTROL OF ANY AND ALL SEDIMENTATION AND EROSION CONTROL
MEASURES AND BEST MANAGEMENT PRACTICES (BMP's) IN
ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION
PLAN (SWPPP) PREPARED BY OTHERS AT THE DIRECTION OF
THE OWNER. THESE IMPROVEMENT PLANS MAY OR MAY NOT
REFLECT THESE EROSION CONTROL MEASURES AND BMP'S. THE
OWNER SHALL BE CONTACTED REGARDING THE STORM WATER
DISCHARGE PERMIT AND ASSOCIATED SWPPP.

OWNER

GALENA TERRACE MAINTENANCE **ASSOCIATION** 10509 PROFESSIONAL CIRCLE, SUITE 200 RENO, NEVADA 89521 (775) 828-4990

DEVELOPER

WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT - PARKS 1001 E. NINTH STREET, BLDG. A RENO, NV 89520 (775) 823-6500

CIVIL ENGINEER

ODYSSEY ENGINEERING, INC. 895 ROBERTA LANE, SUITE 104 SPARKS, NV 89431 (775) 359-3303CONTACT: KENNETH W. ANDERSON, P.E.

LANDSCAPE ARCHITECT

L.A. STUDIO NEVADA 1552 C STREET SPARKS, NV 89431 (775) 323-2223 CONTACT: RYAN HANSEN, A.S.L.A., P.L.A.

ELECTRICAL ENGINEER

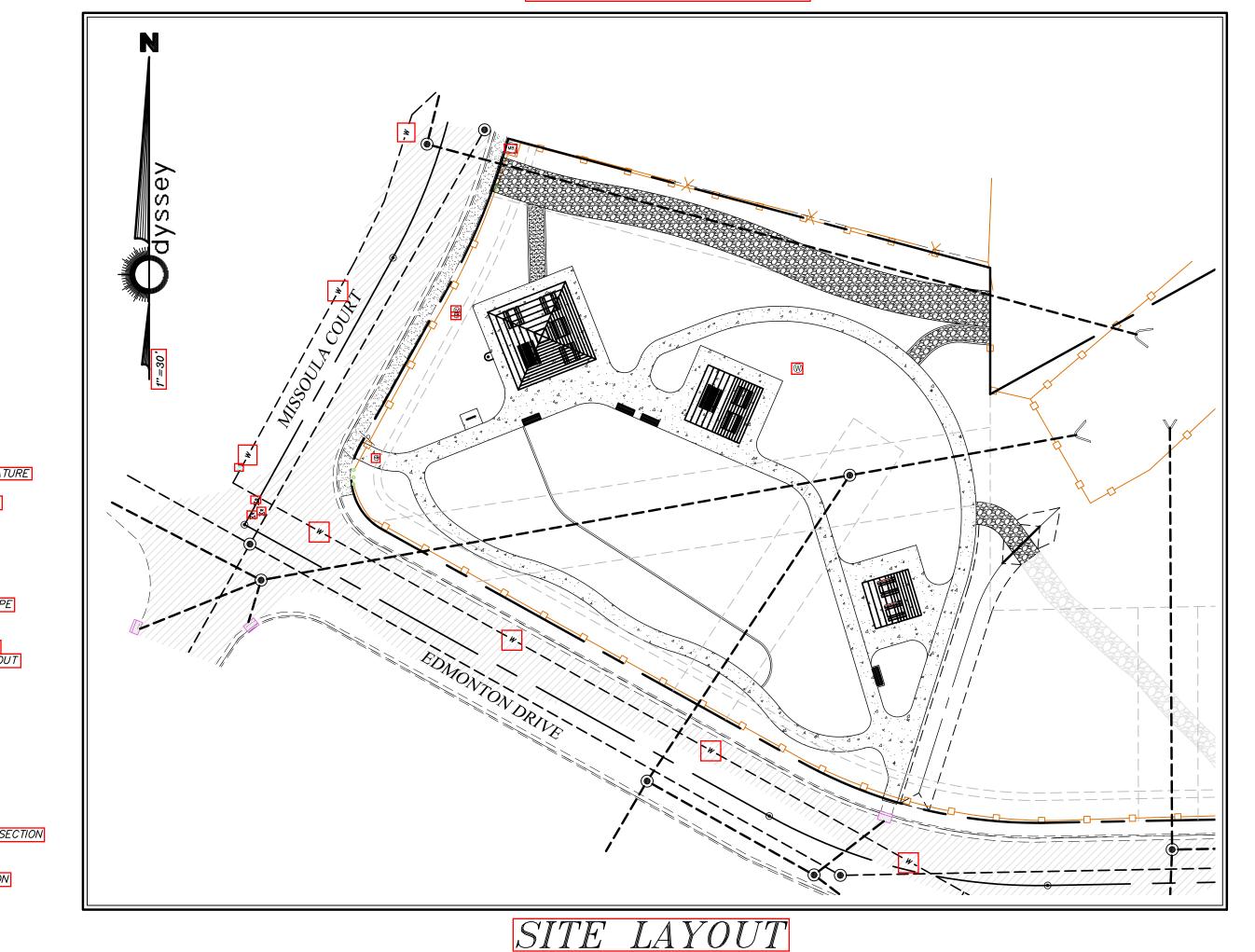
JENSEN ENGINEERING, INC. 9655 GATEWAY DRIVE, #A RENO, NV 89521 (775) 852-2288 CONTACT: GERALD JENSEN, P.E.

	LIST	OF ABBI	REV	VIATIO	NS
. С. .Р.		ASPHALTIC CONCRETE ANGLE POINT	L.F.		LINEAL FEET
. <i>C</i> .	••••••	BEGIN CURVE	L.P.	•••••	LOW POINT
.F.C.	•••••	BACK FACE CURB	L.S.	•••••	LIGHT STANDARD
. <i>V. C</i> .		BEGIN VERTICAL CURVE	М.Н.	•••••	MANHOLE
. S.		BACK OF SIDEWALK	<i>P.</i>	•••••	PAD ELEVATION
. <i>B.</i>		CATCH BASIN	P.I.	•••••	POINT OF INTERSECTION
1		CENTERLINE	P.O.		PUSH ON
\mathcal{H}		CHORD	P.R.C. P.O.T.	••••••	POINT OF REVERSE CURVATU
.м.Р.		CORRUGATED METAL PIPE	P. U. T. P. V. C.		POINT OF TANGENT POLYVINYL CHLORIDE PIPE
ONC.		CONCRETE		••••••	PROPERTY LINE
ONST.		CONSTRUCT	<u>PZ</u> (R)	•••••	RADIAL
:. <i>Р</i> .		CONCRETE PIPE	R		RADIUS
. /.		DROP INLET	R.E.		RECLAIMED EFFLUENT
ET.		DETAILS	REF.		REFERENCE
. W.		DEWATERING OR DRIVEWAY	RET.		RETURN
LEV.	•••••	<i>ELEVATION</i>	R.C.P.	•••••	REINFORCED CONCRETE PIPE
. C.		END OF CURVE	RT.	••••••	RIGHT
. <i>V. C</i> .	•••••	END VERTICAL CURVE	R/W		RIGHT OF WAY
XIST.	•••••	EXISTING	S.D.C.O.		STORM DRAIN CLEAN OUT
. G.	••••••	EXISTING GRADE	S.S.C.O.		SANITARY SEWER CLEAN OU
. <i>F</i> .	•••••	FINISH FLOOR	S.S.		SANITARY SEWER
.F.C.	•••••	FRONT FACE CURB	S.W.		SIDEWALK
. G.		FINISH GRADE	SHT.		SHEET
.H.	•••••	FIRE HYDRANT	STA.		STATION STATION
	•••••	FLOW LINE	S.D.	•••••	STORM DRAIN
. <i>V.A</i> .		FLUSH VALVE ASSEMBLY	T	•••••	TANGENT
<u></u>	•••••	GAS	<i>T. C.</i>	•••••	TOP OF CURB
. <i>B</i> .	•••••	GRADE BREAK	T.P.	•••••	TOP OF PAVEMENT
. <i>V</i> .	•••••	GATE VALVE	TYP.	•••••	TYPICAL
ORIZ.	•••••	HORIZONTAL	VER T.	•••••	VERTICAL
. <i>P</i> .	•••••	HIGH POINT	<i>V. C.</i>	•••••	VERTICAL CURVE
IT.	••••••	INTERSECTION	V.P.I.		VERTICAL POINT OF INTERSE
E. T.	••••••	INVERT ELEVATION	W	•••••	WA TER
<i>T</i> .	•••••	<u>LEFT</u>	W. C.	•••••	WASHOE COUNTY
	••••••	LENGTH	W.S.E.		WATER SURFACE ELEVATION

WASHOE COUNTY, NEVADA



VICINITY MAP



CIVIL SHEET INDEX

T-1	••••	TITLE SHEET
N-1	••••	OVERALL SITE PLAN AND NOTES
DEM-1	• • • •	DEMOLITION PLAN
G-1	• • • •	GRADING AND DRAINAGE PLAN
S-1	••••	SITE DIMENSIONAL PLAN

LANDSCAPE SHEET INDEX

L1	• • • •	REFERENCE PLAN
L2	• • • •	$PLANTING\ PLAN$
L3	• • • •	IRRIGATION PLAN
L2 L3 L4 L5 L6	• • • •	IRRIGATION DETAILS
L5	• • • •	LANDSCAPE DETAILS
L6	• • • •	PARK AMENITY DETAILS

ELECTRICAL SHEET INDEX

E1.0	• • • •	SYMBOLS, NOTES & LUMINAIR
		SCHEDULE
E2.0	• • • •	SITE ELECTRICAL PLAN

BASIS OF BEARINGS

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939

BASIS OF ELEVATION

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL CITY OF RENO BENCHMARK3091 (ELEVATION=4555.77 FT.)

FLOOD ZONE:

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS, FOR PUBLIC WORKS CONSTRUCTION (2012 EDITION AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.

ENGINEER'S CERTIFICATE

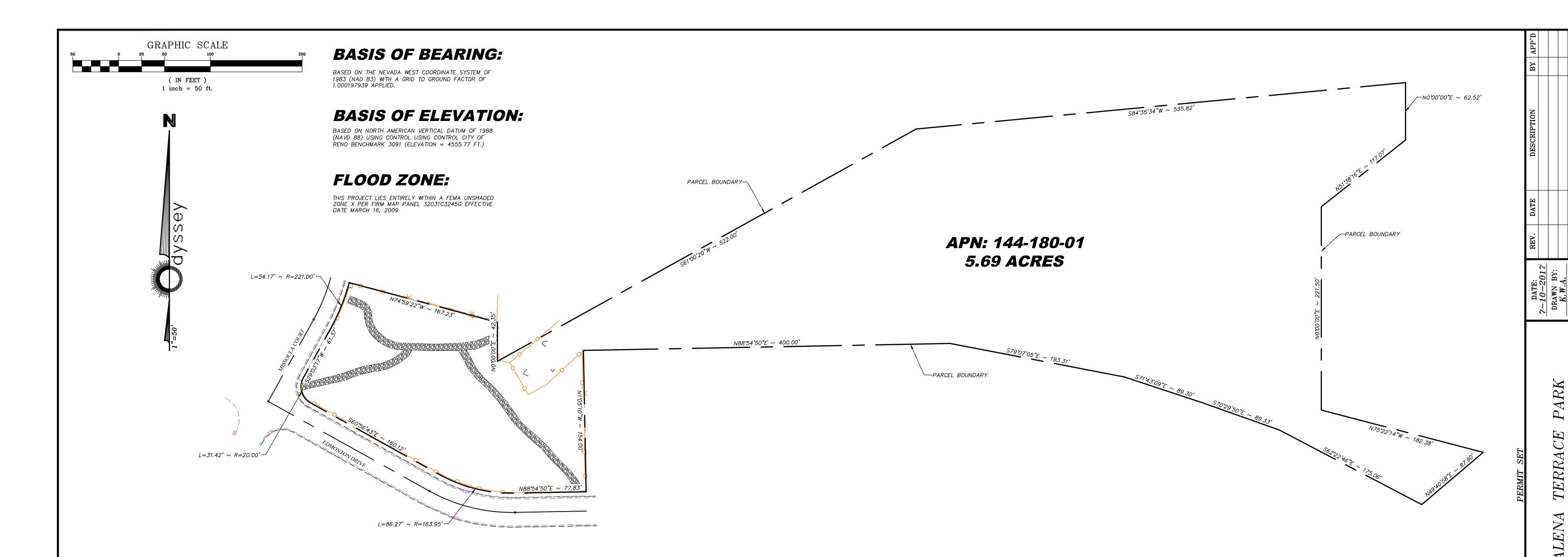
THESE PLANS (SHEETS T-1 OF 5 THRU S-1 OF 5) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, CITY ORDINANCES, STANDARDS, AND CITY CODE. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND CITY CODE, CITY STANDARDS



KENNETH W. ANDERSON

P.E. #15598

HORIZ. N.T.S.VERT. JOB NO. SHEET



GRADING NOTES:

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION 2012 ADDITION (AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AN DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH SECTION 040.030 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS.
- 3. THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINT OF CONNECTION WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT—HOLING PRIOR TO
- 4. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS PER FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES.
- 5. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM SURFACE EVIDENCE AND AVAILABLE UTILITY COMPANY RECORDS. ALL UTILITIES SHOULD BE VERIFIED IN THE FIELD. ODYSSEY ENGINEERING INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS OF SUCH RECORDS.
- 6. THE CONTRACTOR SHALL MAINTAIN AN ON-GOING PROCESS OF REMOVAL OF ALL SPILLAGE OF EXCAVATION MATERIAL ON ALL PAVED STREETS.
- 7. LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
- 8. ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND OWNERS PERSONNEL.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR
- SHALL MAINTAIN EXISTING B.M.P. IMPROVEMENTS THAT ARE IN PLACE, AND SHALL PROVIDE AND MAINTAIN ADDITIONAL B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.P.

 10. THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES
- REQUIRED FOR CONSTRUCTION.

 11. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, CITY OF
- 12. ADD 5000 FEET TO ALL TRUNCATED ELEVATIONS.
- 13. THE NATURAL VEGETATION AND EXISTING LANDSCAPING SHALL BE PRESERVED AS MUCH AS PRACTICAL DURING SITE IMPROVEMENTS CONSTRUCTION..

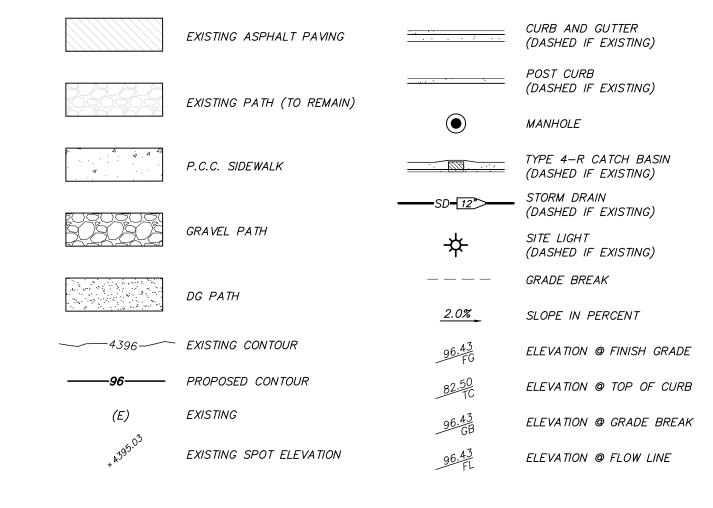
SPARKS, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.

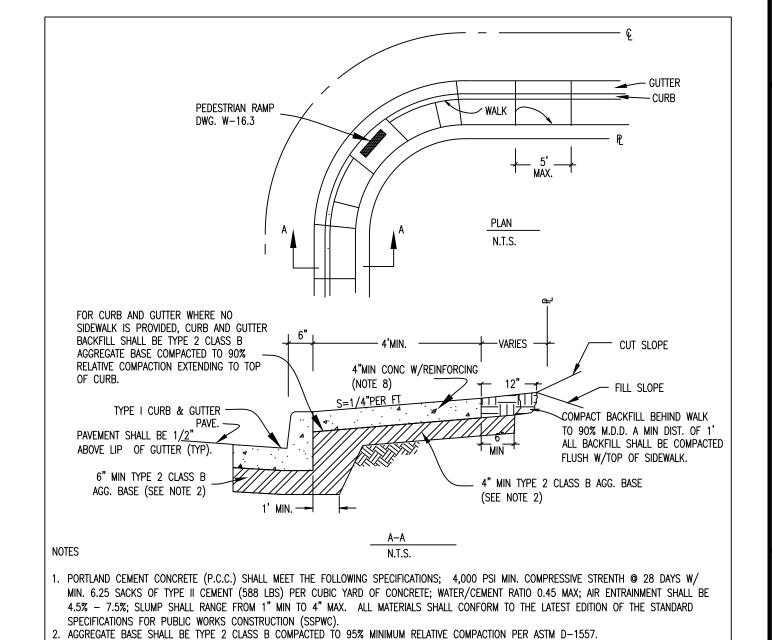
- 14. SLOPES STEEPER THAN 3:1 SHALL BE MECHANICALLY STABILIZED WITH ROCK-RIP.
- 15. ANY ACCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST WASHOE COUNTY REGULATIONS OR IN APPROVED AREAS.

TRUCKEE MEADOWS REGIONAL STORMWATER QUALITY NOTES:

- 1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- 2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- 3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 1.B.A.b. (2).
- 4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIST LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY, SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 1.B.A.g.
- 5. ACCUMULATED SEDIMENT IN BMPS SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BE REDUCED BY 50 PERCENT OR MORE.

LEGEND:





'. NO EQUIPMENT SHALL BE PERMITTED ADJACENT TO OR ACROSS THE SIDEWALK UNTIL THE FOURTH DAY FOLLOWING PLACEMENT OF THE CONCRETE

SUBGRADE ELEVATION, THE SOILS SHALL BE OVER-EXCAVATED TO CONFORM TO THE SOILS REPORT OR REQUIREMENTS OF WASHOE COUNTY. THE

P.C.C. SIDEWALK

8. REINFORCING SHALL CONSIST OF COLLATED, FIBRILLATED, POLYPROPYLENE FIBERS AS MANUFACTURED BY FIBERMESH OR APPROVED EQUAL AND

9. SUBGRADE SHALL BE COMPACTED TO 90% MIN RELATIVE COMPACTION. IF EXPANSIVE OR UNSUITABLE MATERIALS ARE ENCOUNTERED AT

SUBGRADE SHALL BE INSPECTED AND APPROVED BY WASHOE COUNTY PRIOR TO PLACEMENT OF AGGREGATE BASE.

NO. REVISED DATE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION SECTION:

. EVAPORATION REDUCERS (SUCH AS CONFLIM) SHALL BE APPLIED IMMEDIATELY AFTER INITIAL CURING.

FINISHING AND CURING SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE SSPWC.

OR UNTIL THE CONCRETE HAS REACHED A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.

. TESTING SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE SSPWC.

SHALL BE ADDED AT A RATE OF 11/2 LBS PER CUBIC YARD OF CONCRETE.

5. SIDEWALK REMOVAL SHALL BE TO NEAT SAW-CUT-LINES.

10. SIDEWALK SHALL RECEIVE A LIGHT BROOM FINISH.

11. SEE ROADWAY SECTIONS FOR SIDEWALK WIDTHS

REDRAWN 2/94vp

2 Notes 11/11sw

3 Revision 8/16ww

 \Box

SENGINEER.

gKENNETH W.

ANDERSON

Exp: 12-31-18

CIVIL

Vo. 15598

SCALE

JOB NO. 3837

SHEET

HORIZ. <u>1"=50</u>'

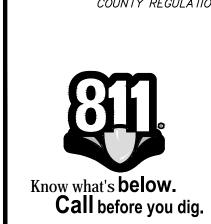
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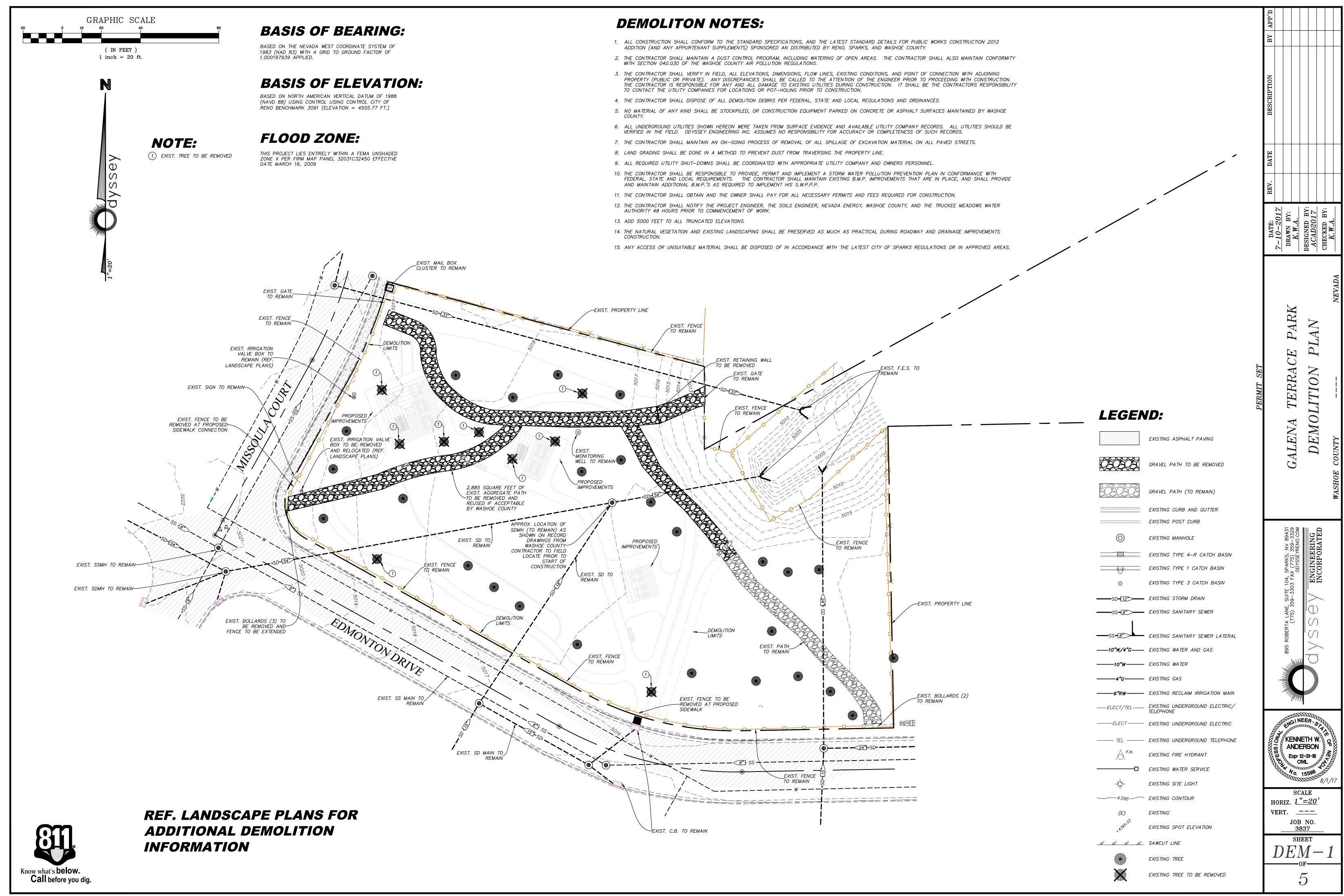
WASHOE

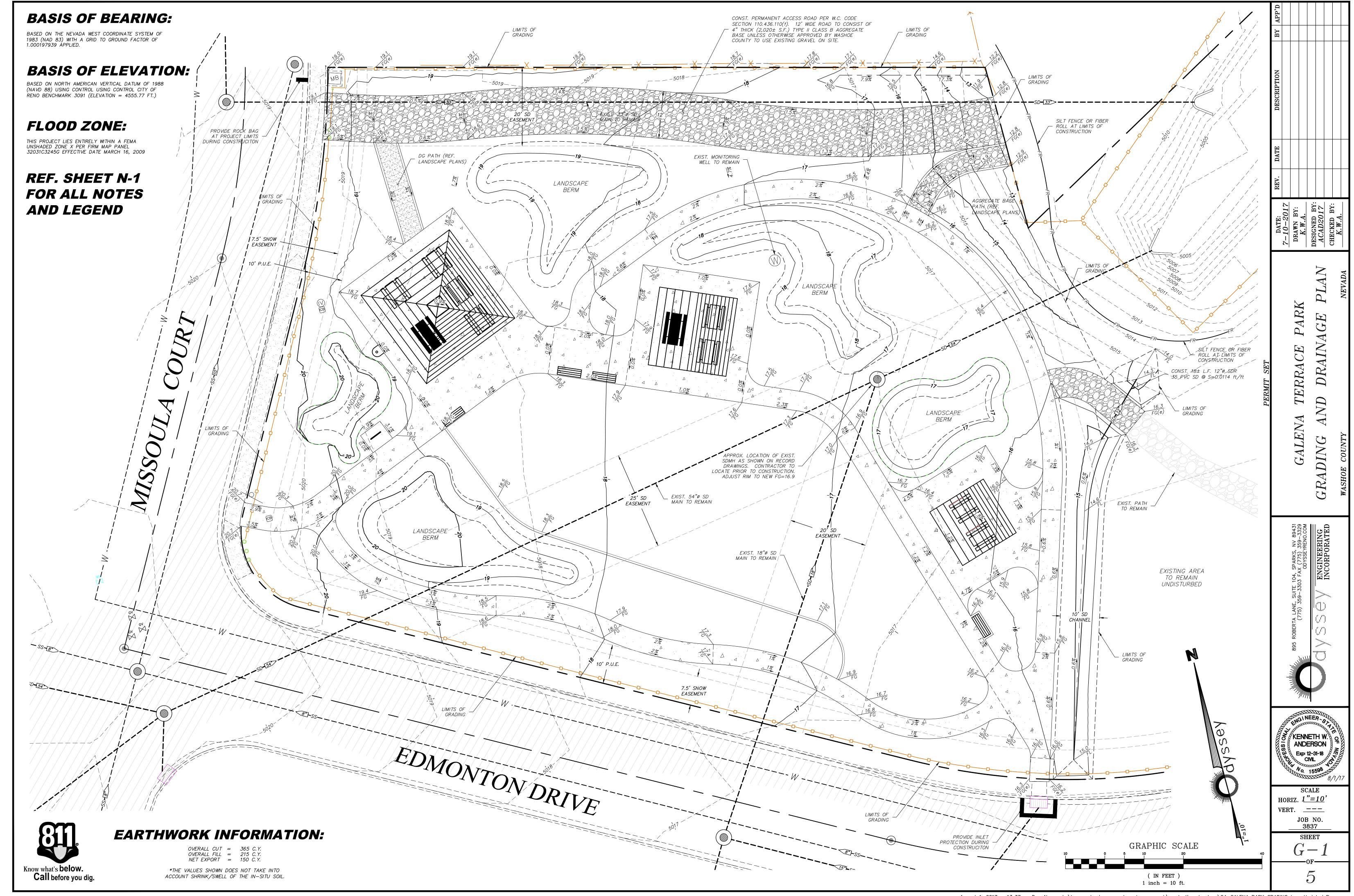
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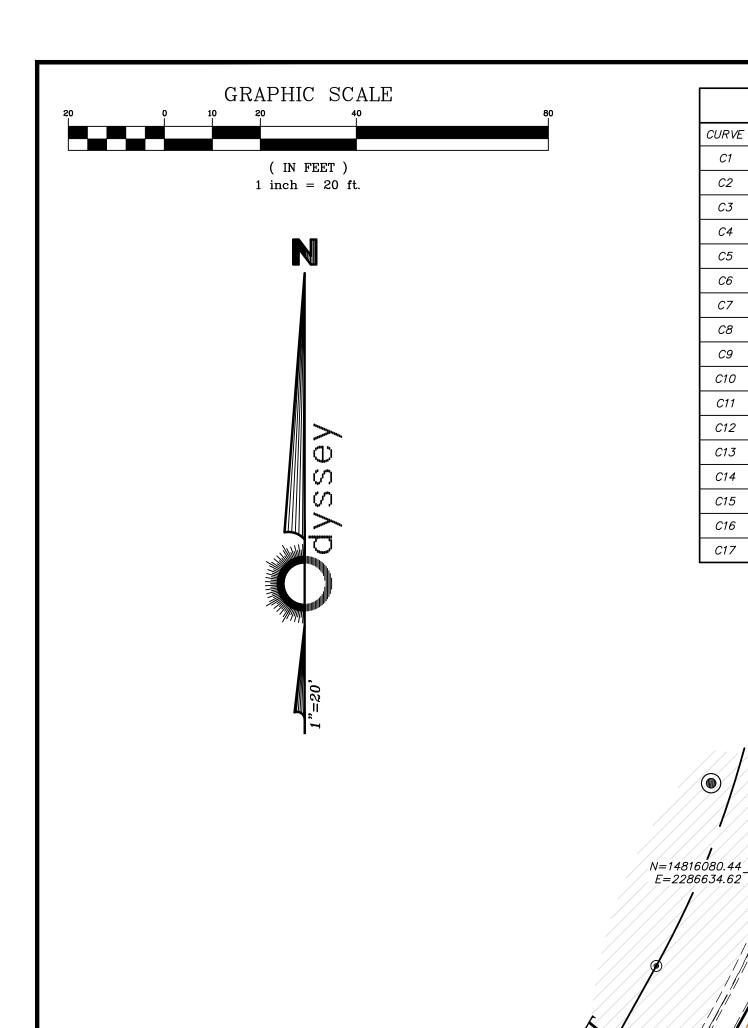
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DATE:_{08/16ww} PAGE: 30









CURVE	E TABL	.E
LENGTH	RADIUS	DELTA
13.16'	16.00'	47°07'43"
15.71'	10.00'	90°00'00"
11.78'	5.00'	135°00'00"
8.65'	11.00'	45°04'44"
104.43'	65.00'	92°03′17"
51.56'	80.00'	36°55'35"
2.97'	5.00'	34°05'07"
7.85	5.00'	90°00'00"
35.86	30.00'	68°29'20"
39.45'	65.00'	34°46'32"
29.10'	75.00'	22°13'49"
27.75	65.00'	24°27′49″
31.11	75.00'	23°46′05″
19.01	30.00'	36°18'10"
6.45	5.00'	73°52'21"
9.40'	22.00'	24°28′34″
96.40'	60.00'	92°03'17"
	LENGTH 13.16' 15.71' 11.78' 8.65' 104.43' 51.56' 2.97' 7.85' 35.86' 39.45' 29.10' 27.75' 31.11' 19.01' 6.45'	13.16' 16.00' 15.71' 10.00' 11.78' 5.00' 8.65' 11.00' 104.43' 65.00' 51.56' 80.00' 2.97' 5.00' 7.85' 5.00' 35.86' 30.00' 29.10' 75.00' 27.75' 65.00' 31.11' 75.00' 19.01' 30.00' 6.45' 5.00'

N=14816091.83 _E=2286638.41

N=14815996.46 E=2286591.44 \2

PROPOSED

BIKE RACK (REF. LANDSCAPE

EDMONTON DRIVE

P.C.C SIDEWALK

(REF. DETAIL ON

SHEET N-1)

N=14815991.04_/ E=2286588.86 \

CURVE	LENGTH	RADIUS	DELTA
C35	9.95'	10.00'	57°00'28"
C36	15.04'	17.35'	49°40′57"
C37	13.04'	14.00'	53°21'53"
C38	18.63'	20.00'	53°21'53"
C39	8.22'	212.00'	2°13'14"
C40	65.07'	212.00'	17°35'07"
C41	64.13'	238.00'	15°26'15"
C42	26.37'	160.00'	9°26'40"
C43	24.40'	148.00'	9°26'40"
C44	67.36	250.00'	15°26'15"
C45	68.21'	200.00'	19°32'22"
C46	7.85'	5.00'	90°00'10"
C47	12.94'	5.00'	148°14'03"
C48	7.85'	5.00'	90°00'00"
C49	10.83'	5.00'	124°05'07"

C40-00

P.C.C. SIDEWALK (REF. DETAIL ON-

SHEET N-1)

N=14815955.67

__E=2286757.32

N=14816016.67

E=2286732.71

DG PATH (REF. LANDSCAPE PLANS)

EXIST. MONITORING WELL

N=14816055.16

/BENCH SEATING <23 (REF. LANDSCAPE

> LANDSCAPE CURB –(REF. LANDSCAPE

P.C.C. SIDEWALK

(REF. DETAIL ON SHEET N-1)

> P.C.C. SIDEWALK (REF. DETAIL ON-

SHEET N-1)

BENCH SEATING

PLANS)

(REF. LANDSCAPE~

N=14815876.19

PLANS)

E=2286662.12

	LINE TABL	LE		LINE TABL	LE
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENG
L1	S64°25'38"E	5.82'	L15	S16°34'53"E	16.2
L2	N68°26'39"E	25.62'	L16	S66°33'21"E	9.0
L3	N21°33'21"W	28.00'	L17	S23°26'39"W	21.0
L4	N68°26'39"E	36.00'	L18	S66°33'21"E	30.0
L5	S21°33'21"E	35.01	L19	N23°26'39"E	14.0
L6	N23°26'39"E	2.58'	L20	S66°33'21"E	1.79
L7	N68°31'23"E	17.85'	L21	S23°26'39"W	2.5
L8	S17°30'14"W	76.37'	L22	S68°26'39"W	50.€
L9	N17°30'14"E	6.11	L23	N66°33'21"W	63.9
L10	N16°34'53"W	5.55'	L24	N16°34'53"W	71.4
L11	N15°01'51"W	1.02'	L25	N35°30'13"W	11.3
L12	N64°25'38"W	5.80'	L26	S35°30'13"E	10.7
L13	S68°31'23"W	17.85'	L27	N43¶7'22"E	4.5
L14	N17°30′14″E	16.48'	L28	S84°31'01"E	8.9

2,020± S.F. 4" TYPE II CLASS B AGGREGATE BASE ACCESS ROAD

-UNLESS OTHERWISE APPROVED

BY WASHOE COUNTY TO USE EXISTING GRAVEL ON SITE.

N=14816046.76

E=2286802.24

N=14816034.72 E=2286802.24

AGG BASE PATH

(REF. LANDSCAPE

E=2286812.66

N=14815874.83

GRAVEL PATH

(CONTRACTOR TO

REUSE EXIST.

IF POSSIBLE)

P.C.C SIDEWALK

SHEET N-1)

MATERIAL ON SITE

N=14815959.50

E=2286818.81

EXIST. PATH (TO REMAIN)

N88°54'50"E ~ 77.83'

PLANS)

Ε		LINE TABL	E
LENGTH	LINE	DIRECTION	LENGTH
16.23'	L29	N43°17'22"E	4.57'
9.05'	L30	N1°29'26"W	22.83'
21.00'	L31	N1°29'26"W	26.94'
30.00'	L32	S71°45'12"E	10.60'
14.00'	L33	N71°45'12"W	10.57
1.79'	L34	N73°25'07"E	21.00'
2.58'	L35	S16°34'53"E	10.12
50.89'	L36	S73°25'07"W	9.23'
63.92'	L37	S73°18'36"W	2.50'
71.49'	L38	S16°41'24"E	7.00'
11.32'	L39	S73°18'36"W	2.51'
10.78'	L40	S16°34'53"E	6.64'
4.57'			
8.91'			

N88°54'50"E ~ 400.00"

BASIS OF BEARING:

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 ÁPPLIED.

BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

FLOOD ZONE:

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

SITE NOTES:

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION 2012 ADDITION (AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AN DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.
- 2. THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINT OF CONNECTION WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- 4. ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND LEGENDS PERSONNEL.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN EXISTING B.M.P. IMPROVEMENTS THAT ARE IN PLACE, AND SHALL PROVIDE AND MAINTAIN ADDITIONAL B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.P.
- 6. THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
- 7. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, WASHOE COUNTY, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.

LEGEND:

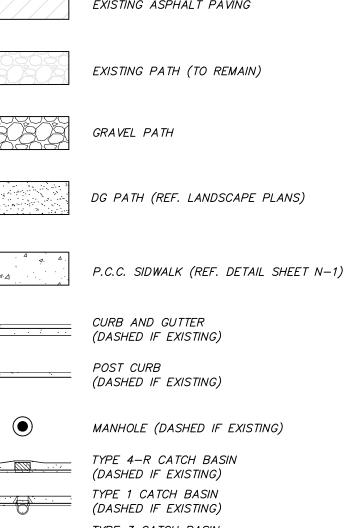
EXISTING ASPHALT PAVING

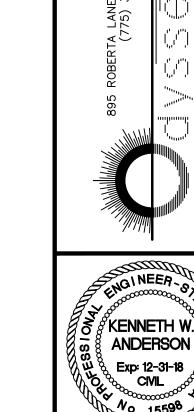
GRAVEL PATH

TYPE 4-R CATCH BASIN

(DASHED IF EXISTING) TYPE 3 CATCH BASIN (DASHED IF EXISTING)

EXISTING SITE LIGHT





RR

TE

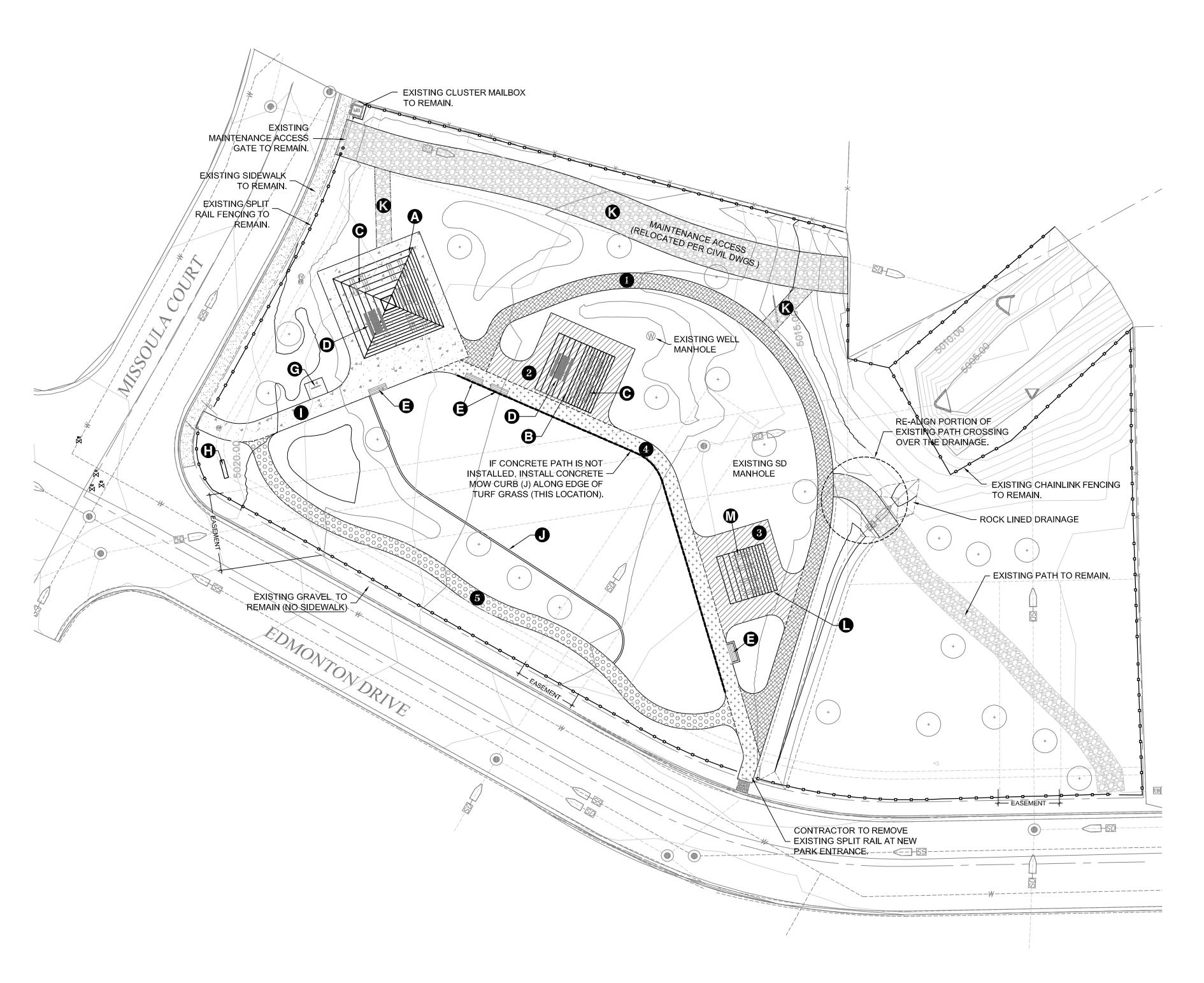
ANDERSON Exp: 12-31-18 SCALE HORIZ. <u>1"=20</u>' VERT. ____ JOB NO. 3837 SHEET

Know what's **below**. Call before you dig.

	REFERENCE CHART					
SYM.	QTY.	DESCRIPTION	MFG/MODEL NUMBER	COLOR/PATTERN		
A	1	SHADE STRUCTURE W/ (6) TABLES	RCP SHELTER MODEL #: AS-SQ28-06 28' X 28' ALL STEEL SQUARE SHELTER	FRAME: DARK GREEN, ROOF: LIGHT STONE		
3	1	SHADE STRUCTURE W/ (4) TABLES	RCP SHELTER MODEL #: AS-SQ20-06 20' X 20' ALL STEEL SQUARE SHELTER	FRAME: DARK GREEN, ROOF: LIGHT STONE		
Θ	6	STANDARD PICNIC TABLE	WABASH SIGNATURE SERIES 6' PORTABLE PICNIC TABLE WITH WABASH SURFACE MOUNT CLAMPS.	GREEN/PERFORATED		
Ð	2	ADA ACCESSIBLE PICNIC TABLE	WABASH SIGNATURE SERIES 8' PORTABLE PICNIC TABLE WITH WABASH SURFACE MOUNT CLAMPS.	GREEN/PERFORATED		
(3	4	BENCH	WEBCOAT: MODEL B6WBMODCLASSPSM 6' METAL SURFACE MOUNT BENCH	GREEN/PERFORATED		
•		NOT USED				
G	1	BIKE RACK (5 BIKES)	PARK WAREHOUSE - CONTEMPORARY 3 - LOOP BIKE RACK - 2 3/8" OD ROUND TUBE. SURFACE MOUNT ON CONCRETE PAD.	GREEN		
•	1	PARK MONUMENT SIGN	COUNTY SUPPLIED AND CONTRACTOR INSTALLED			
0	1	CONCRETE SIDEWALK/PATH	SEE CIVIL SHEET N-1 FOR PCC SIDEWALK			
0	1	CONCRETE MOW CURB	PER LANDSCAPE DETAILS	-		
•		3/4" CRUSHED AGG. BASE	REUSE EXISTING AGG. BASE AS AVAILABLE. IMPORT AS NEEDED (DEPTH PER CIVIL).	-		
•	1	ADD ALTERNATE #1 - SHADE STRUCTURE	RCP SHELTER MODEL #: AS-SQ16-06 16' X 16' ALL STEEL SQUARE SHELTER	FRAME: DARK GREEN, ROOF: LIGHT STONE		
•	2	ADD ALTERNATE #1 - STANDARD PICNIC TABLE	WABASH SIGNATURE SERIES 6' PORTABLE PICNIC TABLE WITH WABASH SURFACE MOUNT CLAMPS.	GREEN/PERFORATED		

	BID ALTERNATES			
SYM.	DESCRIPTION	DESCRIPTION		
0	PATHWAY	BID ALTERNATE (1.1A): CONCRETE		
		BID ALTERNATE (1.2A): DECOMPOSED GRANITE		
2	20'X20' SHELTER	BID ALTERNATE (2.1A, 2.1B, 2.1C, 2.1D): PICNIC SHELTER, (2) STANDARD PICNIC TABLES, (1) ADA PICNIC TABLE, AND ASSOCIATED CONCRETE PAD.		
		BID ALTERNATE (2.2A): DECOMPOSED GRANITE MULCH		
3	16'X16' SHELTER	BID ALTERNATE (3.1A, 3.1B, 3.1C): PICNIC SHELTER, (2) STANDARD PICNIC TABLES, AND ASSOCIATED CONCRETE PAD.		
		BID ALTERNATE (3.2A): DECOMPOSED GRANITE MULCH		
4	PATHWAY	BID ALTERNATE (4.1A, 4.1B): CONCRETE PATHWAY W/ (3) BENCHES		
		BID ALTERNATE (4.2A, 4.2B): DECOMPOSED GRANITE, ADD CONCRETE MOW CURB ALONG EDGE OF TURF GRASS, DELETE (3) BENCHES.		
5	PATHWAY	BID ALTERNATE (5.1A): CONCRETE		
		BID ALTERNATE (5.2A): DECOMPOSED GRANITE		

BASE BID PCC FLATWORK - ENTRY SIDEWALK AND PAD FOR 28'X28' SHELTER.

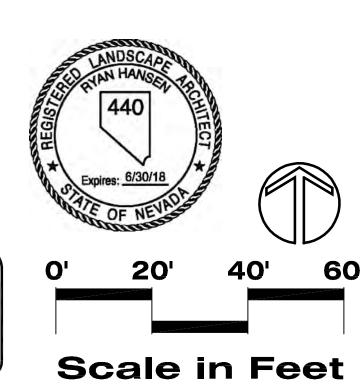


GENERAL NOTES:

PERMIT SET

I. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND SITE AMENITIES PER MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS, PER THESE PLANS AND CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN MANUFACTURER AND THESE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, ENGINEER AND WASHOE

2. CONTRACTOR SHALL NOTE THAT THE SHADE STRUCTURE, FOOTINGS, SLAB DESIGN AND DETAILS SHALL BE PROVIDED BY THE CONTRACTOR AND/OR MANUFACTURER. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING PLANS TO WASHOE COUNTY COMMUNITY DEVELOPMENT TO OBTAIN A BUILDING PERMIT AND PAY ALL ASSOCIATED FEES. SEE CONTRACT DOCUMENTS FOR FURTHER DETAILS.





No. Revision Date

LA No: 088-510-03-17 Designed: 655 Drawn: 655 Checked: RWH

Date: 9/13/17 Sheet

LANDSCAPE SPECIFICATIONS

I. PLAN IS DIAGRAMMATIC ONLY. ALL LOCAL GOVERNING CODES SHALL BE MET. EXACT LOCATION OF TREES AND SHRUBS SHALL BE DETERMINED IN THE FIELD (INSTALL AS PER DETAILS) AND APPROVED BY THE OWNER'S REPRESENTATIVE.

2. A MINIMUM OF TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRIC CABLES, TELEPHONE CABLES, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES, AND REPAIR OF ANY DAMAGE RESULTING FROM HIS WORK AT NO ADDITIONAL COST TO

- 3. DAMAGES: CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER.
- 4. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (I.E., PAVING, PLUMBING, ELECTRICAL, ETC.)

5. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION AND TO NOTIFY THE OWNER'S REPRESENTATIVE SHOULD CONDITIONS EXIST WHICH PREVENT CONSTRUCTION AS PER THESE PLANS. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS AND RESPONSIBILITY FOR CORRECTIONS.

6. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING THROUGHOUT ALL LANDSCAPE AREAS SUCH THAT THERE ARE NO HUMPS OR DEPRESSIONS AND POSITIVE DRAINAGE OCCURS THROUGHOUT.

- 8. SOIL TEST: CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS FOR EXISTING SITE SOIL AS FOLLOWS: ANALYSIS PACKAGE LTP.4 BY SUNLAND ANALYTICAL (916)852-8557 (OAE).
- TEST RESULTS SHALL INCLUDE SOIL SATURATION PERCENT, SOIL TEXTURE, INFILTRATION RATE, pH, CONDUCTIVITY, TOTAL DISSOLVED SALTS, CATION EXCHANGE CAPACITY, POTASSIUM, SODIUM, CALCIUM, MAGNESIUM, NITRATE & PHOSPHORUS, SULFUR, CHLORIDE, BORON,
- COPPER, IRON, MANGANESE, ZINK & LIME REQUIREMENT OR GYPSUM REQUIREMENT, SODIUM ABSORPTION RATIO, EXCHANGEABLE SODIUM PERCENT & ORGANIC MATTER, ALONG WITH RECOMMENDATIONS FOR SOIL AMENDMENT BASED ON ANALYSIS RESULTS. • CONTRACTOR SHALL FOLLOW RECOMMENDATIONS OF SOIL TEST.

9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TOTAL AND CONFIRM ALL MATERIAL QUANTITIES. ITEMS QUANTITFIED BY AN AREA (I.E., SQUARE FEET - SF, SQUARE YARD - SY) OR VOLUME (CUBIC FEET - CU FT, CUBIC YARD - CU YD) SHALL BE CALCULATED AND CONFIRMED BY THE CONTRACTOR. THE QUANTITIES LISTED ON THE PLANT LIST ARE ESTIMATED. IN THE EVENT OF A DISCREPANCY BETWEEN THE TOTALS LISTED ON THE PLANT LIST AND THE QUANTITY OF GRAPHIC PLANT SYMBOLS DEPICTED ON THE DRAWINGS, THE GRAPHIC SYMBOLS ON THE PLANS SHALL GOVERN. THE ACTUAL TOTAL QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR.

IO. <u>SOIL AMENDMENT:</u> UNLESS OTHERWISE INDICATED BY THE SOIL TEST, SOIL AMENDMENT SHALL BE HUMUS COMPOSED OF TOPSOIL, BARK HUMUS, AND COMPOST. SUBMIT TO OWNER'S REPRESENTATIVE FOR APPROVAL.

II. ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF THE ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN SHALL BE REJECTED. CONTRACTOR SHALL RECEIVE ON-SITE APPROVAL OF PLANT MATERIAL BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO RECEIVE PRIOR APPROVAL MAY RESULT IN REJECTION OF PLANT MATERIAL FOLLOWING INSTALLATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND EVALUATE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD.

- 12. ALL PLANTING BEDS SHALL RECEIVE TOP-DRESSING OF MULCH AS FOLLOMS:
- <u>DECOMPOSED GRANITE (DG)</u> INSTALL 4" MIN. DEPTH OF &" COURSE OXBORROW DG (OAE) DO NOT INSTALL WEED FABRIC UNDER
- <u>4" MINUS RIVER ROCK COBBLE</u> INSTALL 4" MIN. DEPTH OVER LANDSCAPE FABRIC.
- CRUSHED AGGREGATE BASE 3/4" INSTALL 6" MIN. DEPTH OF 3/4" CRUSHED AGGREGATE BASE ROCK. DO NOT INSTALL OVER
- BARK MULCH INSTALL 'WALK-ON' BARK MULCH (OAE) IN TREE AND SHRUB WATERING WELLS LOCATED WITHIN ROCK MULCH AREAS.
- DO NOT INSTALL LANDSCAPE FABRIC UNDER BARK. • LANDSCAPE FABRIC - 'DEWITT' PRO-5 WEED BARRIER (OAE), INSTALL IN ACCORDANCE WITH MFG'S SPECIFICATIONS.
- GRANULAR PRE-EMERGENT HERBICIDE APPLY RONSTAR TURF \$ ORNAMENTAL HERBICIDE (OAE) TO ALL PLANTING BEDS PER MFG'S SPECIFICATIONS.

13. LOOSEN SUBGRADE OF LAWN AREAS TO A MINIMUM DEPTH OF 6 INCHES. REMOVE STONES MEASURING OVER I INCH IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION

14. SPREAD MINIMUM 6 CY SOIL AMENDMENT (GROUND BARK BASED PRODUCT, 1/4" MAXIMUM PARTICLE SIZE, NITROGEN STABILIZED) PER 1,000 SF OVER AREA TO BE PLANTED. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL AMENDMENT REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE BY ROTOTILLING TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINDER OF SOIL

- 15. FINE GRADE LAWN AREAS TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE, AND DRAG LAWN AREAS, REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES. LIMIT FINE GRADING TO AREAS WHICH WILL BE PLANTED IMMEDIATELY AFTER GRADING. FINISH GRADES SHALL BE AS NEEDED BELOW PAVEMENT EDGES TO ALLOW FOR SOD
- 16. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.
- 17. LAY SOD PIECES TIGHTLY TOGETHER WITH NO GAPS BETWEEN PIECES. STAGGER PIECES SUCH THAT SEAMS ALTERNATE EVERY
- 18. IRRIGATE AND ROLL ENTIRE SOD AREA WITH 200 LB (MIN.) ROLLER SUCH THAT THE FINISH SOD LAWN IS FREE OF HUMPS AND
- 19. REPAIR ANY DAMAGE FROM OTHER CONSTRUCTION ACTIVITIES AND REPLACE ANY PIECES WHICH DO NOT ROOT AND GROW, SUCH THAT THERE ARE NO BARE SPOTS THROUGHOUT SOD LAWN.

OBSERVATIONS/APPROVALS/SUBMITTALS

20. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE, A MINIMUM OF 48 HOURS IN ADVANCE, FOR THE FOLLOWING SITE OBSERVATIONS AND/OR MEETINGS:

- PRECONSTRUCTION MEETING WITH ALL PARTIES
- PLANT MATERIAL ON SITE, PRIOR TO INSTALLATION OPEN TRENCH, MAINLINE (WITH VALVES ATTACHED) PRESSURE TEST
- FINAL PROJECT WALK-THROUGH
- ADDITIONAL SITE OBSERVATIONS AS DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE.

21. SUBMIT AMENDMENT AND MULCH SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. FAILURE TO COMPLY MAY RESULT IN REJECTION OF MULCH OR AMENDMENT PRIOR TO OR FOLLOWING INSTALLATION.

22. PLANT SUBSTITUTIONS - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROVIDE PLANT MATERIAL AS SPECIFIED ON THIS PLAN. THE CONTRACTOR MAY SUBMIT A REQUEST TO PROVIDE SUBSTITUTIONS FOR THE SPECIFIED PLANT MATERIAL UNDER THE FOLLOWING CONDITIONS:

- · ANY SUBSTITUTIONS PROPOSED SHALL BE SUBMITTED TO THE PROJECT OWNER'S REPRESENTATIVE WITHIN TWO WEEKS OF THE AWARD OF CONTRACT. SUBSTITUTIONS MUST MEET EQUIVALENT DESIGN AND FUNCTIONAL GOALS OF THE ORIGINAL MATERIALS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. ANY CHANGES MUST HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE REQUEST WILL BE ACCOMPANIED BY AT LEAST THREE NOTICES FROM PLANT MATERIAL SUPPLIERS THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE AND WILL NOT BE AVAILABLE PRIOR TO CONSTRUCTION. 23. SUBMIT REQUIRED SOIL REPORT, AND SAMPLE OF PROPOSED SOIL AMENDMENTS TO OWNER'S REPRESENTATIVE PRIOR TO

24. RECORD (AS-BUILT) DRAWINGS - FOLLOWING COMPLETION OF PROJECT INSTALLATION, AND PRIOR TO FINAL APPROVAL. CONTRACTOR SHALL PREPARE AND SUBMIT RECORD DRAWINGS DEPICTING A COMPLETE LANDSCAPE AND IRRIGATION INSTALLATION. PROCURE FROM OWNER DIGITAL COPIES OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON THE PROJECT SITE AT ALL TIMES DURING INSTALLATION. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK INSTALLED DURING EACH DAY. ACTUAL LOCATION OF TREES AND SHRUB BEDS, IRRIGATION VALVES, AND ALL IRRIGATION AND DRAINAGE PIPING SHALL BE SHOWN ON THE

PRINTS BY DIMENSIONS FROM EASILY IDENTIFIED PERMANENT FEATURES, SUCH AS BUILDING, CURBS, FENCES, WALKS, OR PROPERTY LINES. DRAMINGS SHALL SHOM MANUFACTURER'S NAME AND CATALOG NUMBER. THE DRAMINGS SHALL BE TO SCALE. ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY WAY. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE.

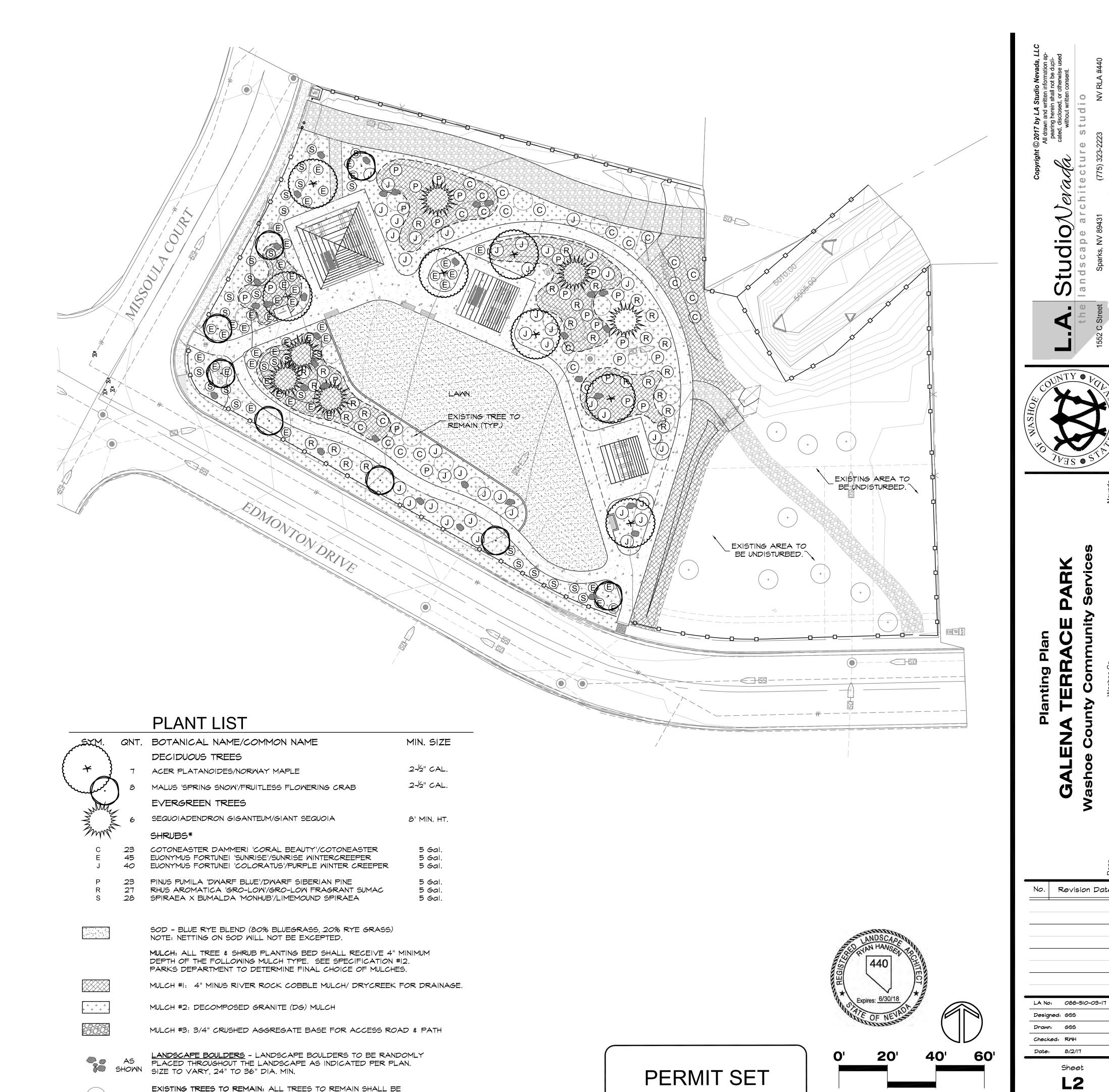
GUARANTEES/WARRANTY

INSTALLATION.

25. ALL PLANTED AREAS SHALL BE MAINTAINED FOR A PERIOD OF SIXTY DAYS FOLLOWING WRITTEN ACCEPTANCE BY OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR WILL GUARANTEE ALL PLANT MATERIAL (INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUNDCOVER, AND GRASSES) FOR A PERIOD OF ONE FULL YEAR FOLLOWING FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE. IN BIDDING AND INSTALLING THE PLANT MATERIAL SPECIFIED ON THESE PLANS, THE LANDSCAPE CONTRACTOR AGREES THAT THE PLANT MATERIAL SPECIFIED IS SUITABLE TO THE PROJECT SITE. FURTHERMORE, THE LANDSCAPE CONTRACTOR AGREES TO HONOR THE WARRANTY AND, IF NECESSARY, REPLACE SPECIES WITH A MORE HARDY PLANT TYPE IF DEEMED NECESSARY DUE TO EXCESSIVE DIE OUT. IF THE LANDSCAPE CONTRACTOR DOES NOT BELIEVE CERTAIN PLANT MATERIAL IS SUITABLE FOR THE SITE AND/OR ITS MICRO-CLIMATES, THE LANDSCAPE CONTRACTOR SHALL REQUEST TO MAKE PLANT MATERIAL SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO THE START OF INSTALLATION. PROPOSED SUBSTITUTIONS WILL RESULT IN NO ADDED COST.

TREES IN PUBLIC RIGHT-OF-WAYS (RENO)

26. PER RMC 18.12.1205(f)(4)a. TREES PLANTED OR REMOVED FROM THE PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE ISSUANCE OF A TREE WORK PERMIT. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE PERMIT AND THE CITY OF RENO URBAN



PRESERVED AND PROTECTED PER RMC ARTICLE V, TREE

PROTECTION.

Revision Date

Sheet

Scale in Feet

-

IRRIGATION SPECIFICATIONS

I. PLAN IS DIAGRAMMATIC ONLY. FINAL LOCATION OF LINES AND HEADS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE. LINES SHALL BE IN A COMMON TRENCH WHEREVER POSSIBLE. THE POINT-OF-CONNECTION SHALL BE AS INDICATED ON THE PLAN.

- 2. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND ENSURE THAT ALL LOCAL CODES ARE MET.
- 3. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF THE IRRIGATION SYSTEM AS DEPICTED ON THESE PLANS.

4. CONTRACTOR SHALL VERIFY AVAILABLE FLOW AND PRESSURE DOWNSTREAM FROM THE POINT-OF-CONNECTION PRIOR TO SYSTEM INSTALLATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF AVAILABLE FLOW IS LESS THAN REQUIRED TO RUN THE LARGEST ZONE. CONTRACTOR SHALL NOT PROCEED ANY FURTHER WITH INSTALLATION OF THE SYSTEM UNTIL NECESSARY DESIGN REVISIONS HAVE BEEN DETERMINED BY OWNER'S REPRESENTATIVE.

5. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR DIFFERENCES IN DIMENSIONS EXIST THAT MIGHT HAVE BEEN UNKNOWN DURING ENGINEERING. SUCH OBSTRUCTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO ADDITIONAL COST TO OWNER.

6. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

7. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SPRINKLER MATERIALS, INCLUDING PIPE, WITH THE LANDSCAPE DRAWINGS TO AVOID INTERFERING WITH THE PLANTING OF TREES, SHRUBS, OR OTHER PLANTINGS.

- 8. ALL VALVES ARE TO BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE
- 9. ALL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE 12 GAUGE UL DIRECT BURIAL OR LARGER AS REQUIRED BY LENGTH PER MANUFACTURER'S SPECIFICATIONS.
- 10. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO THE UNDISTURBED ADJACENT SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, HUMPS, OR OTHER IRREGULARITIES.
- II. A MINIMUM OF TWO WORKING DAYS PRIOR TO PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT AT 1-800-227-2600 FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRICAL CABLES, TELEPHONE CABLES, ETC.
- 12. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- 13. INSTALL ALL PIPE AND CONTROL WIRES IN LANDSCAPE BEDS AND IN COMMON TRENCHES WHEREVER POSSIBLE.
- 14. INSTALL ALL PIPE AND CONTROL WIRE, WHICH RUNS UNDER PAVING, WITHIN SCH. 40 PVC SLEEVES 4" DIA. MINIMUM SIZE AS REQUIRED TO ALLOW INSTALLATION WITHOUT BINDING. PROVIDE (I) SLEEVE PER PIPE. PROVIDE SEPARATE SLEEVES FOR CONTROL WIRE.

15. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR COMPLETE DRAINAGE OF THE MAINLINES BY INSTALLING MANUAL DRAINS AS INDICATED ON PLAN AND AT ALL SYSTEM LOW POINTS.

FLUSHING AND TESTING

- 16. PIPING SHALL BE COMPLETELY FLUSHED OF FOREIGN PARTICLES BEFORE ATTACHING IRRIGATION COMPONENTS AND DRAIN VALVES.
- 17. AFTER FLUSHING, AND WHEN ALL VALVES AND QUICK COUPLERS ARE IN PLACE, ALL MAIN SUPPLY LINES SHALL BE TESTED AT 100 POUNDS PER SQUARE INCH (100 PSI) WITH VALVES CLOSED. MAINTAIN PRESSURE FOR A PERIOD OF NOT LESS THAN (4) CONSECUTIVE HOURS. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED.
- 18. AFTER FLUSHING, LATERAL PIPES SHALL BE TESTED WITH RISERS CAPPED AND DRAIN VALVES CLOSED. THE TEST SHALL BE MADE AT MAXIMUM OPERATING PRESSURE FOR A PERIOD OF NOT LESS THAN (1) HOUR. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE PRIOR TO BACKFILLING OVER PIPING.
- 19. OPERATIONAL TESTING: PERFORM OPERATIONAL TESTING AFTER HYDROSTATIC TESTING IS COMPLETED. DEMONSTRATE TO THE OWNER'S REPRESENTATIVE THAT THE SYSTEM MEETS COVERAGE REQUIREMENTS (100%) AND THAT AUTOMATIC CONTROLS FUNCTION PROPERLY.
- 20. AFTER COMPLETION OF GRADING AND SOD PLACEMENT, CAREFULLY ADJUST SPRINKLER HEADS TO MEET HEIGHT INDICATED ON DRAWINGS.

SUBMITTALS

21. MATERIALS LIST: WITHIN (15) DAYS AFTER AWARD OF CONTRACT, SUBMIT TO OWNER'S REPRESENTATIVE (3) COPIES OF A COMPLETE MATERIAL LIST (PARTIAL LIST NOT ACCEPTABLE) OF ALL MATERIALS TO BE USED ON THE PROJECT, SPECIFYING MANUFACTURER, GRADE, TRADE NAME, CATALOG NUMBER, SIZE, ETC. THIS SHALL IN NO WAY BE CONSTRUED AS ALLOWING A SUBSTITUTION FOR ANY ITEM SPECIFIED ON THE PLANS. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE MAY BE REJECTED AND THE CONTRACTOR REQUIRED TO REMOVE THE MATERIALS AT HIS OWN EXPENSE.

INSTALLATION AND PERFORMANCE OF APPROVED SUBSTITUTIONS ARE THE CONTRACTORS RESPONSIBILITY. ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION MUST BE MADE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ADDITIONAL COST TO OWNER.

- 22. PRIOR TO SYSTEM INSTALLATION CONTRACTOR SHALL VERIFY AND SUBMIT TO OWNER'S REPRESENTATIVE IN WRITING, AVAILABLE FLOW AND PRESSURE AT POINT-OF-CONNECTION AS DESCRIBED IN SPECIFICATION #4 ABOVE.
- 23. COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION MATERIAL (CONTROLLER KEYS, ETC.) SHALL BE DELIVERED TO OWNER.
- 24. CONTRACTOR SHALL PREPARE AND ISSUE TO THE OWNER (AT COMPLETION OF THE INSTALLATION) AN ANNUAL CHART INDICATING LOCATION, OPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.

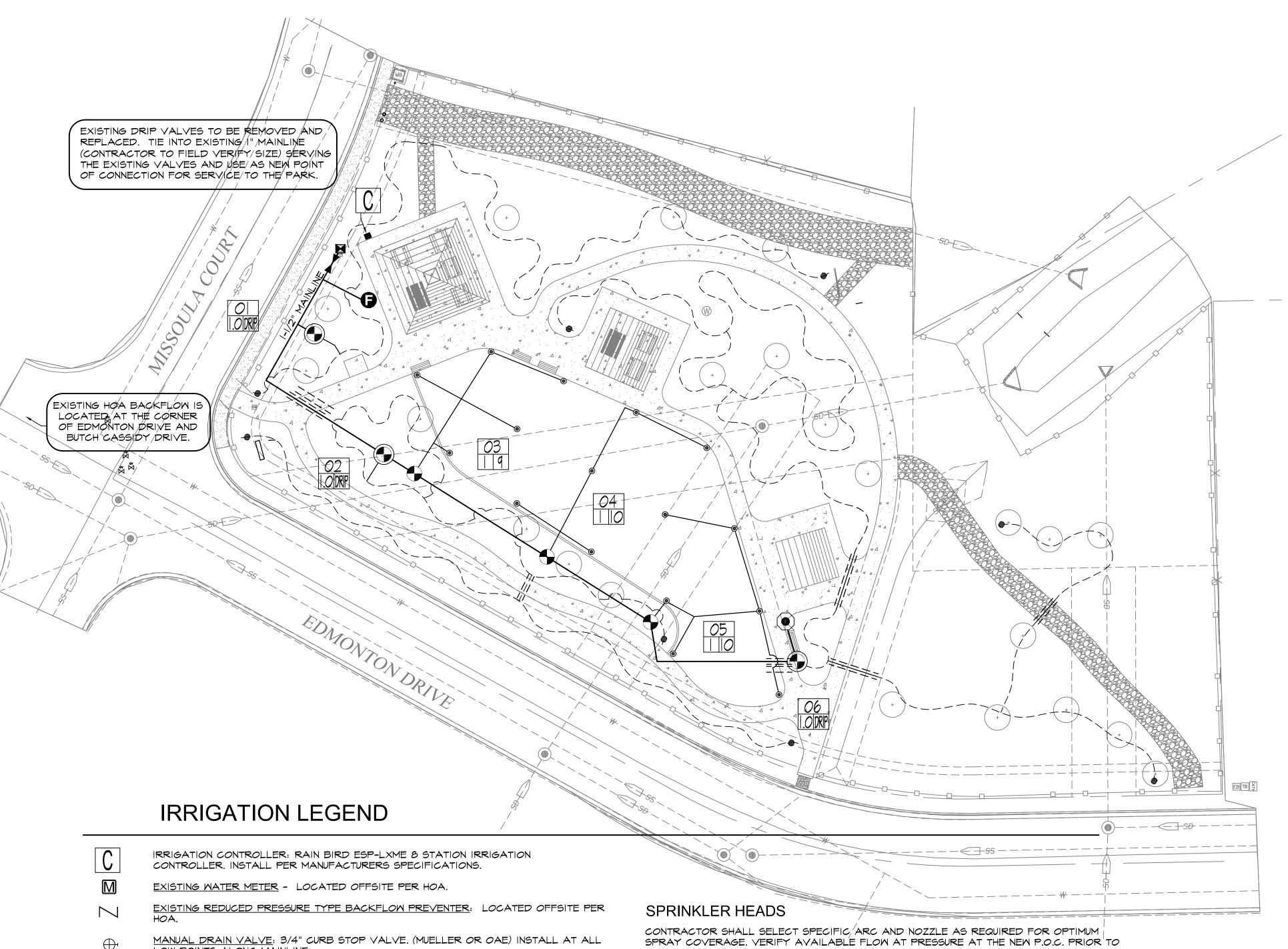
25. ASBUILT IRRIGATION DRAWINGS: CONTRACTOR SHALL FURNISH ASBUILTS OF THE COMPLETE IRRIGATION SYSTEM PROCURE FROM OWNER'S REPRESENTATIVE DIGITAL COPIES OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON THE CONSTRUCTION SITE AT ALL TIMES WHILE THE IRRIGATION SYSTEM IS BEING INSTALLED. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK INSTALLED DURING EACH DAY. ACTUAL LOCATION OF VALVES AND ALL IRRIGATION AND DRAINAGE PIPING SHALL BE SHOWN ON THE PRINTS BY DIMENSIONS FROM EASILY IDENTIFIED PERMANENT FEATURES, SUCH AS BUILDINGS, CURBS, FENCES, WALKS OR PROPERTY LINES. DRAWINGS SHALL SHOW APPROVED MANUFACTURER'S NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE TO SCALE AND ALL INDICATIONS SHALL BE NEAT. ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY WAY. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE AT OR BEFORE FINAL ACCEPTANCE/APPROVAL OF THE PROJECT.

GUARANTEE/FINAL ACCEPTANCE

26. CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. MANUFACTURER WARRANTIES SHALL ONLY EXCEED THIS GUARANTEE AND CONTRACTOR SHALL BE LIABLE FOR REPAIRS/REPLACEMENT OF FAILED MATERIAL/WORKMANSHIP

MAINTENANCE

27. AFTER SYSTEM IS INSTALLED AND APPROVED, INSTRUCT OWNER'S DESIGNATED PERSONNEL IN COMPLETE OPERATION AND MAINTENANCE PROCEDURES. DRAIN ENTIRE SYSTEM AT END OF FIRST WATERING SEASON FOLLOWING INSTALLATION. TRAIN OWNER'S DESIGNATED PERSONNEL BY HAVING THEM ASSIST IN WINTERIZING PROCEDURE.



LOW POINTS ALONG MAINLINE

CURB STOP VALVE: MUELLER (OAE) FOR MAINLINE ISOLATION. SAME SIZE AS

SPRAY VALVE: RAIN BIRD PESB (WITH PRS-D MODULE TO PREVENT MISTING IF NEEDED DUE TO HIGH PRESSURE).

<u>DRIP VALVE ASSEMBLY:</u>

MINIMUM DEPTH.

FLOWS FROM 3-20 GPM INSTALL RAIN BIRD XCZ-PRB-100-COM DRIP KIT. QUICK COUPLER: RAIN BIRD 44-LRC. PROVIDE OWNER WITH TWO VALVE KEYS (RAIN BIRD 44-K).

FLOWS UP TO 3 GPM INSTALL RAIN BIRD XCZ-LF-100-PRF LOW FLOW DRIP KIT.

FREE-STANDING FREEZELESS YARD HYDRANT, WOODFORD MODEL R34 WITH DUCTILE HEAD AND HANDLE, ALL METAL CONSTRUCTION, AND TAMPERPROOF LOCK.

MAINLINE: 1-1/2 INCH SCH. 40 PVC. INSTALL AT 24 INCH MINIMUM DEPTH. (NO STRADDELS) ALL MAINLINE FITTINGS SHALL BE SCH 80.

VALVE I.D. - STATION #, VALVE SIZE, AND APPROX. G.P.M.

DRIP DISTRIBUTION TUBING: 3/4" SALCO FLEXIBLE PVC TUBING IRRIGATION TUBING WITH REMOVABLE FLUSH CAP.

<u> ATERAL PIPES:</u> SCH. 40 PVC LATERAL - SIZE PER CHART. INSTALL AT 18 INCH

SLEEVES: ALL IRRIGATION SLEEVES UNDER STREETS AND DRIVEWAYS SHALL BE 4 INCH MINIMUM SCH. 40 PVC. SLEEVES FOR DRIP TUBING UNDER SIDEWALKS MAY BE 2 INCH MINIMUM SCH. 40. PROVIDE ONE SLEEVE PER PIPE AND ONE SLEEVE FOR MIRING.

VALVE BOXES (NOT SHOWN): ALL VALVES SHALL BE LOCATED IN RAIN BIRD PVB PROFESSIONAL SERIES VALVE BOXES PER DETAILS. NOTE: ANY BOXES LOCATED IN PAVED AREAS (IF NEEDED) SHALL BE TRAFFIC RATED CONCRETE.

THE START OF CONSTRUCTION. CONTACT PROJECT LANDSCAPE ARCHITECT FOR SYSTEM DESIGN REVISIONS IF AVAILABLE FLOW AND/OR PRESSURE IS LESS THAN MINIMUM REQUIRED TO EFFICIENTLY OPERATE THE HEADS AS SHOWN.

SPRINKLER HEAD DESCRIPTION

RAIN BIRD 5004 + FC R SS - FULL: 3.0 NOZZLE 36' RAD @ 2.26 GPM RAIN BIRD 5004 + PC R SS - HALF: 2.5 NOZZLE 35' RAD @ 1.80 GPM RAIN BIRD 5004 + PC R SS - QUARTER: 1.5 NOZZLE 33' RAD @ 1.12 GPM

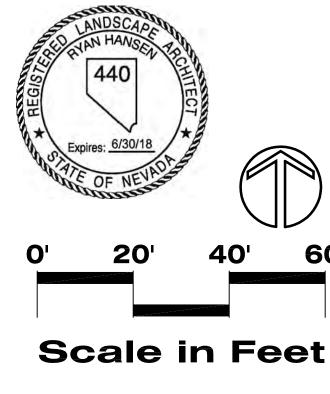
IRRIGATION LATERAL PIPE SIZE CHART		
PIPE SIZE	FLOW RATE	
3/4" SCH 40		
1-1/4" SCH 40		
1-1/2" SCH 40		
2" SCH 40 2-1/2" SCH 40		

EMITTER SCHEDULE

- DECIDUOUS TREES: (6) SALCO 2 GPH PRESSURE COMPENSATING EMITTERS
- EVERGREEN TREES: (4) SALCO 2 GPH
- PRESSURE COMPENSATING EMITTERS • #5 SHRUBS: (3) SALCO | GPH PRESSURE COMPENSATING EMITTERS
- (NEW) POINT OF CONNECTION. TIE INTO EXISTING I" MAINLINE (CONTRACTOR TO FIELD VERIFY

SIZE AND AVAILABLE PRESSURE)

PERMIT SET



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Designed: 655

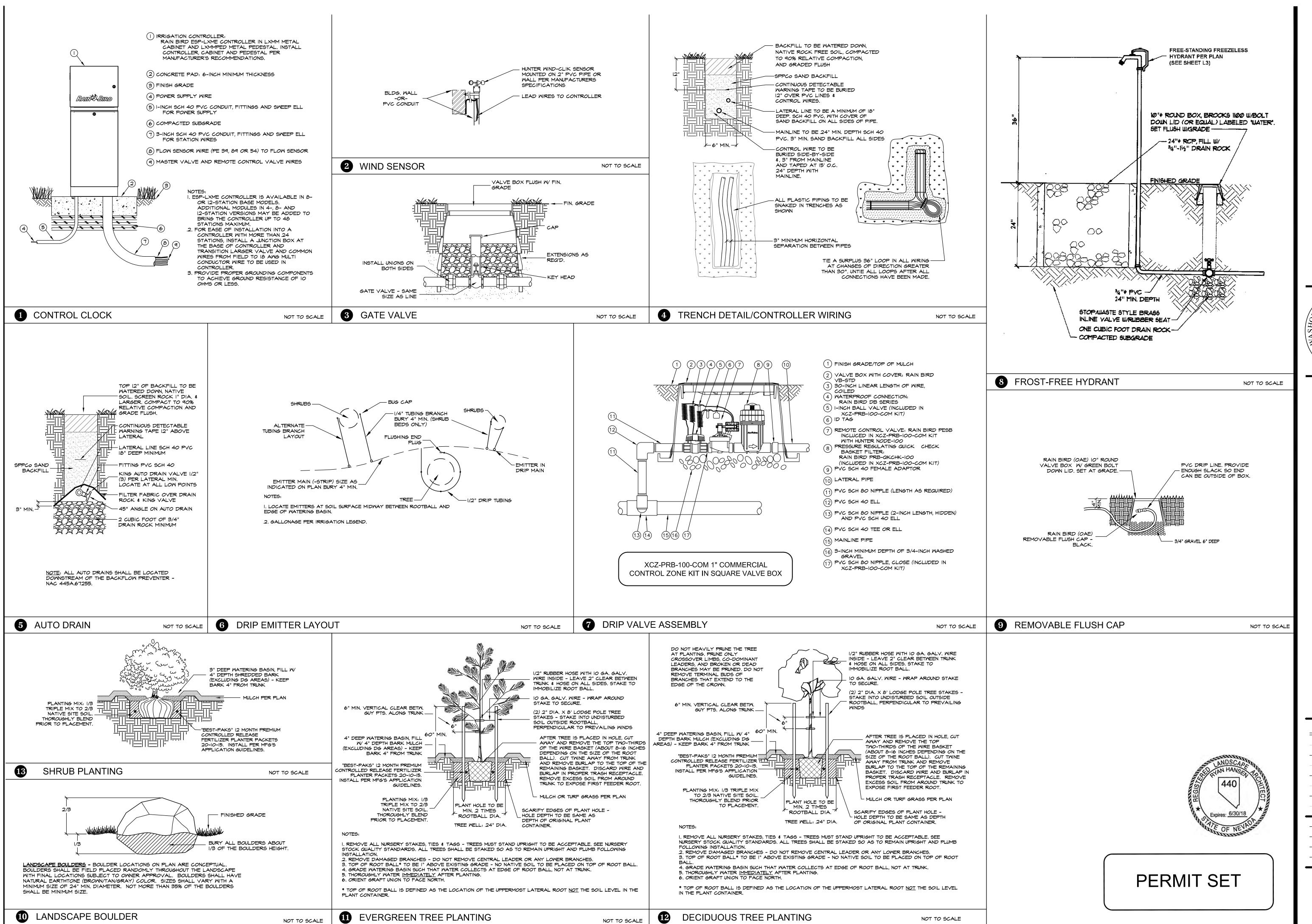
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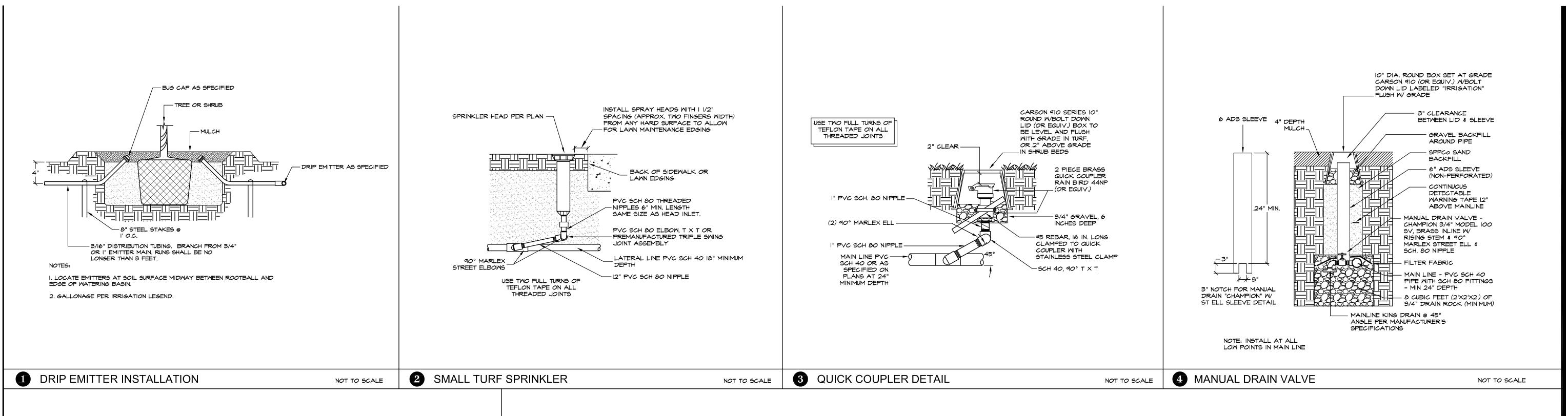


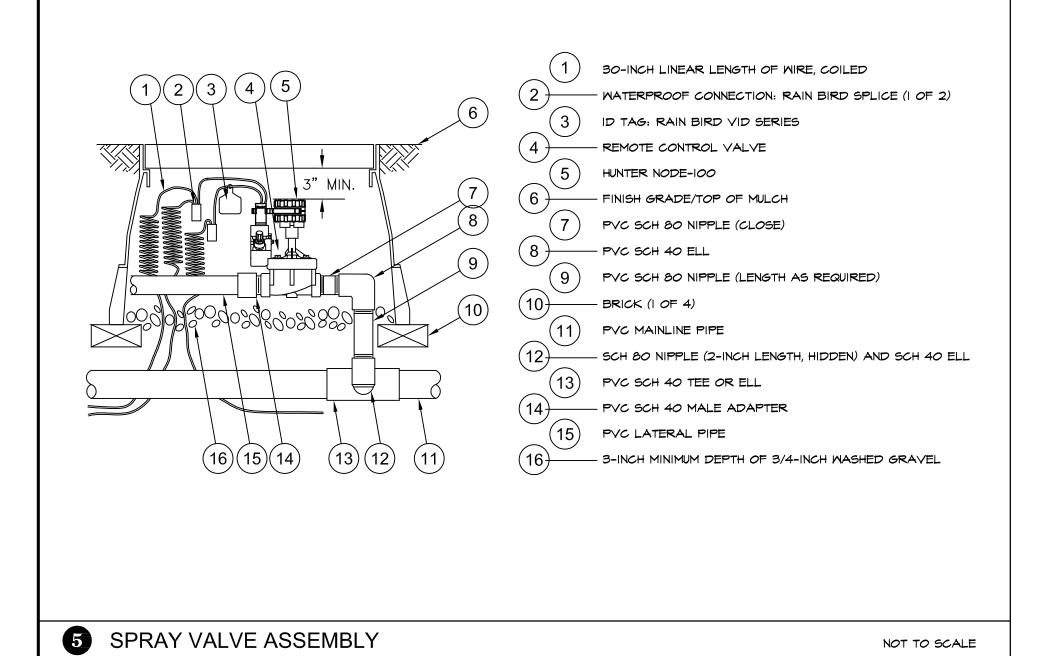
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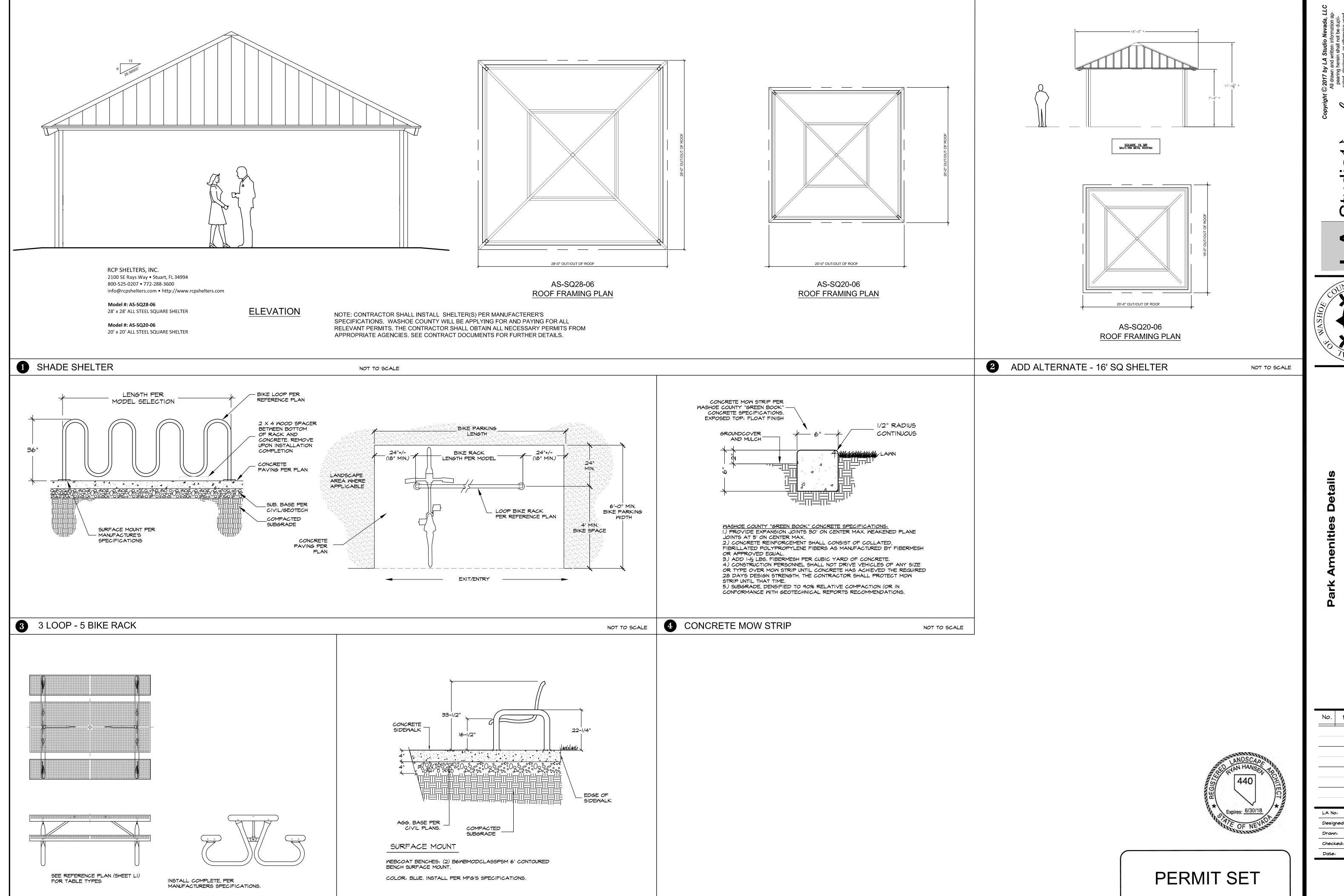
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9 6' BENCH SURFACE MOUNT DETAIL

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8 PORTABLE PICNIC TABLE

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Revision Date

LA No: 088-510-03-17 Designed: GSS Drawn: 655

Checked: RWH 8/2/17



GENERAL ELECTRICAL NOTES:

1. IT IS THE INTENT OF THESE DRAWINGS TO REQUIRE A COMPLETE AND FINISHED ELECTRICAL SYSTEM IN EVERY WAY. FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.

2. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY AND LOCAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT STANDARDS. CODES AND PRACTICES AS REQUIRED BY: 2011 NEC, 2012 IBC, 2012 IECC AND UTILITY COMPANY STANDARDS.

3. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS, AT THE PROJECT SITE, PRIOR TO SUBMITTING A BID. NO EXTRA PAYMENT WILL BE MADE FOR CONDITIONS THAT WOULD HAVE BEEN EVIDENT DURING A SITE INSPECTION. PAYMENT WILL BE MADE FOR CONDITIONS THAT WOULD HAVE BEEN EVIDENT DURING A SITE INSPECTION.

4. APPEARANCE AND WORKMANSHIP SHALL BE OF THE HIGHEST STANDARDS OF QUALITY. ONLY LICENSED ELECTRICIANS AND TECHNICIANS SHALL BE USED TO ACCOMPLISH THE ELECTRICAL WORK.

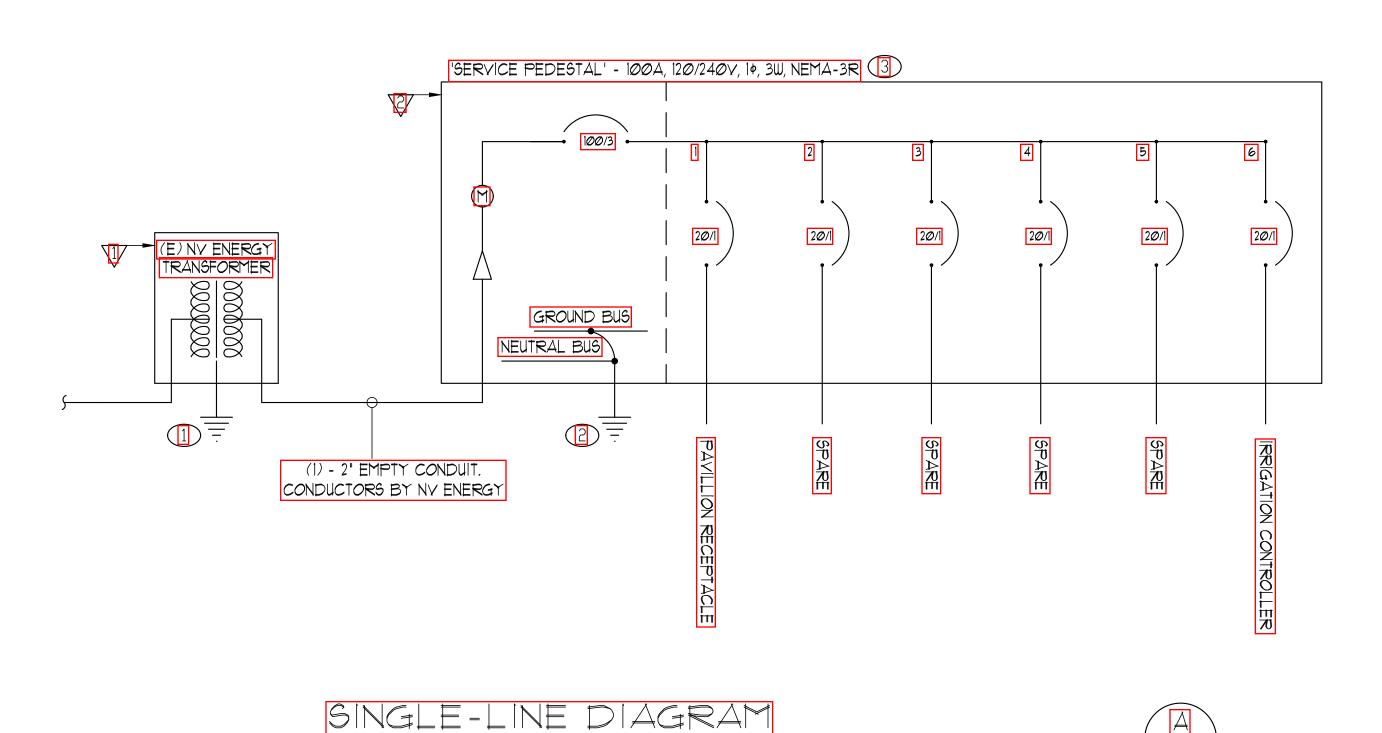
5. ELECTRICAL CONTRACTOR SHALL GUARANTEE THE ELECTRICAL WORK TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. LIGHTING LAMPS SHALL BE EXEMPT FROM THIS REQUIREMENT BUT SHALL BE NEW AND IN PERFECT WORKING ORDER AT THE TIME OF FINAL ACCEPTANCE.

6. VERIFY THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT AND OUTLETS PRIOR TO ROUGHING-IN. FINAL CONNECTIONS TO EQUIPMENT SHALL BE MADE ACCORDING TO THE EQUIPMENT MANUFACTURERS APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS.

7. ELECTRICAL CONTRACTOR SHALL PROVIDE A NEAT AND COMPLETE SET OF 'AS-BUILT' DRAWINGS WITHIN 30 DAYS OF FINAL ACCEPTANCE OF HIS WORK.

8. CONDUIT/CONDUCTOR RUNS SHOWN ARE DIAGRAMMATICAL ONLY. THE BEST FINAL CONDUIT ROUTING SHALL BE AS DETERMINED BY THE ELECTRICAL CONTRACTOR AT THE TIME OF INSTALLATION.

9. ALL CONDUCTORS SHALL BE COPPER TYPE THHN/THWN 90° C. RATED.



NOTES: (SINGLE-LINE DIAGRAM, ONLY

[1] EXISTING NV ENERGY TRANSFORMER SECONDARY GROUND ROD.

5. #3/0 CU MINIMUM MAIN BONDING JUMPER.

- (2) GROUND MAIN ELECTRICAL SERVICE PER NEC ARTICLE 250-C INCLUDING: 30' - #3/0 CU CONCRETE ENCASED 'UFER' GROUNDING ELECTRODE #3/0 CU CONNECTION TO EACH METAL PIPING SYSTEM. . #3/0 CU CONNECTION TO BUILDING STRUCTURAL STEEL. 4. *6 CONNECTION TO THE TELEPHONE TERMINAL CABINET
- (3) TESCO CONTROLS TESCOFLEX SINGLE METER SERVICE UTILITY PEDESTAL #24-200 OR APPROVED EQUIVALENT ELECTRICAL SERVICE PEDESTAL 100A MAIN CIRCUIT BREAKER, 120/240V., 14, 3W, N3R. ENCLOSED MODULAR METER/MAIN SERVICE PEDESTAL. PROVIDE AND INSTALL COMPLETE WITH INTEGRAL 12 CIRCUIT PANEL ('SPI') AND IRRIGATION CONTROLLER.

'SP-1' SCHEDULE			
POSITION NO.	LOAD DESCRIPTION	BREAKER SIZE	LOAD KVA
SP - 1	PAVILLION LIGHT	20/1	Ø.25
SP - 2	SPARE	20/1	0.00
SP - 3	SPARE	20/1	0.00
SP - 4	SPARE	20/1	0.00
SP - 5	SPARE	20/1	0.00
SP - 6	IRRIGATION CONT.	20/1	Ø.25
		TOTAL KVA	= 0.50
		@ 24ØV 1¢	= 2.08 AMPERES

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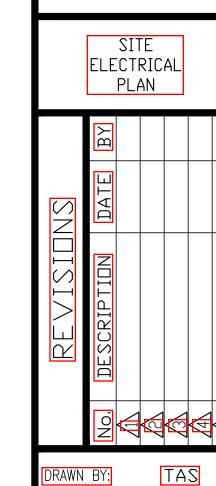
	EQUIPMENT SCHEDULE	
EQP. NO.	EQUIPMENT DESCRIPTION	NOTES
	E) NY ENERGY TRANSFORMER	COORDINATE WITH NV ENERGY
	N) SERVICE PEDESTAL 'SP' - 100A, 120/240V, 14, 3W, N3R	TESCO

PROJECT NO: C122XV

SHEET NUMBER

SYMBOLS, NOTES &

Electrical Engineers Reno, Nevada 89521-2968 Fax (775) 852-3388 SHEET 1 OF 2 email: jeneng@nvbell.net web: www.jeneng.com



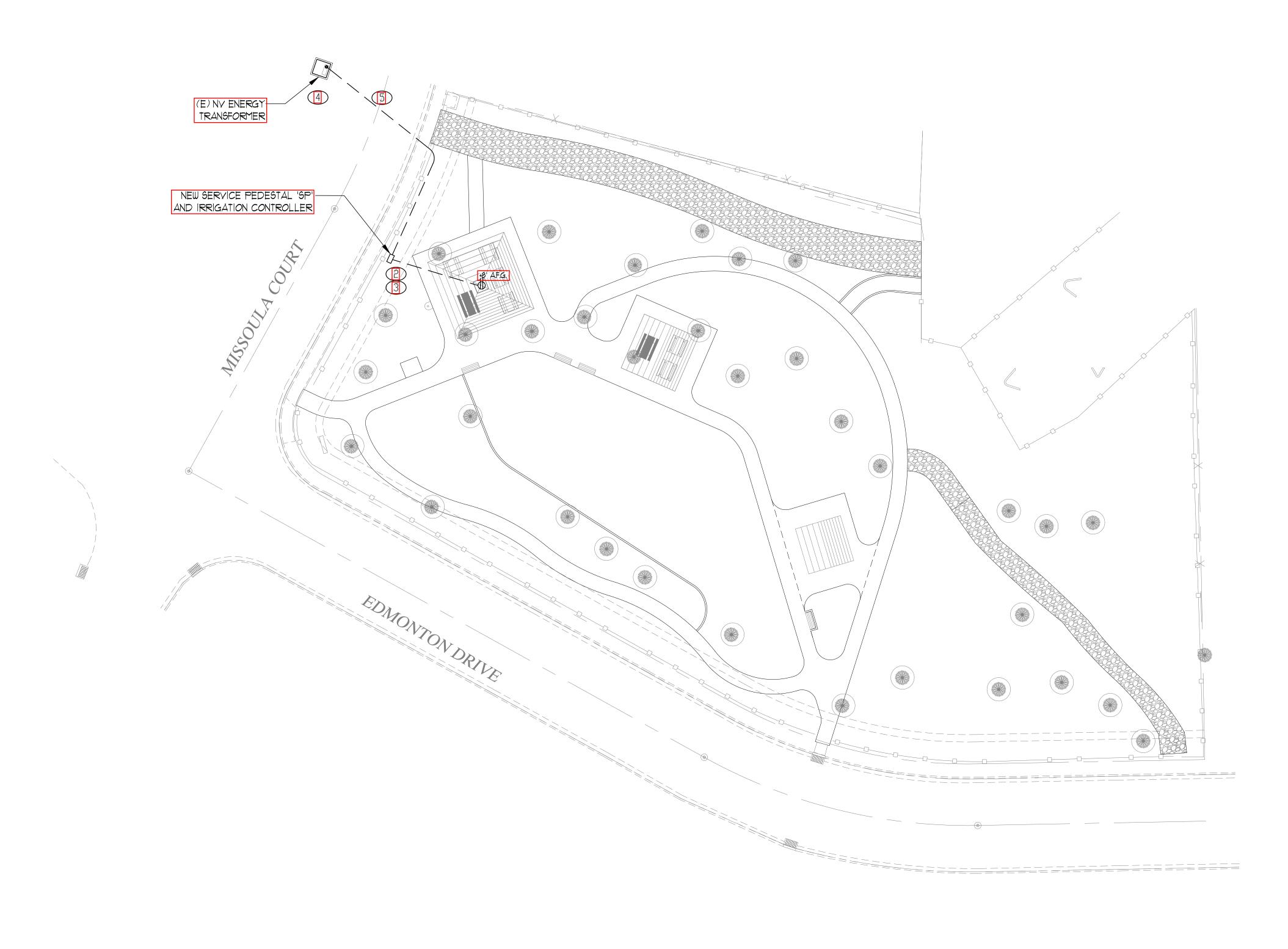
TAS DESIGNED BY: GGJ 6-29-17 PROJECT NO: C122XV

SHEET NUMBER

SHEET 2 OF 2

JENSEN

ENGINEERING INC. Electrical Engineers Reno, Nevada 89521-2968 9655 Gateway Drive Ph. (775) 852-2288 Fax (775) 852-3388 email: jeneng@nvbell.net web: www.jeneng.com





NOTES: (THIS SHEET ONLY)

ELECTRICAL CONTRACTOR SHALL COORDINATE THE ELECTRICAL SERVICE WORK

WITH THE SERVING UTILITY CO (NY ENERGY) AND SHALL PROVIDE AND INSTALL ALL

NECESSARY UTILITY INFRASTRUCTURE AS DETAILED BY UTILITY COMPANY WORK

PROVIDE AND INSTALL (2) - 1" CONDUIT STUB-OUTS FROM ELECTRICAL

COMPARTMENT (OF PEDESTAL) FOR FUTURE ELECTRICAL LOADS. PROVI

AND INSTALL (2) - 2" CONDUIT STUB-OUTS FROM IRRIGATION CLOCK ORDER DRAWINGS.

PROVIDE AND INSTALL ELECTRICAL SERVICE AND EQUIPMENT COMPLETE INCLUDING 36" X 36" X 10" STEEL REINFORCED CONCRETE MOUNTING BASE AND ANCHOR BOLTS. VERIFY EXACT LOCATION OF ELECTRICAL EQUIPMENT, AND IRRIGATION CONTROLLER WITH OWNER AND LANDSCAPE ARCHITECT PRIOR TO ROUGH IN.

COMPARTMENT (OF PEDESTAL) FOR FUTURE ELECTRICAL LOADS. PROVIDE AND INSTALL (2) - 2" CONDUIT STUB-OUTS FROM IRRIGATION CLOCK COMPARTMENT (OF PEDESTAL) FOR IRRIGATION WIRING. COORDINATE WITH LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK.

(4) COORDINATE WITH HOME OWNER TO INSTALL CONDUIT WITHIN UTILITY EASEMENT. REPLACE ANY EXISTING LANDSCAPING DURING EXCAVATION.

CUT, PATCH, AND REPLACE EXISTING ROAD AND SIDEWALK AS NECESSARY.

GALENA TERRACE MAINTENANCE ASSOCIATION

LANDSCAPE MAINTENANCE

Galena Terrace Maintenance Association (GTMA) agrees to furnish all labor, supervision, tools, materials, and equipment necessary to maintain Galena Terrace Park (Park). GTMA shall maintain the Park in accordance with the following specifications and conditions which adhere to and in most cases exceed HOA maintenance specification.

GROWING SEASON

(Starting first week of April through October, weather permitting)

1. TREES. SHRUBS, AND VINES

GTMA shall prune and trim trees, shrubs, and vines on a regular basis to maintain a neat appearance and promote healthy growth.

2. MOWING & SPRINKLER

GTMA shall mow all park lawns on a weekly basis through the growing season so as to maintain a neat appearance and to promote healthy growth. GTMA shall edge grass around trees, sprinklers, fences, lights, curbs, etc. After mowing and edging, GTMA shall remove all clippings from sidewalks, driveways, and curbs. GTMA shall check sprinkler weekly.

3. THATCHING

GTMA shall thatch and aerate lawn area at least once annually.

4. QUALITY FERTILIZER AND SOIL AMENDMENTS

GTMA shall fertilize the lawns four (4) times per year to maintain healthy growth and two (2) times a year to shrubs and trees. Application shall be determined by the time of the year, soils, type and condition of lawns and plantings. GTMA shall use quality fertilizers and soil amendment.

5. PARK MAINTENANCE

- **GTMA shall** remove leaves, dead branches, weeds, animal feces, etc. as needed.:
- **GTMA shall** maintain dog posts (once installed) by keeping disposal bags supplied and emptying waste receptacles as needed;
- **GTMA shall** walk the entire area weekly checking for maintenance needs and issues requiring attention.
- **GTMA shall** apply quality weed control application to weeds as needed.
- **GTMA shall** remove trash, paper plastic/bottles, and other debris from the common area as needed.

DORMANT SEASON

(Starting first week of November through March, depending upon weather)

GALENA TERRACE MAINTENANCE ASSOCIATION

LANDSCAPE MAINTENANCE

6. SNOW AND ICE REMOVAL

- **GTMA shall** clear snow and ice from Park sidewalks after 2 inches of snow accumulation.
- **GTMA shall** apply appropriate ice remover to keep sidewalks open and safe for Park users. GTMA shall use ice remover that shall not deteriorate or damage concrete sidewalks, curbing's, or gutters. GTMA shall be responsible for repairing any and all damage caused by applying the wrong ice remover or applying ice remover incorrectly.