



# Board of Adjustment Staff Report

Meeting Date: August 6, 2026

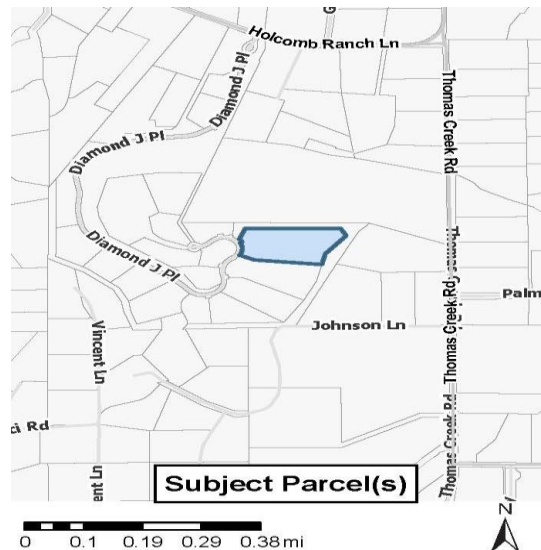
Agenda Item: 8D

|                                 |                                                                                     |
|---------------------------------|-------------------------------------------------------------------------------------|
| SPECIAL USE PERMIT CASE NUMBER: | WSUP26-0007 (Diamond J)                                                             |
| BRIEF SUMMARY OF REQUEST:       | Grading in areas exceeding 30% slopes for the development of a single-family house. |
| STAFF PLANNER:                  | Eric Young / Senior Planner<br>775.328.3613<br>EYoung@washoecounty.gov              |

## CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit for grading in areas exceeding 30% slopes for the development of a single-family house. This application is submitted by Gestore LLC on behalf of Gestore LLC. The subject property is located at 2359 Diamond J Place (APN 230-031-12) and consists of approximately 4.3 acres.

The proposal is being reviewed under Development Code Article 810, Special Use Permits and is situated within Commission District 2- Commissioner Clark. The site is currently governed by the Rural Master Plan land use designation and the General Rural Regulatory Zone zoning district, within the boundaries of the Southwest Truckee Meadows Planning Area.



Vicinity Map

## STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

1001 E. Ninth St., Reno, NV 89512-2845

Telephone: 775.328.6100

[www.washoecounty.gov/csd/planning\\_and\\_development](http://www.washoecounty.gov/csd/planning_and_development)

**WSUP26-0007  
DIAMOND J**

**Staff Report Contents**

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The technical reports submitted with the project application are extensive. To review the complete project application with technical reports on-line click *here* or contact Planning at [Planning@washoecounty.gov](mailto:Planning@washoecounty.gov) to have a copy sent by email.

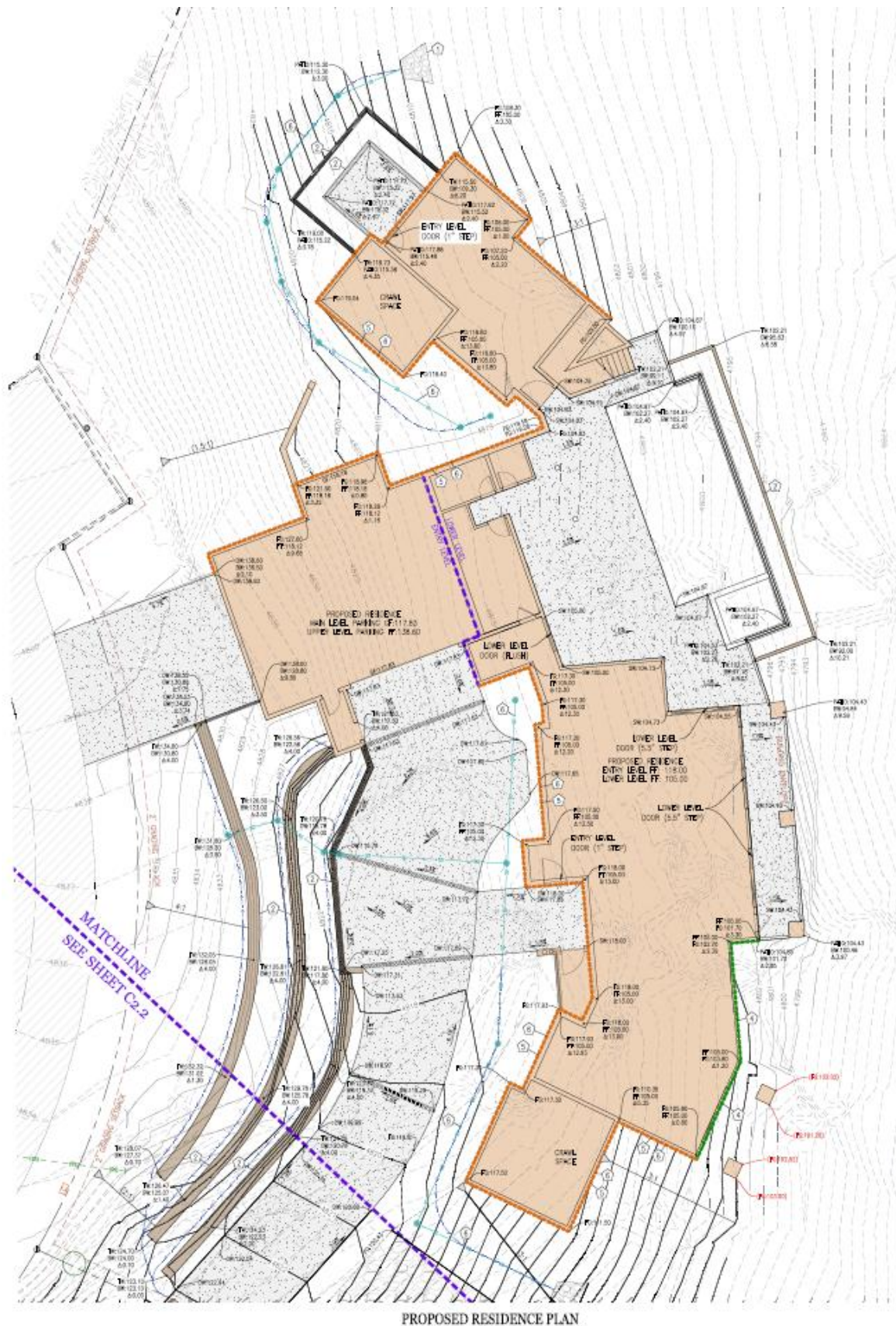
### **Special Use Permit**

The purpose of a special use permit (SUP) is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

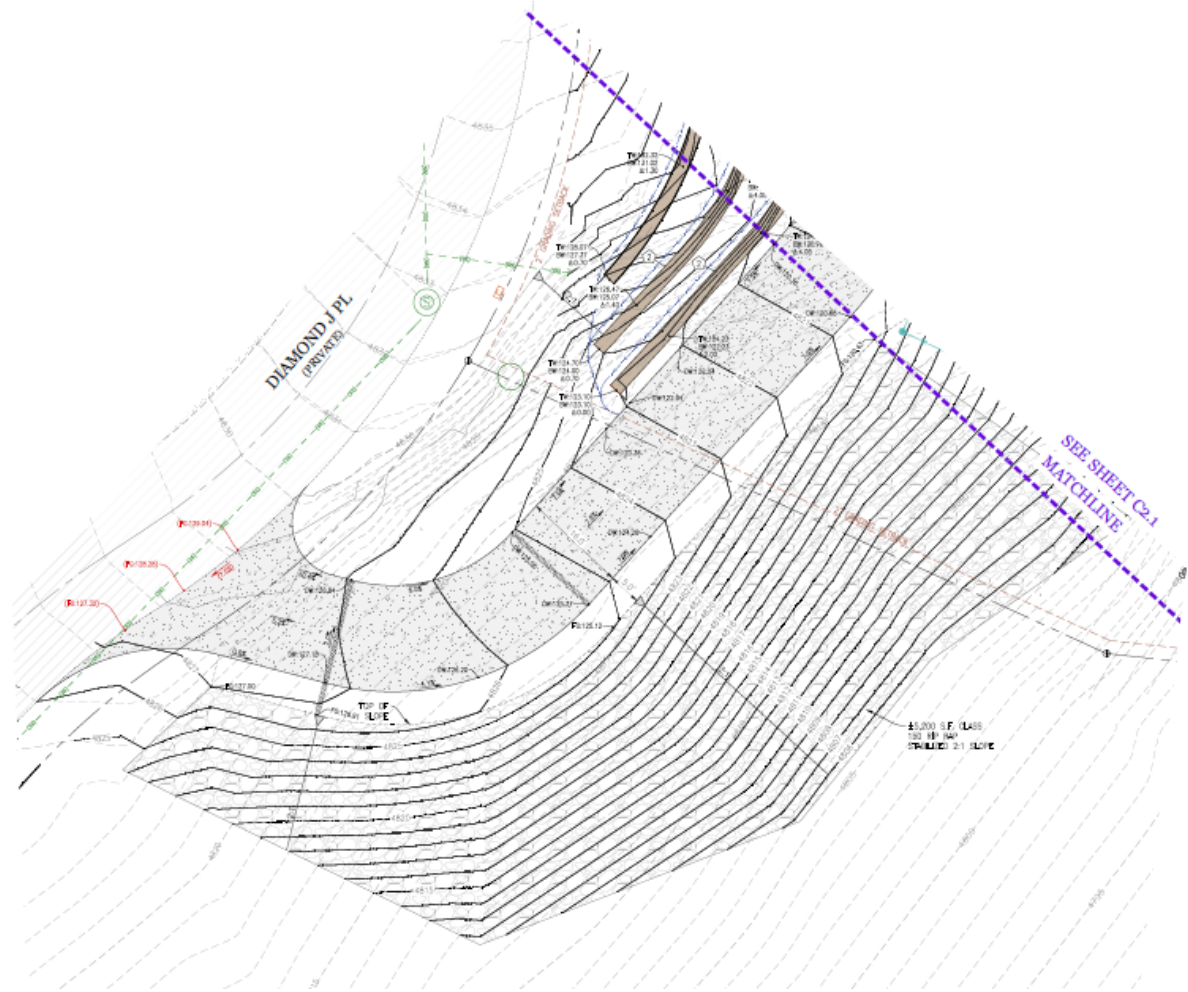
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP26-0007 are attached to this staff report and will be included with the action order.

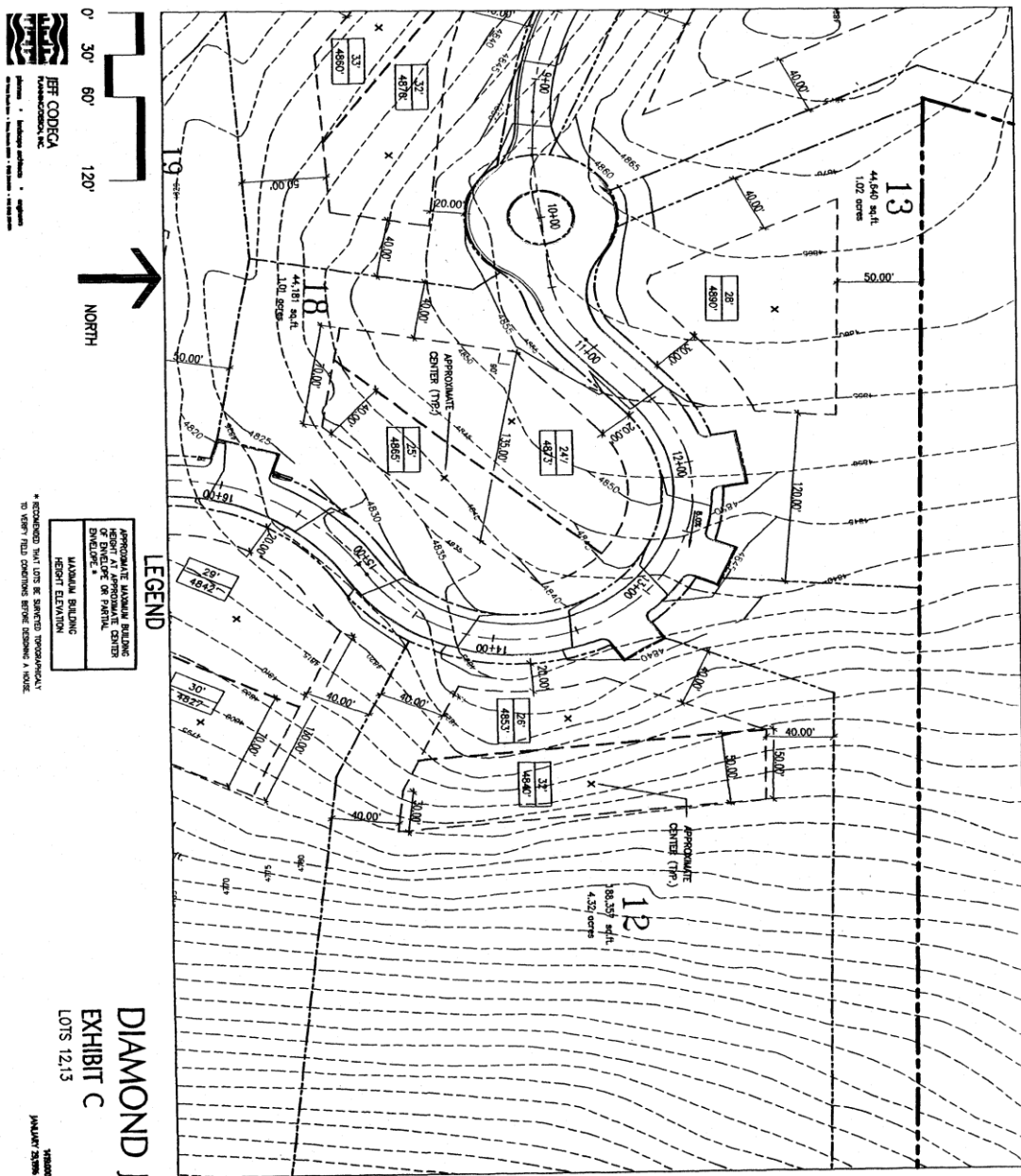
The subject property is designated as General Rural (GR). The proposed grading would cut across slopes greater than 30%. The proposed grading is permitted in GR with a special use permit per WCC 110.438.28(a)(2). Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



**APN 230-031-12 Site Plan**



**APN 230-031-11 Site Plan**



**Building footprint established by Subdivision Map.**

### **Project Evaluation**

This special use permit request is to enable the construction of a driveway and associated drainage facilities to support the development of a single-family home at 2359 Diamond J Place, located in the Diamond J subdivision south of Holcomb Ranch Lane in the

Southwest Truckee Meadows Planning Area. The master plan designation for this subdivision and parcel is Rural. The regulatory zone for the subdivision and parcel is GR. These designations are primarily due to the existence of significant slopes throughout the area.

In regard to the subject parcel (APN 230-031-12), these development constraints limit the ability to establish a building area, as well as making access to an established building area challenging. For this reason, the parcels in the Diamond J subdivision each have an established building area that was created at the time of map approval. These building areas were designed to ensure the least amount of grading would be necessary to develop a single-family residence on each parcel. The location of the building area for the subject parcel prevents the development of the back portion of the parcel, which is the steepest and most development constrained.

However, to further limit the grading necessary on this parcel, approaching the building pad across the existing slope is the best solution. This solution enables the driveway grades required by both the Engineering Division and the Truckee Meadows Fire Protection District. The optimal angle of approach necessitates starting the driveway cut from the neighboring parcel to the south (APN 230-031-11). The neighboring property owner is in support of this concept and has provided an affidavit for joint application. This proposed concept will facilitate the development of a future driveway to the building area on this property as well. In addition to participating in the application, the adjoining property will also have to agree to the required access, slope and other easements described in the conditions of approval.

This special use permit is necessary because some of the slope which the proposed driveway would cut across reaches 30%. This 30% slope exceeds the threshold to require a special use permit as established in Article 436, Grading. The total volume of grading is approximately 2,590 cubic yards and includes an area of approximately 29,530 square feet of disturbance. Additionally, the application indicates that approximately 810 cubic yards of earthen material will be imported to the site. However, the only grading threshold that triggers the requirement for a special use permit is the grading in areas that exceed a 30% slope.

The proposed cut across the existing slope is potentially scarring to the hillside. Therefore, mitigating conditions are being proposed to ensure the finished driveway and drainage system do not produce a lasting scar in the neighborhood. The applicant is also proposing to treat the developed driveway with significant landscaping to produce a finished product that will not be injurious to adjacent properties and will be consistent with the established neighborhood character. In addition to mitigating the potential visual impacts of the project, conditions have also been proposed to ensure the safety and long-term stability of the developed area. See Exhibit A, Conditions of Approval for details.

### **Master Plan Consistency**

There are no policies specific to the Southwest Truckee Meadows Planning Area relevant to this grading SUP. The project is consistent with the applicable Envision Washoe 2040 Priority Principles & Policies as described in Table 1.

**Table 1: Master Plan Element Conformance Priority Principles & Policies**

| Master Plan Element                                                           | Priority Principles & Policies | Explanation of Conformance with Priority Principles & Policies                                                                                                                                                              |
|-------------------------------------------------------------------------------|--------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>AR Principle 1. Limit development in the Development Constraints Area.</b> |                                |                                                                                                                                                                                                                             |
| <b>1.1. Minimize development in areas with natural steep slopes.</b>          |                                | This SUP is required in order to ensure development in areas with steep slopes – in this case a driveway crossing 30% slopes – is regulated appropriately to mitigate potential scenic, natural hazard, and safety impacts. |

### Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

| Agencies                                                         | Sent to Review | Responded | Provided Conditions | Contact                                                                                                    |
|------------------------------------------------------------------|----------------|-----------|---------------------|------------------------------------------------------------------------------------------------------------|
| Washoe County District Attorney, Civil Division                  | X              |           |                     |                                                                                                            |
| Washoe County Sewer                                              | X              |           |                     |                                                                                                            |
| Washoe County Water Resource Planning                            | X              |           |                     |                                                                                                            |
| Washoe County Engineering (Land Development) (All Apps)          | X              | X         | X                   | Multiple, see proposed conditions of approval. Exhibit A                                                   |
| Washoe County Engineering & Capital Projects Director (All Apps) | X              | X         | X                   | Multiple, see proposed conditions of approval. Exhibit A                                                   |
| WVPH Environmental Health                                        | X              |           |                     |                                                                                                            |
| TMFPD                                                            | X              | X         | X                   | Jenny Williamson Contact: <a href="mailto:jewilliamson@tmfpd.us">jewilliamson@tmfpd.us</a> or 775-444-8521 |
| Washoe-Storey Conservation District                              | X              | X         | X                   | Jim Schaffer. Washoe Story Conservation District.                                                          |

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

### **Staff Comment on Required Findings**

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Area Plan.

*Staff Comment: There are no policies specific to the Southwest area plan that apply to this grading special use permit. This special use permit implements policy AR 1.1 by ensuring development on steep slopes is appropriately reviewed.*

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

*Staff Comment: This determination was established at the time of approval of the Diamond J subdivision. Since that time the necessary infrastructure has been extended to the subdivision is and available for the subject parcel.*

- (c) Site Suitability. That the site is physically suitable for a single-family residence and for the intensity of such a development.

*Staff Comment: This site is physically challenged by significant slopes. This special use permit will enable the responsible development of this parcel for its intended purpose.*

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

*Staff Comment: The conditions of approval and the mitigating measures proposed by the applicant ensure that the proposed development will not be detrimental to the surrounding area.*

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

*Staff Comment: N/A*

### **Recommendation**

After a thorough analysis and review, Special Use Permit Case Number WSUP26-0007 is recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

### **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP26-0007 for Gestore LLC, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Planning Area;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for a single-family residence, and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

### **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.



# Conditions of Approval

Special Use Permit Case Number WSUP26-0007

The project approved under Special Use Permit Case Number WSUP26-0007 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on August 4, 2026. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

**Unless otherwise specified**, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions." These conditions must be continually complied with for the life of the project or business.
- 

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning and Building Division**

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

**Contact Name – Eric Young, Senior Planner, 775.328.3613, [eyoung@washoecounty.gov](mailto:eyoung@washoecounty.gov)**

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. **The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.**
- c. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit.
- d. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and all applicable building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- e. A note shall be placed on all construction drawings and grading plans stating:

**NOTE**

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. Construction hours are 7am to 7pm Monday through Saturday. Any construction machinery activity or any noise associated with the construction activity are also limited to these hours.
- e. The following **Operational Conditions** shall be required for the life of the project:
  - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
  - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
  - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the special use permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify Planning and Building of

the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

**Washoe County Engineering and Capital Projects**

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

**GENERAL CONDITIONS**

Contact Information: Robert Wimer, P.E. (775) 328-2059

**Conditions:**

1. This project includes two parcels and therefore the applicant shall record and identify all necessary easements, including but not limited to access, slope and utility easements, to allow construction of the proposed improvements on both identified parcels. Easements shall be recorded prior to the commencement of construction.
2. The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.
3. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed to be conveyed onto adjacent property.

**GRADING (COUNTY CODE 110.438)**

Contact Information: Robert Wimer, P.E. (775) 328-2059

**Conditions:**

1. Final construction drawings shall comply with all applicable statutes, ordinances, rules, regulations, and policies in effect at the time of submitting the subsequent individual building permits.
2. Prior to acceptance of public improvements and release of any financial assurances, the developer shall provide as-built construction drawings in an acceptable digital format prepared by a civil engineer and/or surveyor licensed in the State of Nevada.
3. A complete set of construction improvement drawings, including an onsite grading plan, shall be submitted to the County Engineer for approval prior to finalization of any portion of the special use permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading and drainage on each lot, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or disposal of any excavated material shall be indicated on the grading plan. The applicant shall ensure the driveway slope does not exceed 14%.
4. Any existing easements, facilities, or utilities that conflict with the development shall be relocated, quitclaimed, and/or abandoned, as appropriate.

## Washoe County Conditions of Approval

5. Any easement documents recorded for the project shall include an exhibit map that shows the location and limits of the easement in relationship to the project.
6. Add the following note to the building permit civil improvement plans: "All public utilities shall be placed underground, except in the case where underground placement of utilities is shown not to be feasible, in which case the County Engineer may approve exceptions to this requirement."
7. With each affected building permit application, provide written approval from all utility provider(s) for any improvements located within their easement, or under or over their facilities.
8. Appropriate easements shall be granted for any existing or new utilities, with each affected building permit application.
9. Slope easements shall be provided for areas of cut or fill that fall outside of the project boundary.

### **DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)**

Contact Information: Robert Wimer, P.E. (775) 328-2059

#### **Conditions:**

1. The following note shall be added to the construction drawings; "All properties, regardless of if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

### **TRAFFIC AND ROADWAY (COUNTY CODE 110.436)**

Contact Information: Mitchell Fink, P.E. (775) 328-2050

#### **Conditions:**

1. All roadway improvements necessary (including but not limited to, curb, gutter, sidewalk, signing and striping, driveway access, and street lighting) to serve the project shall be designed and constructed to County standards and specifications to the satisfaction of the County Engineer.
2. Provide documentation of access and permission to construct improvements on the adjacent property to the satisfaction of the County Engineer.

### **UTILITIES (County Code 422 & Sewer Ordinance)**

Contact Information: Katrina Pascual, P.E. (775) 954-4648

#### **Conditions:**

1. The applicant shall conform to all conditions imposed by intergovernmental agreements required to provide sewer and reclaim water service to the subject project, and, if required, be a party to any such agreements.
2. The applicant shall conform to all Washoe County utility design standards, including but not limited to, gravity sewer collection system, lift station design, and reclaim water design.

## Washoe County Conditions of Approval

The applicant shall apply for a Washoe County Utility Tap permit.

### **Truckee Meadows Fire Protection District**

3. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

**Contact Name** – Jenny Williamson email: [jewilliamson@tmfpd.us](mailto:jewilliamson@tmfpd.us) or Phone: 775-444-8521.

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.  
<https://tmfpd.us/fire-code/>
- b. IFC 102.9 This project shall meet the requirements of the currently adopted International Fire Code, International Wildland Urban Interface Code, TMFPD Fire Amendments
- c. IFC 503.2.1 Access roads shall be a minimum of 12' wide with a 13'6" vertical clearance.
- d. IFC 503.2.7 Fire apparatus access roads shall have a grade not to exceed 10%,
- e. IFC 503.2.4 Fire apparatus access roads turn radii shall be 28' inside and 52' outside.
- f. IFC 503.2.3 Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- g. IFC 503.2.5 Any fire apparatus access roads greater than 150' with a dead end will require a fire apparatus turnaround.
- h. IFC 102.9 The portion of the access road/driveway that transverses onto parcel (APN:230-031-11) shall be a recorded easement.

\*\*\* End of Conditions \*\*\*



1365 Corporate Blvd.  
Reno NV 89502  
775 857-8500 ext. 131  
nevadaconservation.com

## Washoe-Storey Conservation District

Bret Tyler Chairmen  
Jim Shaffer Treasurer  
Cathy Canfield Storey app  
Jean Herman Washoe app

June 29 ,2026

Washoe County Community Services Department

C/O Eric Young, Senior Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

Re: WSUP26-0007 Diamond J

Dear Eric,

In reviewing the special use permit for grading for the development of a single-family home, the Conservation District has the following comments.

With grading for the site, we request the applicant submit to the District a revegetation plan from a qualified professional a seed mix to be reviewed by the District. Additionally, if there is less than 75% germination in the first year, reseed the areas that require seeding.

Slopes that exceed 2: 1 that are stabilized with rip rap, the District does recommend the placement of 3/4 to 1 1/2-inch D size rock in the voids of the rip rap slope to eliminate the undermining by small animals.

With rockery walls proposed, we recommend smaller rock in the voids of the face of the wall to eliminate any undermining by small animals.

Thank you for providing us the opportunity to review the project.

Sincerely,

Jim Shaffer



**Engineering:**

**GENERAL CONDITIONS**

Contact Information: Robert Wimer, P.E. (775) 328-2059

**Conditions:**

1. The applicant shall include a condition response memorandum with each subsequent permit application. That memorandum shall list each condition of approval, shall provide a narrative describing how each condition has been complied with, and the location of the information showing compliance with each condition within the improvement plan set that has been submitted.
2. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed to be conveyed onto adjacent property.

**GRADING (COUNTY CODE 110.438)**

Contact Information: Robert Wimer, P.E. (775) 328-2059

**Conditions:**

1. Final construction drawings shall comply with all applicable statutes, ordinances, rules, regulations, and policies in effect at the time of submitting the subsequent individual building permits.
2. Prior to acceptance of public improvements and release of any financial assurances, the developer shall provide as-built construction drawings in an acceptable digital format prepared by a civil engineer and/or surveyor licensed in the State of Nevada.
3. A complete set of construction improvement drawings, including an onsite grading plan, shall be submitted to the County Engineer for approval prior to finalization of any portion of the special use permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading and drainage on each lot, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or disposal of any excavated material shall be indicated on the grading plan. The applicant shall ensure the driveway slope does not exceed 14%.
4. Any existing easements, facilities, or utilities that conflict with the development shall be relocated, quitclaimed, and/or abandoned, as appropriate.
5. Any easement documents recorded for the project shall include an exhibit map that shows the location and limits of the easement in relationship to the project.

6. Add the following note to the building permit civil improvement plans: "All public utilities shall be placed underground, except in the case where underground placement of utilities is shown not to be feasible, in which case the County Engineer may approve exceptions to this requirement."
7. With each affected building permit application, provide written approval from all utility provider(s) for any improvements located within their easement, or under or over their facilities.
8. Appropriate easements shall be granted for any existing or new utilities, with each affected building permit application.
9. Slope easements shall be provided for areas of cut or fill that fall outside of the project boundary.

**DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)**

Contact Information: Robert Wimer, P.E. (775) 328-2059

**Conditions:**

1. The following note shall be added to the construction drawings; "All properties, regardless of if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

**TRAFFIC AND ROADWAY (COUNTY CODE 110.436)**

Contact Information: Mitchell Fink, P.E. (775) 328-2050

**Conditions:**

1. All roadway improvements necessary (including but not limited to, curb, gutter, sidewalk, signing and striping, driveway access, and street lighting) to serve the project shall be designed and constructed to County standards and specifications to the satisfaction of the County Engineer.
2. Provide documentation of access and permission to construct improvements on the adjacent property to the satisfaction of the County Engineer.

**UTILITIES (County Code 422 & Sewer Ordinance)**

Contact Information: Katrina Pascual, P.E. (775) 954-4648

**Conditions:**

1. The applicant shall conform to all conditions imposed by intergovernmental agreements required to provide sewer and reclaim water service to the subject project, and, if required, be a party to any such agreements.

Exhibit B, Agency Comments

2. The applicant shall conform to all Washoe County utility design standards, including but not limited to, gravity sewer collection system, lift station design, and reclaim water design.
3. The applicant shall apply for a Washoe County Utility Tap permit.



## Truckee Meadows Fire Protection District.

Permit # WSUP26-0007 (Diamond J Grading)

2359 Diamond J Place (APN: 230-031-12)

Reviewed By: Jenny Williamson  
775-444-8521

Contact: [jewilliamson@tmfpd.us](mailto:jewilliamson@tmfpd.us) or

Planner: Eric Young  
3613

[eyoung@washoecounty.gov](mailto:eyoung@washoecounty.gov) 775-328-

### Plan Review Comments

1. IFC 102.9 This project shall meet the requirements of the currently adopted International Fire Code, International Wildland Urban Interface Code, TMFPD Fire Amendments
2. IFC 503.2.1 Access roads shall be a minimum of 12' wide with a 13'6" vertical clearance.
3. IFC 503.2.7 Fire apparatus access roads shall have a grade not to exceed 10%,
4. IFC 503.2.4 Fire apparatus access roads turn radii shall be 28' inside and 52' outside.
5. IFC 503.2.3 Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
6. IFC 503.2.5 Any fire apparatus access roads greater than 150' with a dead end will require a fire apparatus turnaround.
7. IFC 102.9 The portion of the access road/driveway that transverses onto parcel (APN:230-031-11) shall be a recorded easement.



## OFFICIAL NOTICE OF PUBLIC HEARING

DATE: July 27, 2026

You are hereby notified that the **Washoe County Board of Adjustment** will conduct a public hearing at the following time and location:

**1:30 p.m., Thursday, August 6, 2026**

**1001 East Ninth Street, Building A, Reno, Nevada 89512 and via Zoom Webinar**

**SPECIAL USE PERMIT Case Number WSUP26-0007 (Diamond J)** – For hearing, discussion, and possible action to approve a special use permit for major grading of the project site and connector roadways to prepare for the redevelopment of the Tahoe Biltmore property. The applicant is also seeking to vary the following standards from Article 438; Section 110.438.45(a); 110.438.45(b); 110.438.45(c); 110.438.45(f); and 110.438.45(i). The applicant is proposing the excavation of 197,500 cubic yards of material, and 42,000 cubic yards of fill material, and exportation of 155,500 cubic yards of material.

•Staff: Eric Young, Senior Planner  
Washoe County Community Services Department  
Planning and Building  
•Phone: 775.328.3613  
•E-mail: EYoung@washoecounty.gov

As an owner of property in the vicinity, you are invited to present public comment relative to these matters. You may do so either by attending the meeting in person or by logging into the ZOOM webinar at the following link and utilizing the “Raise Hand” feature during any public comment period: <https://us02web.zoom.us/j/87215675749>. As an alternative to this link, you can join the ZOOM meeting by typing zoom.us in your computer browser, clicking “Join a Meeting” on the ZOOM website, and entering this Meeting ID: **872 1567 5749**. NOTE: This option will require a computer with audio and video capabilities. Alternatively, you can join the meeting via telephone only by dialing +1 669-900-9128, entering the Meeting ID: **872 1567 5749** and pressing #. Additionally, public comment can be submitted via email to **washoe311@washoecounty.gov**. The County will make reasonable efforts to send all email comments received by 4:00 p.m. on the day before the meeting, to the Board members prior to the meeting. Comments are limited to **3 minutes per person** per public comment period. Explanatory material is available for inspection. Please contact the Washoe County Community Services Department, Planning and Building Division, 1001 East Ninth Street, Reno, Nevada, 89512 or (775) 328-6100.

To access additional information about this item, please visit our website at <https://washoe-nv.legistar.com/Calendar.aspx>. Directions: washoecounty.gov (main page) > Commission Agendas > Drop Down Menu: Choose ‘Board of Adjustment.’ A staff report related to this public hearing will be posted at least three working days prior to the meeting.

# GRADING SPECIAL USE PERMIT

FOR

2359 Diamond J Place

**Prepared For:**

Gestore LLC  
Attn: Sean Hallgren  
9730 S Virginia Street  
Reno, NV 89519

**Prepared By:**



575 E. Plumb Lane, Suite 101  
Reno, NV 89502  
775.636.7905

**June 2026**

25.090

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- Vicinity Map
- Zoning Map
- Plans
  - Floor Plans
  - Building Elevations
  - Site & Grading Plan
- Additional Information
  - Treasure Tax Information

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

|                                                                                                                                                                         |                 |                                       |                 |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|---------------------------------------|-----------------|
| <b>Project Information</b>                                                                                                                                              |                 | Staff Assigned Case No.: _____        |                 |
| Project Name: <b>2359 Diamond J Place</b>                                                                                                                               |                 |                                       |                 |
| Project Description: The development of a new single family residence.                                                                                                  |                 |                                       |                 |
| Project Address: 2359 Diamond J Place                                                                                                                                   |                 |                                       |                 |
| Project Area (acres or square feet): 4.3 acres                                                                                                                          |                 |                                       |                 |
| Project Location (with point of reference to major cross streets <b>AND</b> area locator):<br>The project site is located +/-300' east of the Diamond J Way cul-de-sac. |                 |                                       |                 |
| Assessor's Parcel No.(s):                                                                                                                                               | Parcel Acreage: | Assessor's Parcel No.(s):             | Parcel Acreage: |
| 230-031-12                                                                                                                                                              | 4.3             |                                       |                 |
| 230-031-11                                                                                                                                                              | 3.3             |                                       |                 |
| Indicate any previous Washoe County approvals associated with this application:<br>Case No.(s).                                                                         |                 |                                       |                 |
| <b>Applicant Information</b> (attach additional sheets if necessary)                                                                                                    |                 |                                       |                 |
| <b>Property Owner:</b>                                                                                                                                                  |                 | <b>Professional Consultant:</b>       |                 |
| Name: Gestore LLC                                                                                                                                                       |                 | Name: Monte Vista Consulting, Ltd.    |                 |
| Address:                                                                                                                                                                |                 | Address:                              |                 |
| Zip:                                                                                                                                                                    |                 | Zip:                                  |                 |
| Phone:                                                                                                                                                                  | Fax:            | Phone:                                | Fax:            |
| Email:                                                                                                                                                                  |                 | Email:                                |                 |
| Cell:                                                                                                                                                                   | Other:          | Cell:                                 | Other:          |
| Contact Person: Sean Hallgren                                                                                                                                           |                 | Contact Person: Michael Vicks         |                 |
| <b>Applicant/Developer:</b>                                                                                                                                             |                 | <b>Other Persons to be Contacted:</b> |                 |
| Name: Gestore LLC                                                                                                                                                       |                 | Name:                                 |                 |
| Address:                                                                                                                                                                |                 | Address:                              |                 |
| Zip:                                                                                                                                                                    |                 | Zip:                                  |                 |
| Phone:                                                                                                                                                                  | Fax:            | Phone:                                | Fax:            |
| Email:                                                                                                                                                                  |                 | Email:                                |                 |
| Cell:                                                                                                                                                                   | Other:          | Cell:                                 | Other:          |
| Contact Person: Sean Hallgren                                                                                                                                           |                 | Contact Person:                       |                 |
| <b>For Office Use Only</b>                                                                                                                                              |                 |                                       |                 |
| Date Received: Initial:                                                                                                                                                 |                 | Planning Area:                        |                 |
| County Commission District:                                                                                                                                             |                 | Master Plan Designation(s):           |                 |
| CAB(s):                                                                                                                                                                 |                 | Regulatory Zoning(s):                 |                 |

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## Project Information

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Location: 2359 Diamond J Place

APN: 230-031-12

Site Area: 4.3 ac

Zoning: GR

Master Plan Designation: Rural

Proposed Use: Single Family Residential

Grading Special Use Permit trigger: The proposed driveway traverses existing slopes greater than 30% as well as cut and fill depths exceeding thresholds established per Washoe County Code 110.438.28.

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## Pre-Development Discussion

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### Existing Conditions & Development:

The site is currently undeveloped consisting of native grasses and brush. Access to the site is from Diamond J Place to the west of the property. The parcel is part of the Diamond J Subdivision with existing slopes at the west of the property generally exceeding 2:1 as a result of the construction of the subdivision.

### Surrounding Properties:

- |                               |             |                  |
|-------------------------------|-------------|------------------|
| ○ North: 0 Diamond J Place    | Zoning: GR  | Use: Undeveloped |
| ○ South: 2347 Diamond J Place | Zoning: GR  | Use: Undeveloped |
| ○ East: 0 Diamond J Place     | Zoning: GR  | Use: Undeveloped |
| ○ West: Diamond J Place       | Zoning: N/A | Use: Street      |

### Previous Entitlements:

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## Proposed Development Discussion

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### Proposed Improvements:

The proposed development includes a new single family residence with the associated paved driveway, retaining walls, utility connections and drainage improvements. The proposed driveway extends through the adjacent property to the south (2347 Diamond J Place, APN: 230-031-11). The driveway across the adjacent property results in 2:1 slopes on the downhill side which are stabilized with rip rap. This is intentional as the area is intended to be modified in association with the future development. Onsite, 4' maximum rockery retaining walls terrace down the hillside to balance grading to the extent possible while maintaining reasonable driveway slopes.

The Grading Special Use Permit is triggered because portions of the proposed driveway traverses through existing slopes that exceed 30%. Additionally, there are sections of the proposed development that exceed the maximum cut and fill depths outlined in the Washoe County Code 110.438.28, however, those areas fall fully within the building footprint. The disturbed areas are intended to be revegetated or landscaped. Areas where proposed slopes exceed 2:1 will be stabilized with rip rap.

**Special Use Permit Application  
for Grading  
Supplemental Information**  
(All required information may be separately attached)

1. What is the purpose of the grading?

The development of a new single-family residence and associated paved driveway and drainage improvements.

2. How many cubic yards of material are you proposing to excavate on site?

**2,590 cubic yards.**

3. How many square feet of surface of the property are you disturbing?

29,530 S.F.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

810 cubic yards. Excess material will be distributed to the remainder of the site.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

It is not possible to develop the property without surpassing the grading thresholds because the site is on a hillside with existing slopes exceeding 30%.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

The existing slopes at the project site are not natural slopes and have occurred as a result of the development of the Diamond J Subdivision.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes, all areas shown on the site plan are proposed to be disturbed by grading. Please reference sheets C2.1 & C2.2.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, the disturbed area can be seen from Diamond J Place to the east of the property. Adjacent parcel APN:230-032-06 can see the disturbed area as well and the remainder parcels immediate to the site are vacant.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

The proposed driveway traverses through the adjacent parcel to the south, 2347 Diamond J (APN:230-031-11), and can be a shared driveway for the development of a future residence for that adjacent parcel.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The general slopes of the proposed improvements range from 5:1 to 2:1 surrounding the site. All disturbed areas will be either landscaped or revegetated. Fiber rolls for slope stabilization and silt fence for sediment control will be used to prevent erosion. For slopes that are 2:1, rip rap will be utilized for permanent stabilization and erosion control.

11. Are you planning any berms?

|     |      |                                              |
|-----|------|----------------------------------------------|
| Yes | No x | If yes, how tall is the berm at its highest? |
|-----|------|----------------------------------------------|

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

4' maximum rockery and concrete retaining walls.

13. What are you proposing for visual mitigation of the work?

The proposed work will be fully landscaped/revegetated for visual mitigation.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Generic.

16. How are you providing temporary irrigation to the disturbed area?

There is not currently a well on site, but would likely be drilled early in the construction process, and a temporary system could be set up.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

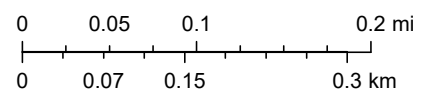
|     |      |                               |
|-----|------|-------------------------------|
| Yes | No x | If yes, please attach a copy. |
|-----|------|-------------------------------|

## Vicinity Map



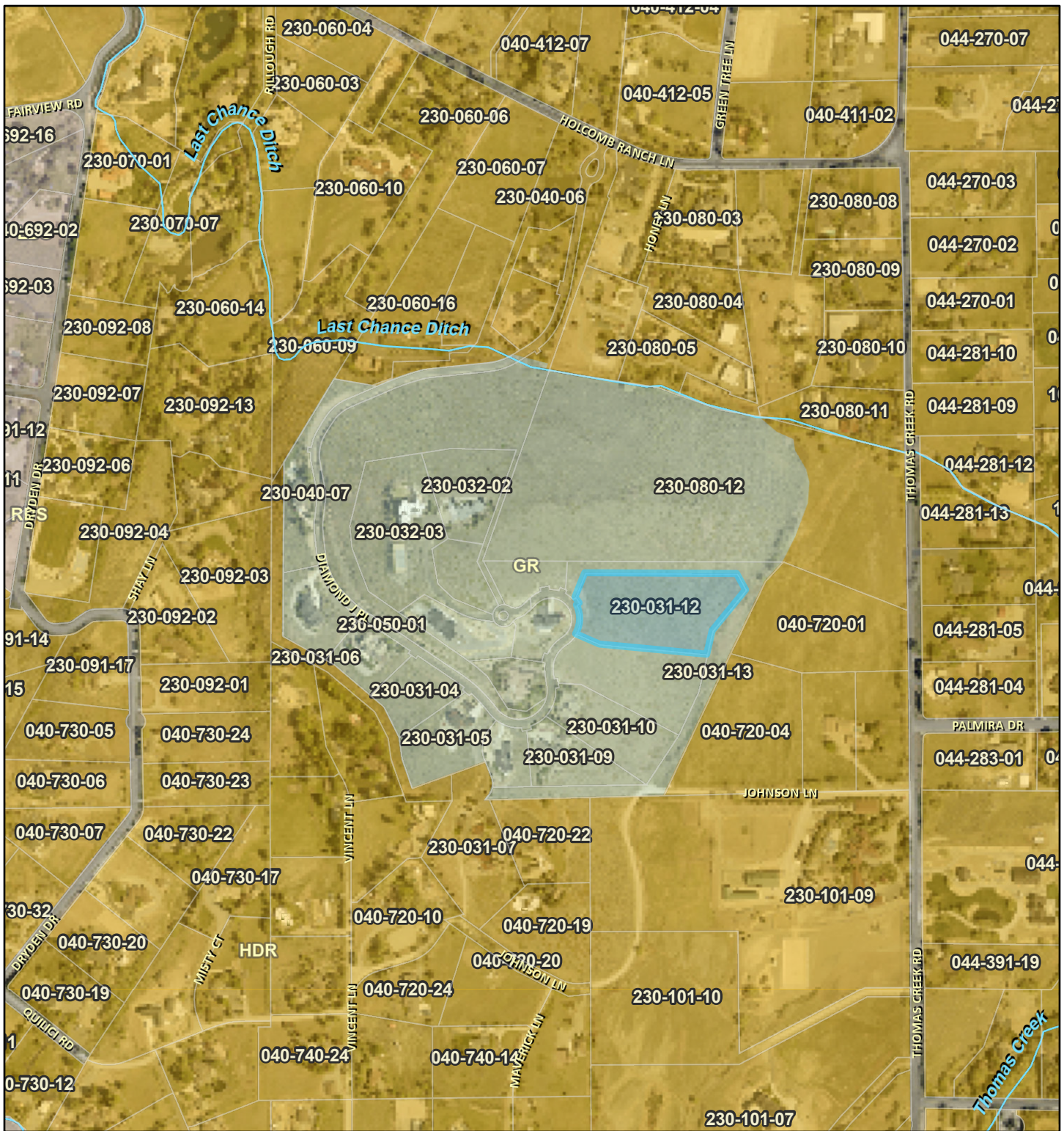
June 1, 2026

1:9,028



Washoe County GIS, Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community

# Zoning Map

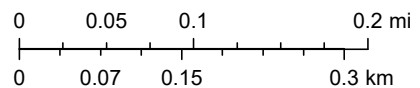


June 1, 2026

1:9,028

## Regulatory Zoning - Washoe

- General Rural
- High Density Rural
- Low Density Suburban

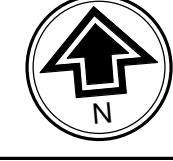
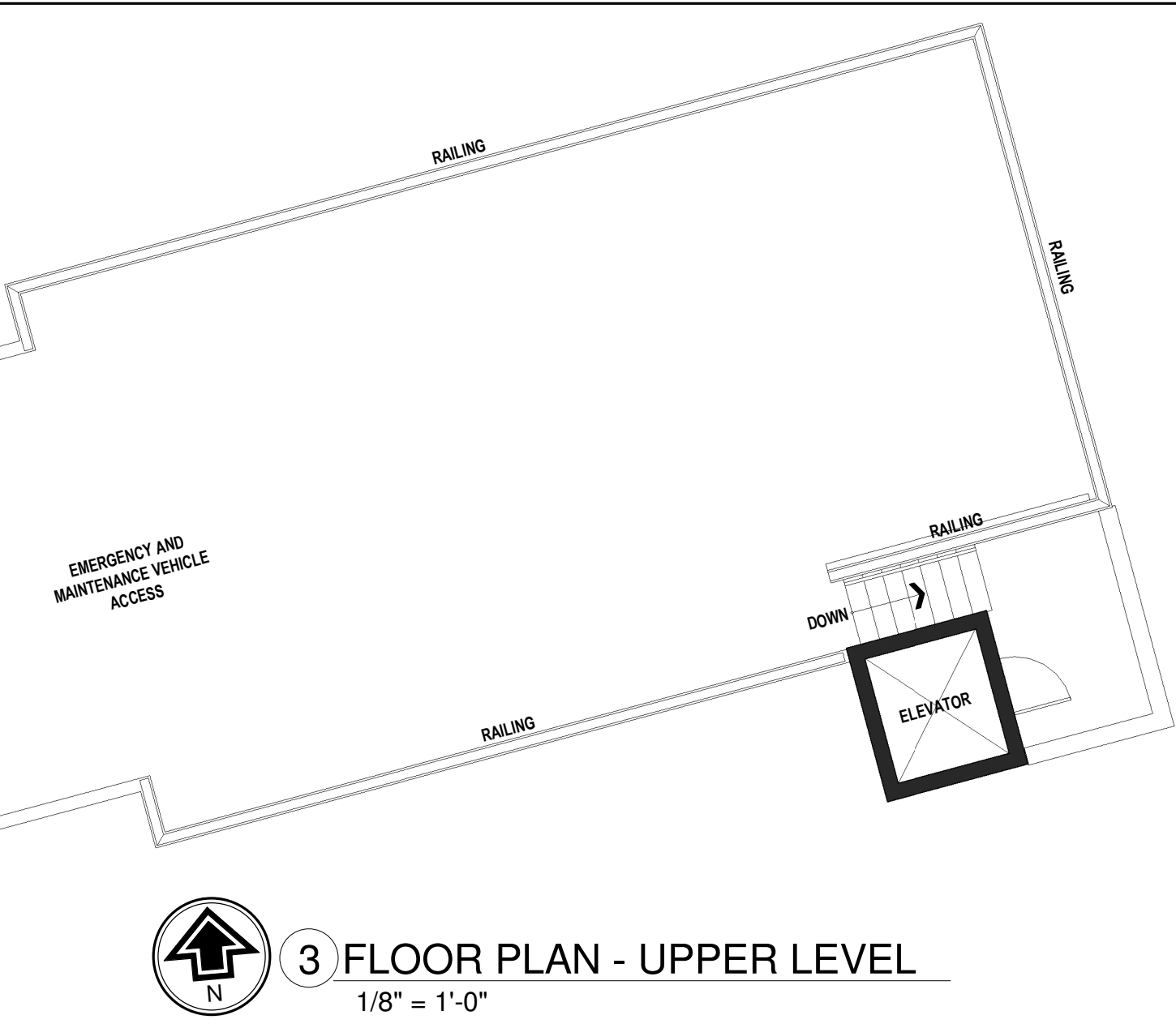
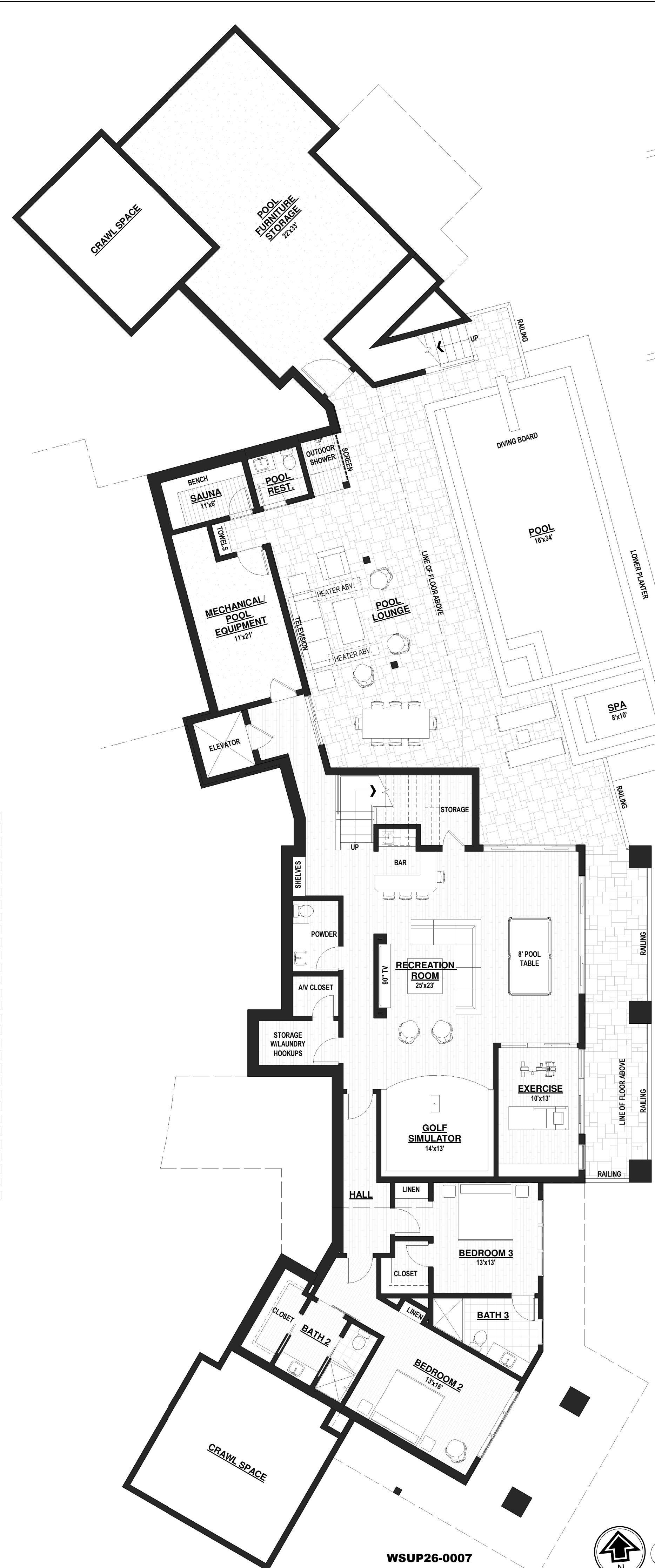
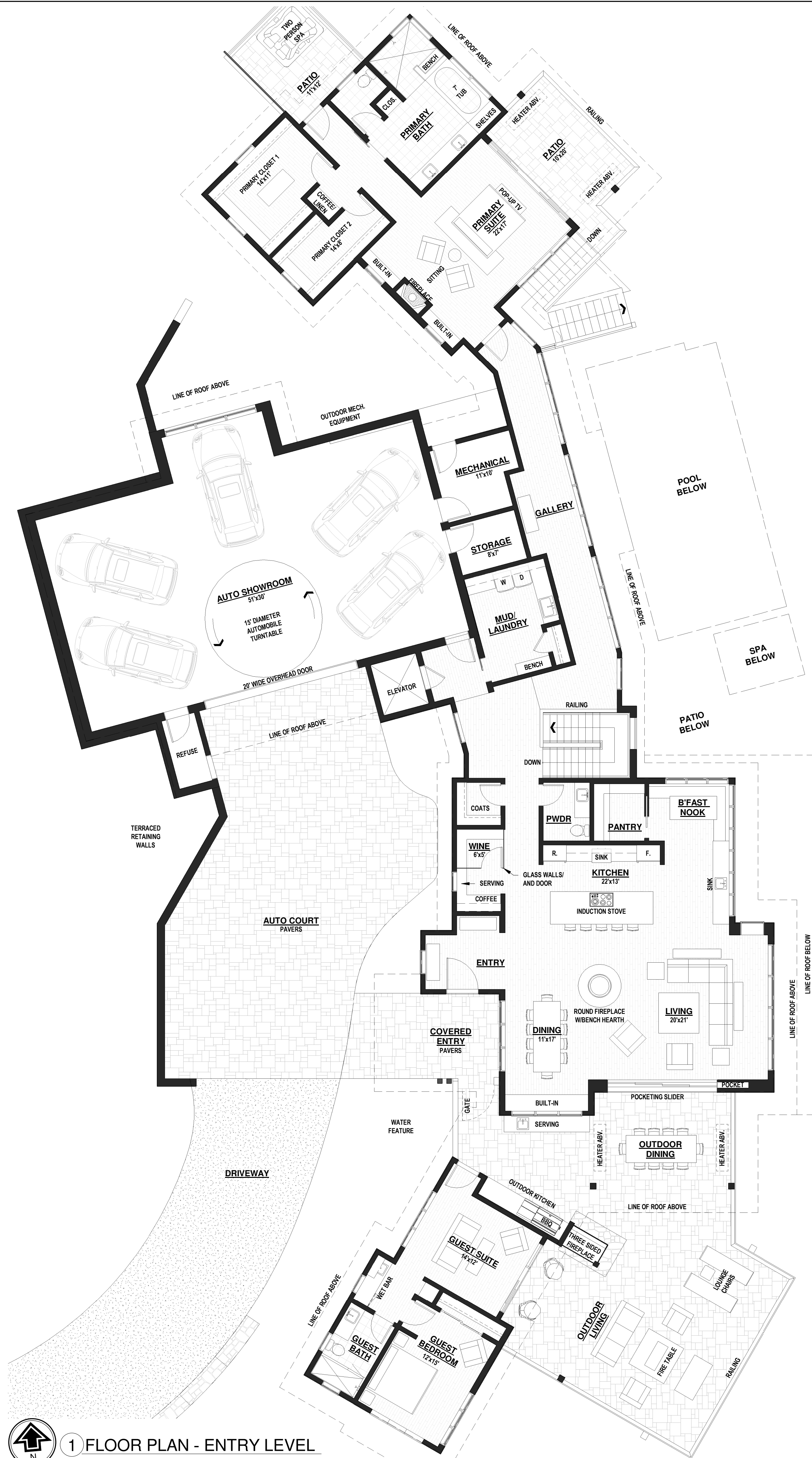


Washoe County, Washoe County GIS, Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community

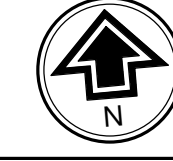
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## Plans

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1 FLOOR PLAN - ENTRY LEVEL  
1/8" = 1'-0"



2 FLOOR PLAN - LOWER LEVEL  
1/8" = 1'-0"

## FLOOR PLANS OVERALL

THESE DRAWINGS HAVE BEEN PREPARED BY DALE COX ARCHITECTS  
2359 DIAMOND J  
THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS, IN OTHER LOCATIONS,  
OR BY ANY OTHER INDIVIDUALS WITHOUT THE WRITTEN APPROVAL AND  
PARTICIPATION OF DALE COX ARCHITECTS. REPRODUCTION IS PROHIBITED.

REVISIONS

## 2359 DIAMOND J

2359 DIAMOND J PLACE  
RENO NV  
WASHOE COUNTY  
APN: 230-031-12

DALE COX ARCHITECTS  
ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT  
4790 Caughlin Parkway #417  
Reno NV 89519-0907  
Phone: (530) 550-9144

DRAWN BY: JW  
DATE: 5/13/26  
SCALE: 1/8" = 1'-0"  
JOB # 25-06

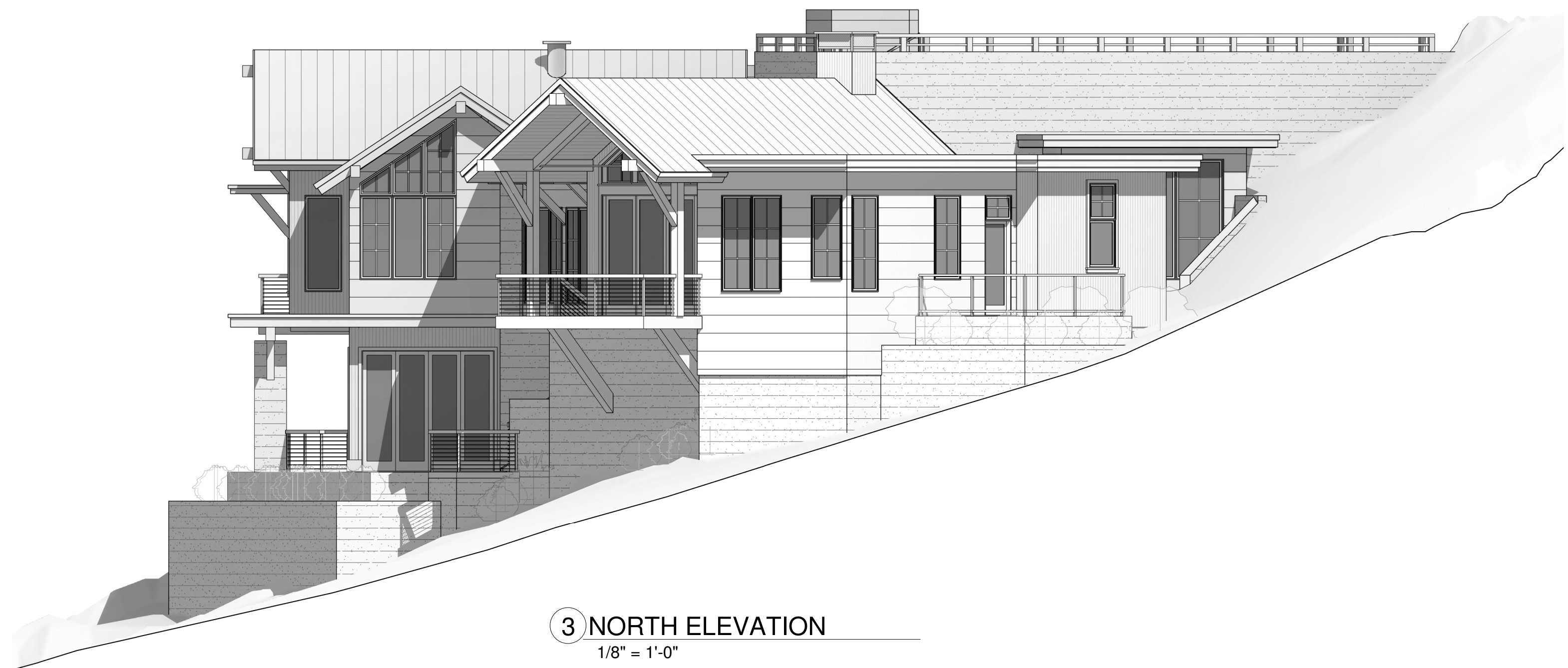
SHEET  
A2.1



1 EAST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

WSUP26-0007  
EXHIBIT D

## ELEVATIONS OVERALL

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REVISIONS

## 2359 DIAMOND J

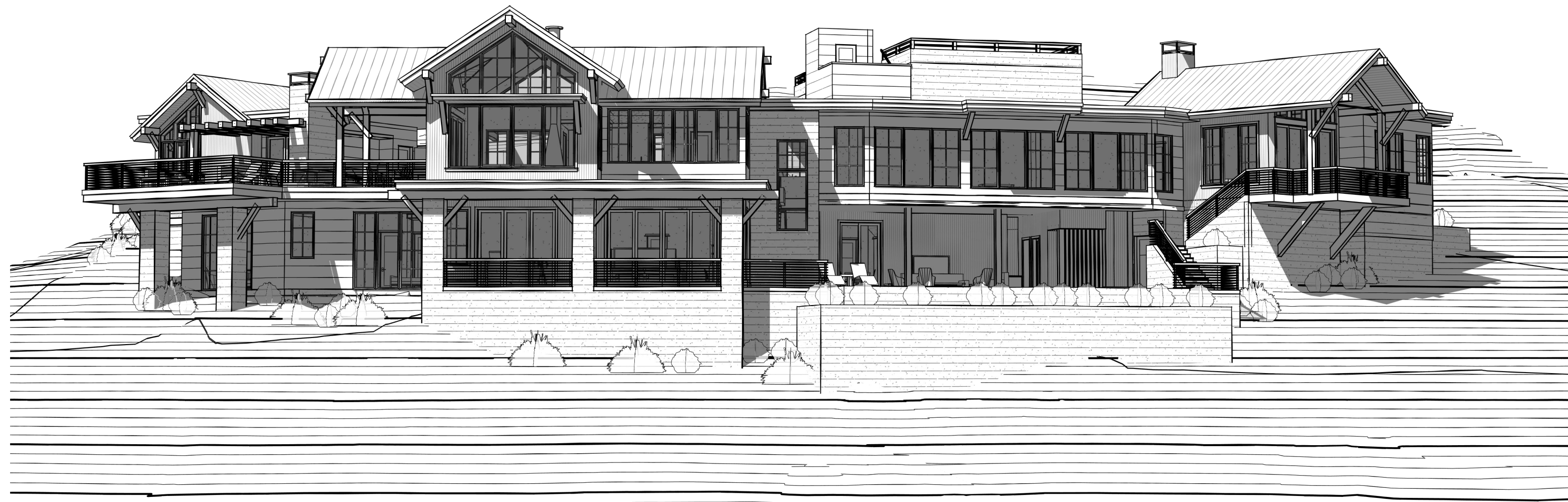
2359 DIAMOND J PLACE  
RENO NV  
WASHOE COUNTY  
APN: 230-031-12

DALE COX ARCHITECTS  
ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT  
4790 Caughlin Parkway #417  
Reno NV 89519-0907  
Phone: (530) 550-9144

DRAWN BY : JW  
DATE : 5/13/26  
SCALE : 1/8" = 1'-0"  
JOB # 25-06

SHEET

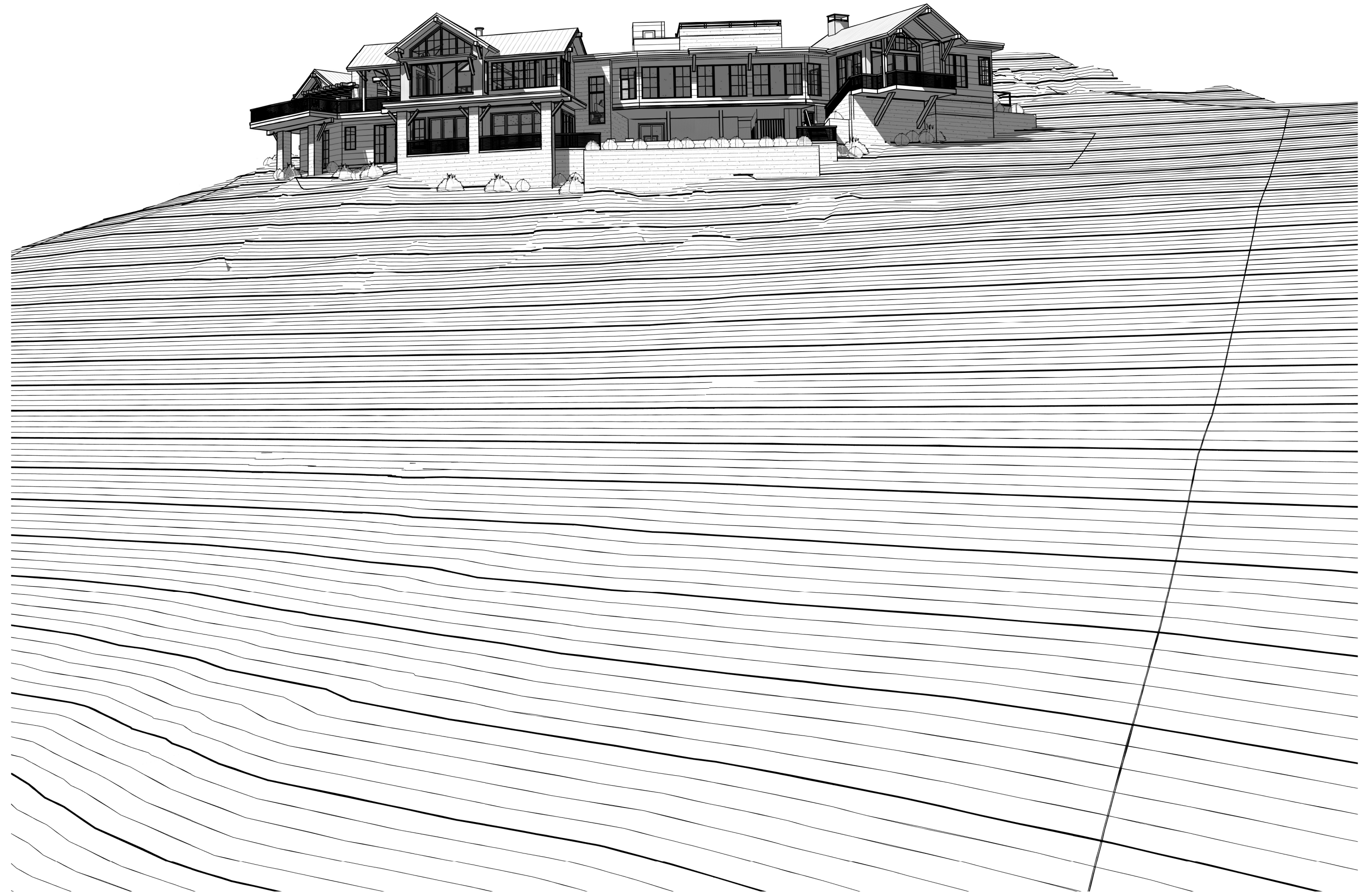
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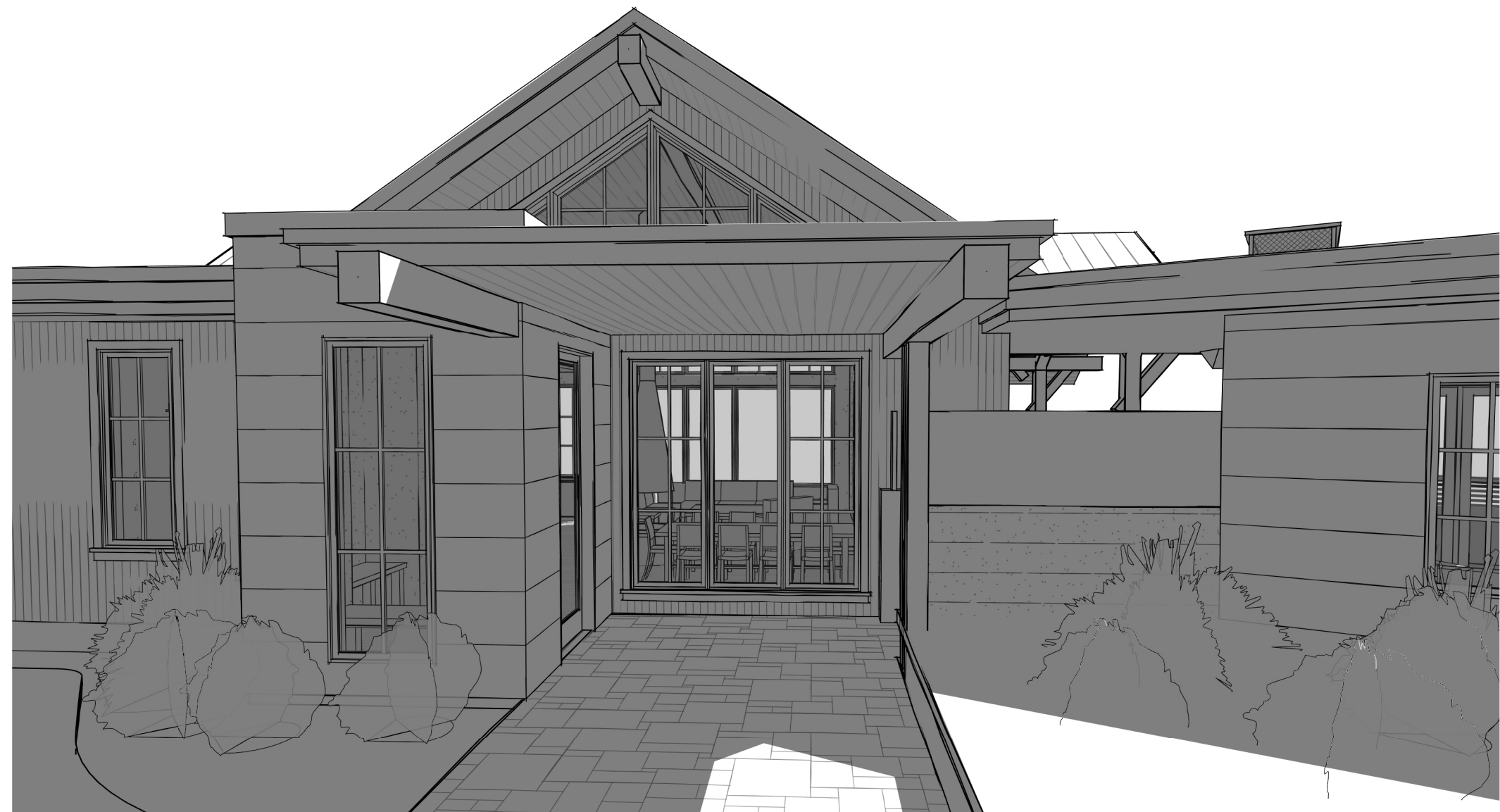
1 EAST PERSPECTIVE



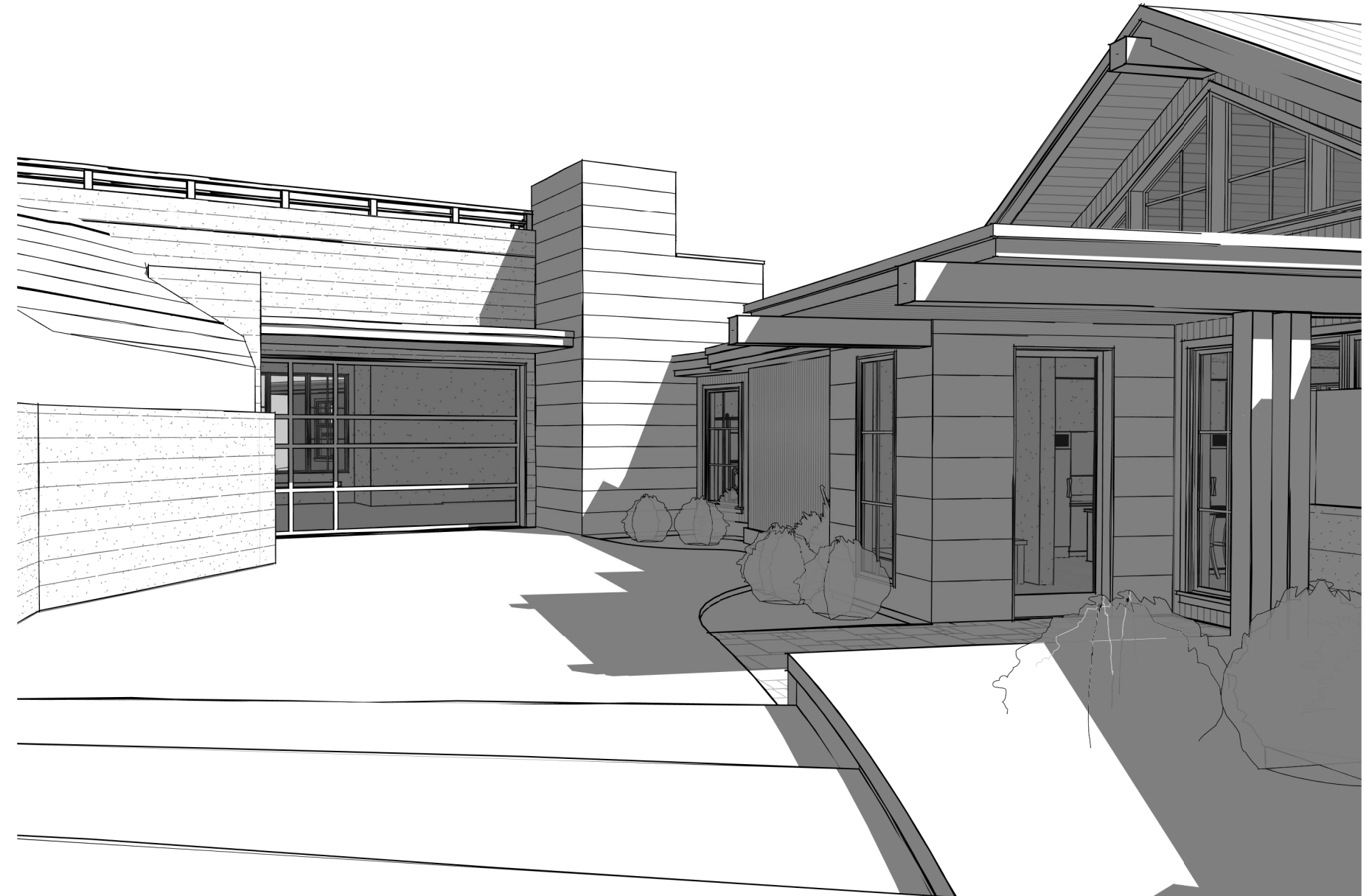
3 DRIVEWAY PERSPECTIVE



2 DOWNHILL VIEW



4 ENTRY PERSPECTIVE



5 VIEW OF GARAGE

## PERSPECTIVE VIEWS

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REVISIONS

## 2359 DIAMOND J

2359 DIAMOND J PLACE  
RENO NV  
WASHOE COUNTY  
APN: 230-031-12

DALE COX ARCHITECTS  
ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT  
4790 Caughlin Parkway #417  
Reno NV 89519-0907  
Phone: (530) 550-9144

DRAWN BY : JW  
DATE : 5/13/26  
SCALE :  
JOB #

SHEET

A9.2

# SITE IMPROVEMENT PLANS FOR 2359 Diamond J Residence



## 2359 Diamond J Residence

Cover Sheet

2359 Diamond J Place  
APN: 230-031-12  
Washoe County, Nevada  
Project # 25,090  
Drawn TKN  
Checked MWV  
Date 6.8.2026  
Revisions



FOR CONSTRUCTION ONCE APPROVED BY  
WASHOE COUNTY, NEVADA



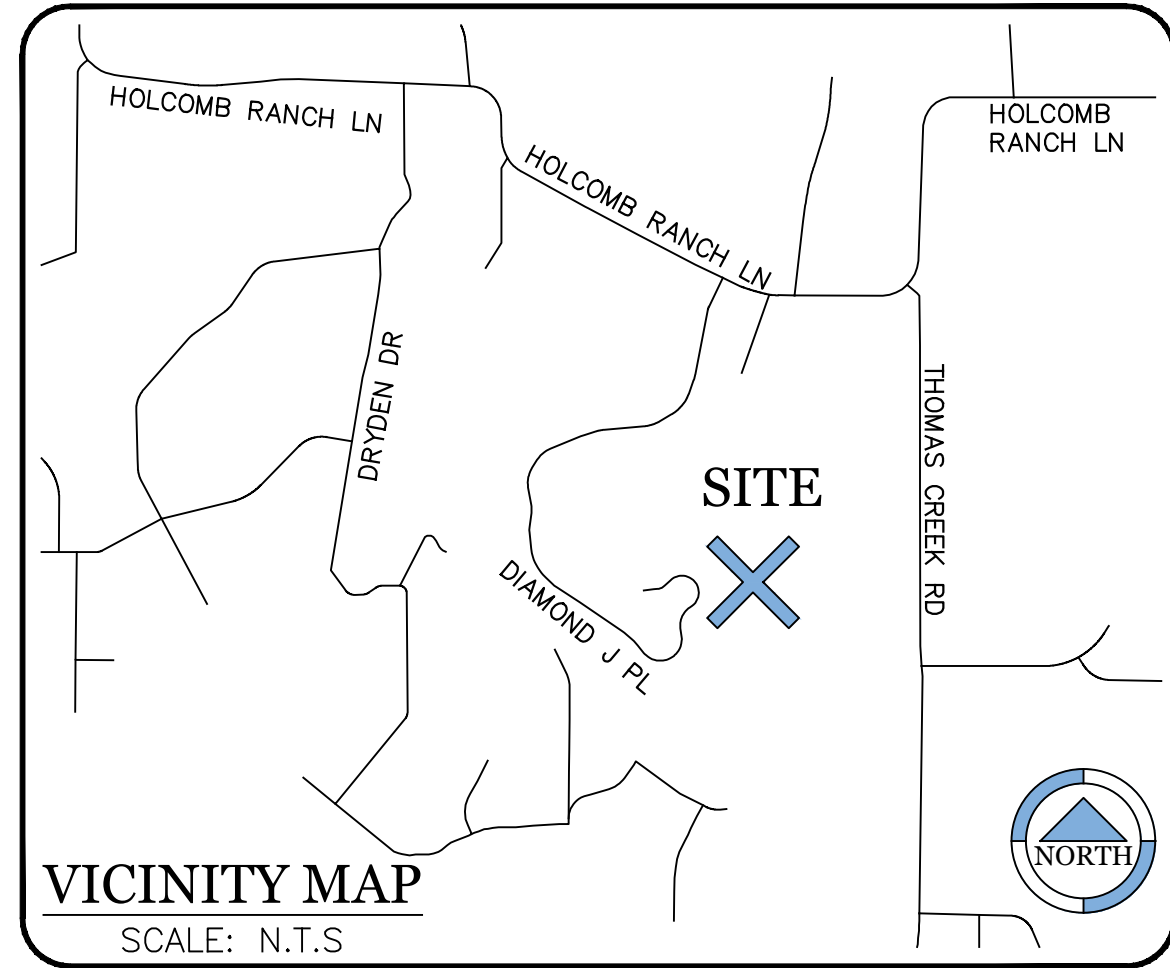
C1.0

### STANDARD BMP NOTES

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND THEIR AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY DEVELOPMENT CODE ARTICLE 421 AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 3.6 SITE STABILIZATION REQUIREMENTS, SCHEDULES, AND DEADLINES.
4. AT A MINIMUM, THE CONTRACTOR OR THEIR AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT THE CONTRACTOR OR THEIR AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 5.0 INSPECTIONS.
5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

### DEFENSIBLE SPACE & VEGETATION MANAGEMENT NOTES

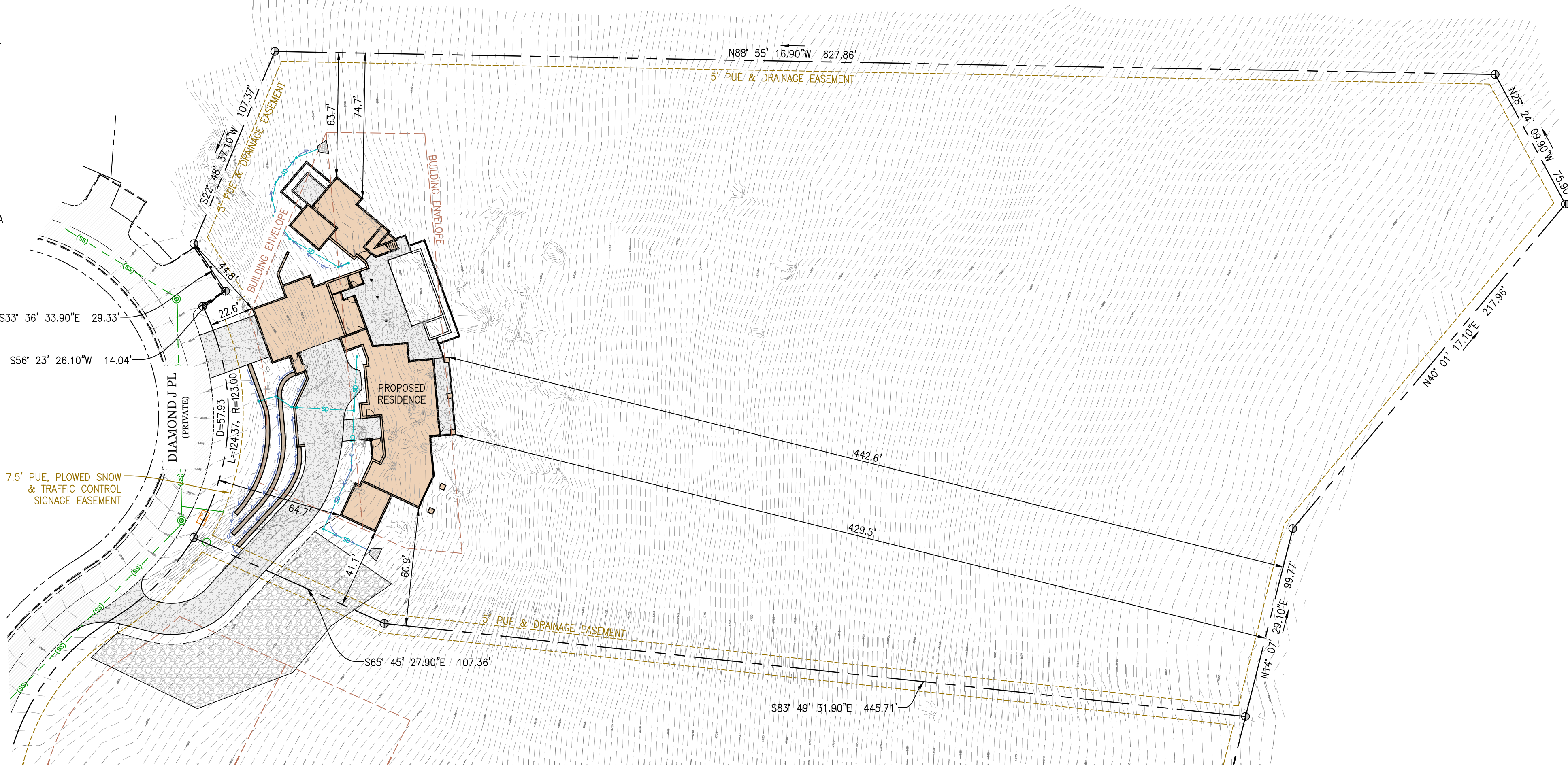
1. REQUIRED DEFENSIBLE SPACES SHALL BE 30' FOR MODERATE HAZARD RATINGS OR AS MODIFIED BY THE FIRE MARSHAL.
2. DEFENSIBLE SPACE SHALL BE MAINTAINED TO THE REQUIRED DISTANCE MEASURED ON A HORIZONTAL PLANE FROM THE PERIMETER OR PROJECTION OF THE BUILDING OR STRUCTURE.
3. IN AREAS OF HIGH OR EXTREME FIRE HAZARD, THE AREA EXTENDING FROM THE BASE OF ANY STRUCTURE TO 5' BEYOND THE BASE OF SUCH STRUCTURE SHALL BE COMPOSED ENTIRELY OF NON-COMBUSTIBLE MATERIAL OR FIRE RESISTIVE VEGETATION AS APPROVED BY THE FIRE CODE OFFICIAL.
4. CULTIVATED GROUND COVER SUCH AS GRASS, IVY, SUCCULENTS OR SIMILAR PLANTS USED AS GROUND COVER ARE ALLOWED WITHIN THE DEFENSIBLE SPACE PROVIDED THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.
5. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DEFENSIBLE SPACE WHICH SHALL INCLUDE MODIFYING OR REMOVING NON FIRE-RESISTIVE VEGETATION AND KEEPING LEAVES, NEEDLES AND OTHER DEAD VEGETATIVE MATERIAL REGULARLY REMOVED FROM ROOFS OF BUILDINGS & STRUCTURES.
6. TREE CROWNS SHALL BE PRUNED IN ORDER TO MAINTAIN 10' CLEARANCE FROM ANY STRUCTURE AND TO MAINTAIN A 6' VERTICAL CLEARANCE BETWEEN THE GROUND AND LIMBS WITHIN THE DEFENSIBLE SPACE. DEADWOOD & LITTER SHALL BE REGULARLY REMOVED FROM TREES.
7. SPARK ARRESTORS SHALL BE INSTALLED ON CHIMNEYS SERVICING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
8. FIREWOOD AND OTHER COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR STRUCTURES, ON DECKS OR UNDER EAVES, CANOPIES OR OTHER PROJECTIONS/OVERHANGS. FIREWOOD OR OTHER COMBUSTIBLE MATERIALS SHALL BE STORED A MINIMUM OF 20' FROM STRUCTURES AND SEPARATED FROM THE CROWN OF TREES BY A MINIMUM HORIZONTAL DISTANCE OF 15'.
9. TREE SPACING GUIDELINES: SLOPES 0%-20%: 10'; SLOPES 20%-40%: 20'; SLOPES GREATER THAN 40%: 30'
10. SHRUB SPACING GUIDELINES: SLOPES 0%-20%: 2 TIMES THE HEIGHT OF THE SHRUB; SLOPES 20%-40%: 4 TIMES THE HEIGHT OF THE SHRUB; SLOPES GREATER THAN 40%: 6 TIMES THE HEIGHT OF THE SHRUB)
11. VERTICAL SPACE BETWEEN THE TOP OF A SHRUB AND THE BOTTOM OF LOWER TREE BRANCHES IS RECOMMENDED TO BE 3 TIMES THE HEIGHT OF THE SHRUB.



| SITE INFORMATION     |                      |
|----------------------|----------------------|
| ADDRESS              | 2359 DIAMOND J PLACE |
| APN                  | 230-031-12           |
| LOT SIZE             | 4.3 AC               |
| ZONING               | GR                   |
| WUI FIRE RISK RATING | MODERATE             |
| SETBACKS (F/R/S)     | PER PUD              |

### OWNER INFORMATION

GESTORE LLC  
9730 S VIRGINIA STREET  
RENO, NV 89511



### OVERALL SITE PLAN

SCALE: 1"=40'

### SITE PLAN LEGEND

|  |                                      |
|--|--------------------------------------|
|  | DRIVEWAY/PAVED AREA                  |
|  | DECK AREA                            |
|  | INFILTRATION TRENCH/DRYWELL          |
|  | RAINSTORE3 DRYWELL INFILTRATION AREA |
|  | PROPERTY LINE                        |
|  | PROPERTY CORNER                      |
|  | PROPOSED UTILITY LINE W. DESCRIPTION |
|  | EXISTING UTILITY LINE W. DESCRIPTION |
|  | FIRE HYDRANT ASSEMBLY                |
|  | WATER SERVICE                        |
|  | MANHOLE W. DESCRIPTION               |
|  | CLEANOUT                             |
|  | SANITARY SEWER LATERAL               |
|  | YARD DRAIN                           |
|  | DIRECTIONAL FLOW LINE                |
|  | GRADE BREAK                          |
|  | PROPOSED CONTOUR LINE                |
|  | EXISTING CONTOUR LINE                |
|  | FLOW DIRECTION ARROW                 |
|  | SPOT ELEVATION (EXISTING) ~ PROPOSED |
|  | FIBER ROLL (SC-1)                    |
|  | SILT FENCE (SC-5)                    |
|  | CONSTRUCTION ENTRANCE (SC-8)         |
|  | REVEGETATION (EC-8)                  |
|  | RIPRAP (EC-7)                        |
|  | SLOPE TERRACING & TRACKING (EC-2)    |
|  | WIND EROSION & DUST CONTROL (EC-5)   |
|  | REVEGETATION (EC-8)                  |
|  | SOLID WASTE MANAGEMENT (GM-3)        |
|  | STREET SURFACE CLEANING (GM-5)       |
|  | VEHICLE & EQUIPMENT CLEANING (GM-7)  |
|  | VEHICLE & EQUIPMENT FUELING (GM-8)   |
|  | CONCRETE WASHOUT (GM-9)              |
|  | MATERIAL DELIVERY & STORAGE (GM-10)  |
|  | SANITARY WASTE MANAGEMENT (GM-14)    |
|  | TEMPORARY SEDIMENT TRAPS (SC-6)      |
|  | NOTICE OF INTENT & OPERATOR SIGN     |
|  | TREE/TREE TO BE REMOVED              |

1. THESE PLANS WERE PRODUCED IN COLOR. IF THEY ARE REPRODUCED IN BLACK AND WHITE, INFORMATION WILL BE LOST. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE PROPER PLANS ARE UTILIZED.
2. MONTE VISTA CONSULTING, LTD. (MVC) IS THE DESIGN ENGINEER FOR THIS PROJECT. ALL CONTRACTORS ARE DIRECTED TO CONTACT MVC FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES, UTILITIES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY MVC OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE THEIR OWN INTERPRETATIONS WITH REGARD TO MATERIALS, MEANS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT. PRIOR TO PERFORMING ANY WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY WASHOE COUNTY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING ENTITY TWO (2) WORKING DAYS ADVANCE NOTICE OF ANY REQUIRED TESTING AND INSPECTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
7. THE FIELD SURVEY PREPARED BY MERIDIAN SURVEYING & MAPPING, INC. IS THE BASIS OF THIS DESIGN. IMPROVEMENTS AND/OR UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. THE LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL NOTIFY MVC BEFORE PROCEEDING WITH CONSTRUCTION.
8. AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CODES, STANDARD SPECIFICATIONS & DETAILS.
9. THIS SITE IS SERVICED BY PRIVATE WELL WATER AND PRIVATE SEWER.
10. THERE IS NO PUBLIC WATER AVAILABLE.
11. THERE IS NO PUBLIC WELL WITHIN 200' OF THIS PROPERTY.
12. THE CONTRACTOR SHALL FIELD VERIFY AND PROVIDE A BACKWATER VALVE ON THE SANITARY SEWER SERVICE LATERAL IF THE UPSTREAM SEWER MANHOLE RIM IS ELEVATED HIGHER THAN THE FINISH FLOOR ELEVATION OF THE STRUCTURE.
13. MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER MAINS AND SERVICES.
14. MAINTAIN 4.0' MINIMUM HORIZONTAL CLEARANCE AROUND ALL FIRE HYDRANTS.
15. REF. NV ENERGY PLANS, SITE ELECTRICAL PLAN & SITE PLUMBING PLAN FOR ALL GAS AND ELECTRIC IMPROVEMENTS.
16. PLACEMENT OF THE STRUCTURE WITHIN THE REQUIRED SETBACKS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
17. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND FOR ALL DETAILS REGARDING TRANSITIONS AT EXTERIOR DOORS. SHOULD ANY DISCREPANCIES BETWEEN THIS PLAN AND THE ARCHITECTURAL PLANS OCCUR, THE CONTRACTOR SHALL NOTIFY MVC PRIOR TO PROCEEDING WITH CONSTRUCTION. REFERENCE DESIGN BY OTHERS.
18. BACKFILL ESTABLISHING SEPARATION AS REQUIRED BY ARCHITECTURAL AND STRUCTURAL DESIGN BETWEEN FINISH GRADE AND SIDING (8" MIN SEPARATION TYPICAL). REFERENCE DESIGN BY OTHERS.
19. PROVIDE 5% MINIMUM (1% ON CONCRETE SURFACES) TO 20% MAXIMUM SLOPE AWAY FROM PROPOSED STRUCTURE TOWARDS THE DRAINAGE SWALE OR APPROVED DRAINAGE OUTFALL 10' MIN. FROM STRUCTURE. (UNLESS OTHERWISE NOTED)
20. DRAINAGE SWALE SHALL MAINTAIN A MINIMUM SLOPE OF 1% TOWARDS AN APPROVED DRAINAGE OUTFALL.
21. SLOPE LAWN AREAS 2.0% MIN. TOWARD THE DRAINAGE SWALE OR OTHER APPROVED DRAINAGE OUTFALL.
22. THE CONTRACTOR SHALL TRANSITION ALL POINT FLOWS TO SHEET FLOWS WITH MECHANICALLY STABILIZED NATIVE ROCK WATER SPREADING AT THE TERMINATION OF ANY SWALE. NO STABILIZATION IS REQUIRED ON PAVED SURFACES.
23. ANY RETAINED HEIGHTS INDICATED ARE FROM SURFACE TO SURFACE UNLESS OTHERWISE NOTED. MVC IS NOT RESPONSIBLE FOR ANY STRUCTURAL DESIGN OF SITE RETAINING WALLS OR FEATURES. REFERENCE APPLICABLE STRUCTURAL/ARCHITECTURAL DESIGN BY OTHERS FOR DESIGN AND DETAIL.
24. ALL HARDSCAPE AND LANDSCAPING SURROUNDING THE STRUCTURE SHALL BE FINISHED PER OWNERS REQUIREMENTS.
25. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN & REVIEW A SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
26. THE CONTRACTOR WILL PREPARE AN INDEPENDENT ESTIMATE OF EARTHWORK QUANTITIES. ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR MATERIAL EXPANSION OR SHRINKAGE.
27. ALL AREAS OF FILL SHALL BE GRADED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER TO ENSURE PROPER MATERIAL IS USED AND PROPER COMPACTION IS OBTAINED.
28. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN. UNSUITABLE SOIL OR MATERIALS, NOT TO BE INCLUDED IN THE WORK INCLUDE: ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOD, SOILS CONTAINING EXPANSIVE CLAYS, MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE IN EXCESS OF 6 INCHES, MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
29. THIS SITE LIES IN FEMA FLOOD ZONE X (UNSHADED) (32031C3245G). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
30. ALL PROPERTIES MAY BE SUBJECT TO FLOODING REGARDLESS OF THEIR FLOOD DESIGNATION AS MAPPED BY FEMA. THE PROPERTY OWNER SHALL MAINTAIN ALL NATURAL DRAINAGE PATTERNS, DRAINAGE EASEMENTS AND SHALL NOT PERFORM ANY UNPERMITTED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.
31. UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
32. ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
33. ANY EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS.
34. PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
35. SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.
36. ADD 4700' TO ALL ELEVATIONS.



## SITE PLAN LEGEND

|                                                                                   |                                      |
|-----------------------------------------------------------------------------------|--------------------------------------|
|   | DRIVEWAY/PAVED AREA                  |
|  | DECK AREA                            |
|  | INFILTRATION TRENCH/DRYWELL          |
|  | RAINSTORES DRYWELL INFILTRATION AREA |
| ---                                                                               | PROPERTY LINE                        |
| ⊙                                                                                 | PROPERTY CORNER                      |
| — UTILITY —                                                                       | PROPOSED UTILITY LINE W. DESCRIPTION |
| -- (UTILITY) --                                                                   | EXISTING UTILITY LINE W. DESCRIPTION |
|  | FIRE HYDRANT ASSEMBLY                |
|  | WATER SERVICE                        |
|  | MANHOLE W. DESCRIPTION               |
|  | CLEANOUT                             |
|  | SANITARY SEWER LATERAL               |
|  | YARD DRAIN                           |
|  | DIRECTIONAL FLOW LINE                |
|  | GRADE BREAK                          |
| 4900                                                                              | PROPOSED CONTOUR LINE                |
| 4900                                                                              | EXISTING CONTOUR LINE                |
|  | FLOW DIRECTION ARROW                 |
|  | SPOT ELEVATION                       |
|  | (EXISTING) ~ PROPOSED                |
|  | TREE/TREE TO BE REMOVED              |

SURFACE DRAINAGE SHALL BE IN ACCORDANCE TO THE 2018 INTERNATIONAL RESIDENTIAL CODE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL NOT FALL FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FILL WITHIN 10' DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

ADD 4700' TO ALL SPOT  
ELEVATIONS

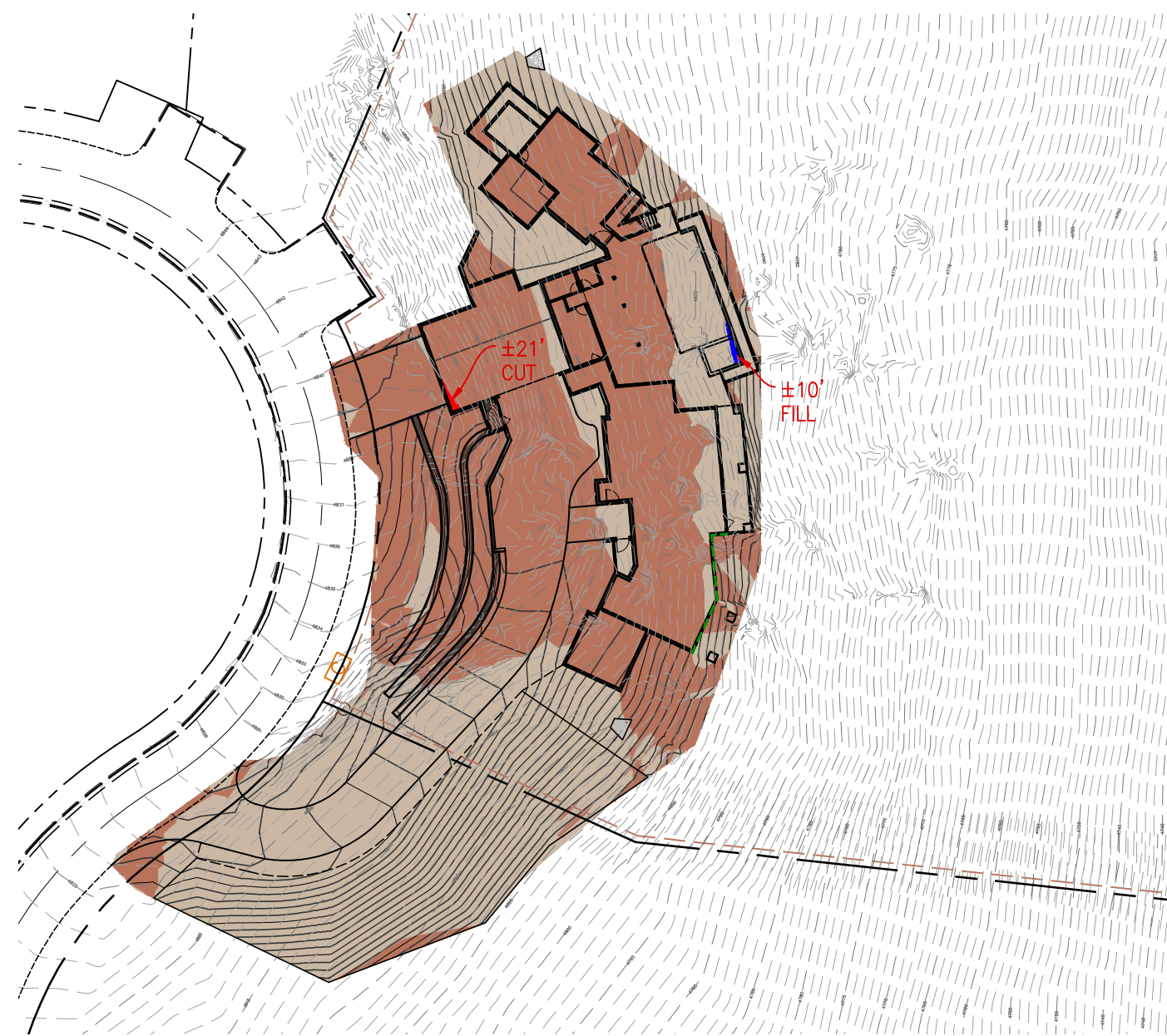
| EARTHWORK ANALYSIS   |                        |                             |                       |                           |
|----------------------|------------------------|-----------------------------|-----------------------|---------------------------|
| SITE AREA            | 4.3 AC                 | EX. SLOPE IN DISTURBED AREA | 50 %                  |                           |
|                      | SITE DISTURBANCE       | PROPOSED CUT                | DISPOSED FILL         | EARTHWORK                 |
| TOTAL                | 29,530 FT <sup>2</sup> | 2,590 YD <sup>3</sup>       | 1,780 YD <sup>3</sup> | 810 YD <sup>3</sup> CUT   |
| *BUILDING            | 8,622 FT <sup>2</sup>  | 1,367 YD <sup>3</sup>       | 312 YD <sup>3</sup>   | 1,055 YD <sup>3</sup> CUT |
| *DRIVEWAY & WALKWAYS | 3,944 FT <sup>2</sup>  | 476 YD <sup>3</sup>         | 332 YD <sup>3</sup>   | 144 YD <sup>3</sup> CUT   |
| *REMAINDER           | 16,964 FT <sup>2</sup> | 747 YD <sup>3</sup>         | 1,136 YD <sup>3</sup> | 389 YD <sup>3</sup> FILL  |

THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

**\*MAJOR GRADING PERMIT EARTHWORK THRESHOLDS\***

\*PER SECTION 10.438.28 OF THE WASHOE COUNTY DEVELOPMENT CODE, ANY GRADING ASSOCIATED WITH THE FOLLOWING DOES NOT COUNT TOWARDS THE THRESHOLDS ASSOCIATED WITH A MAJOR GRADING PERMIT: BUILDING FOOTPRINT, DRIVEWAY, PAVED AREA OR AREAS LANDSCAPED IN ACCORDANCE WITH THE COMMERCIAL LANDSCAPE STANDARDS ESTABLISHED IN ARTICLE 412 OF THE WASHOE COUNTY DEVELOPMENT CODE.\*

SCALE: 1"=60'

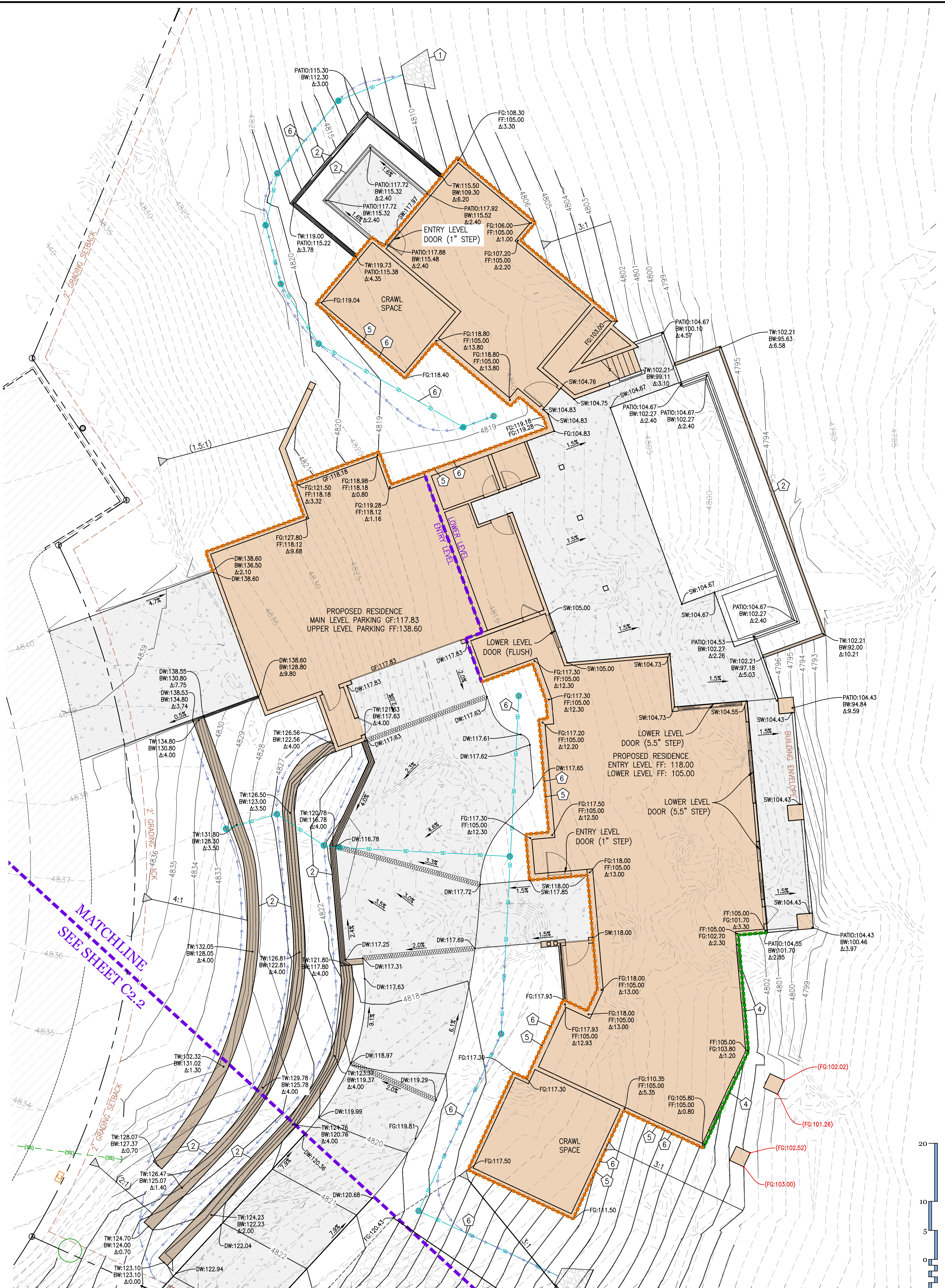


SCALE: 1"=50'

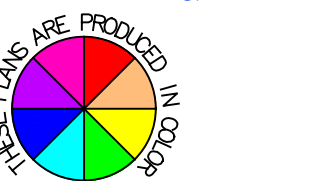
### GRADING PLAN KEYNOTE LEGEND

1. MIN. 25 S.F. NATIVE/LANDSCAPE DRAIN ROCK TRANSITION TO SHEET FOOT
2. 4' MAX. RETAINING WALL (DESIGN & DETAILS BY OTHERS)
3. EXTEND FOOTING TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).
4. EXTEND STEMWALL TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).
5. REFERENCE ARCHITECTURAL/STRUCTURAL PLANS FOR SUBSURFACE DRAINAGE/DEWATERING REQ.
6. PRIVATE DRAINAGE SYSTEM W. 1.0% MIN. INTERNAL SLOPE

1. MIN. 25 S.F. NATIVE/LANDSCAPE DRAIN ROCK TRANSITION TO SHEET FLOW
2. 4" MAX. RETAINING WALL (DESIGN & DETAILS BY OTHERS)
3. EXTEND FOOTING TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).
4. EXTEND STEMWALL TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).
5. REFERENCE ARCHITECTURAL/STRUCTURAL PLANS FOR SUBSURFACE DRAINAGE/DEWATERING REQD.
6. PRIVATE DRAINAGE SYSTEM W. 1.0% MIN. INTERNAL SLOPE



SCALE: 1"=10'



## C2.1

SITE PLAN LEGEND

DRIVEWAY/PAVED AREA

DECK AREA

INFILTRATION TRENCH/DRYWELL

RAINSTORE3 DRYWELL INFILTRATION AREA

PROPERTY LINE

PROPERTY CORNER

UTILITY

PROPOSED UTILITY LINE W. DESCRIPTION

EXISTING UTILITY LINE W. DESCRIPTION

FIRE HYDRANT ASSEMBLY

WATER SERVICE

MAHMHOLE W. DESCRIPTION

CLEANOUT

SANITARY SEWER LATERAL

YARD DRAIN

DIRECTIONAL FLOW LINE

GRADE BREAK

PROPOSED CONTOUR LINE

EXISTING CONTOUR LINE

FLOW

FLOW DIRECTION ARROW

SPOT ELEVATION  
(EXISTING) ~ PROPOSED

TREE/TREE TO BE REMOVED

IRC DRAINAGE NOTE

SURFACE DRAINAGE SHALL BE IN ACCORDANCE TO THE 2018 INTERNATIONAL RESIDENTIAL CODE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL NOT FALL FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10', DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

ADD 4700' TO ALL SPOT ELEVATIONS

PROPOSED DRIVEWAY PLAN

SCALE: 1"=10'

GRADING PLAN KEYNOTE LEGEND

1. MIN. 25 S.F. NATIVE/LANDSCAPE DRAIN ROCK TRANSITION TO SHEET FLOW

2. 4' MAX. RETAINING WALL (DESIGN & DETAILS BY OTHERS)

3. EXTEND FOOTING TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).

4. EXTEND STEMWALL TO PROVIDE FG IDENTIFIED (COORD. W. ARCHITECTURAL/STRUCTURAL DESIGN BY OTHERS).

5. REFERENCE ARCHITECTURAL/STRUCTURAL PLANS FOR SUBSURFACE DRAINAGE/DEWATERING REQD.

6. PRIVATE DRAINAGE SYSTEM W. 1.0% MIN. INTERNAL SLOPE

MONTE VISTA CONSULTING

575 E. Plumb Lane #101  
Reno, NV 89502  
775.636.7905  
montevistaconsulting.com

2359 Diamond J Residence

Site & Grading Plan

2359 Diamond J Place  
APN: 230-031-12  
Washoe County, Nevada

Project #

25.090

Drawn

TKN

Checked

MWV

Date

6.8.2026

Revisions

FOR CONSTRUCTION ONCE APPROVED BY  
WASHOE COUNTY, NEVADA

PROFESSIONAL ENGINEER-STATE OF NEVADA

MICHAEL W. VICKS

Exp: 6.30.2028

CIVIL

No. 21095

June 5, 2026

C2.2

3 of 4

WSUP26-0007 EXHIBIT D

38

C:\Users\Mike\OneDrive\Monte Vista Dropbox\2025 Projects\060 2359 Diamond J (Jenat) Residence\1.0 SUP\2359 Diamond J (Jenat) Residence Civil (6.5.26) Aug 6/2/2026 4:28 PM

DRIVEWAY/PAVED AREA

DECK AREA

INFILTRATION TRENCH/DRYWELL

RAINSTORE3 DRYWELL INFILTRATION AREA

PROPERTY LINE

PROPERTY CORNER

UTILITY PROPOSED UTILITY LINE W. DESCRIPTION

EXISTING UTILITY LINE W. DESCRIPTION

FIRE HYDRANT ASSEMBLY

WATER SERVICE

MANHOLE W. DESCRIPTION

CLEANOUT

SANITARY SEWER LATERAL

YARD DRAIN

DIRECTIONAL FLOW LINE

GRADE BREAK

PROPOSED CONTOUR LINE

EXISTING CONTOUR LINE

FLOW

FLOW DIRECTION ARROW

(FG:XX.XX)

SPOT ELEVATION (EXISTING) ~ PROPOSED

TREE/TREE TO BE REMOVED

OVERALL SITE PLAN  
SCALE:1"=40'

A-A  
VERTICAL SCALE: 1"=10'  
HORIZONTAL SCALE: 1"=10'

C-C  
VERTICAL SCALE: 1"=10'  
HORIZONTAL SCALE: 1"=10'

B-B  
VERTICAL SCALE: 1"=10'  
HORIZONTAL SCALE: 1"=10'

MONTE VISTA  
CONSULTING

575 E. Plumb Lane #101  
Reno, NV 89502  
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2359 Diamond J Residence

Grading Cross Sections

|                                                                  |          |
|------------------------------------------------------------------|----------|
| 2359 Diamond J Place<br>APN: 230-031-12<br>Washoe County, Nevada |          |
| Project #                                                        | 25.090   |
| Drawn                                                            | TKN      |
| Checked                                                          | MWV      |
| Date                                                             | 6.8.2026 |
| Revisions                                                        |          |

C3.0

4 of 4

WSUP26-0007  
EXHIBIT D

39



6/10/2026 **40**

**WSUP26-0007**  
**EXHIBIT D**

0 0.04 0.09 0.17 mi