

**MAINTENANCE AND CONSTRUCTION AGREEMENT FOR THE
GALENA TERRACE PARK**

This Maintenance and Construction Agreement is made and entered into this _____ day of _____, 2018, by and between Washoe County, a political subdivision of the State of Nevada, acting by and through its Community Services Department, hereafter called “County” and Galena Terrace Maintenance Association, Inc. a Nevada Domestic Nonprofit Corporation (“Galena Terrace Maintenance Association”). In consideration of the terms and conditions hereof, the parties agree as follows:

WITNESSETH:

Galena Terrace Maintenance Association is the current owner of real property located in Washoe County, Nevada, known as Parcel “A” within Galena Terrace Unit 10 subdivision map (FM No. 3712, currently Assessor’s Parcel Number 144-180-01) and described in Exhibit “A” attached hereto and incorporated herein by reference (“Galena Terrace Park”);

Nevada Revised Statutes NRS 278.4983 is a law relating to the residential construction tax (the “RCT”), providing the manner for its imposition, establishing its use and setting its rate at one percent (1%) of the valuation of each building permit issued, or \$1,000 per residential dwelling unit or mobile home, whichever is less, and providing other matters properly relating thereto;

Washoe County, has adopted by ordinance a residential construction tax, Washoe County Code Sections 20.435 to 20.467 pursuant to NRS 278.4983, to impose a tax upon the construction of apartment houses, residential dwelling units and mobile-home lots, as well as a method for its collection. The Project will be funded entirely by RCT, as compliant with Nevada Revised Statutes;

Washoe County has collected RCT funds from the development of the Galena Terrace Subdivision, located within Park District 1C. for the development of the real property as a park;

Galena Terrace Maintenance Association, is to assume the maintenance and liability of Galena Terrace Park, while County agrees to contribute staff and funding from RCT to plan, develop and construct Galena Terrace Park;

The parties agree on the following terms and conditions:

1. CONSTRUCTION

- 1.1 The County shall solicit competitive bids for the construction of Galena Terrace Park compliant with Nevada Revised Statutes. The County intends to award the bid to the lowest responsive, complete and qualified bidder. Once the bids are received and certified, they will be presented to the Board of County Commissioners for consideration and possible approval.
- 1.2 The County shall be responsible for executing a separate construction agreement with the awarded bidder. All contractors hired for the purposes of constructing the Project shall meet the standard County indemnification and insurance requirements, including the addition of GTMA and Washoe County as named as additional insured and provide waiver of subrogation and shall provide proof to parties of said coverage prior to the beginning of any construction. The contract shall include proper protections for fencing, fire prevention, accidents, and dust control.
- 1.3 Park equipment should be placed based upon standards set by the U.S. Consumer Product Safety Commission and constructed to manufacturers' specifications.
- 1.4 Either party may at any time enter upon Galena Terrace Park during construction to inspect construction progress. In any event, GTMA shall be notified before the irrigation system is covered and shall be afforded an opportunity to inspect it.
- 1.5 The contractor, with the assistance of design professional, shall provide reproducible as-built drawings at the completion of construction and prior to final payment. One hard copy and one electronic copy of the as-builts will be provided to GTMA.
- 1.6 In the event any of the obligations identified above or the contracts do not have proper protections against liability for fire, accidents, dust control, etc., Galena Terrace Maintenance Association may provide written notice of such failure and County shall have ten (10) days to respond. The Parties shall work in good faith to resolve any issues.

2. MAINTENANCE

Galena Terrace Maintenance Association will maintain the Galena Terrace Park by providing the labor, equipment and materials to properly maintain the park as follows:

- 2.1 Irrigation systems shall be adequately maintained on a year round basis to ensure proper operation and efficient irrigation to turf, trees and shrubs.
- 2.2 Landscape maintenance, mowing, fertilization, watering, and aeration will be performed on a regular and routine maintenance schedule in accordance with the level of service standards as attached as Exhibit C.
- 2.3 Galena Terrace Maintenance Association will pick up all litter, debris and trash from park and empty trash cans (if in place) at a minimum of once per week during the term of this agreement.
- 2.4 Maintenance does include replacement of all improvements related to the construction of Galena Terrace Park and further identified in Exhibit B
- 2.5 Galena Terrace Maintenance Association will maintain the sidewalk on County owned parcel 144-150-01.
- 2.6 Damage and Vandalism to Park. Replacement or repair of damage of the improvements within Exhibit “B” shall be the sole responsibility of the Galena Terrace Maintenance Association. Galena Terrace Maintenance Association, at its sole cost and expense, shall secure and maintain fire and all risk insurance for all property located at Galena Terrace Park. Galena Terrace Maintenance Association shall also secure and maintain a policy of Comprehensive General Liability coverage, in an amount of not less than \$1,000.00 per occurrence, and at least \$2,000,000 annual aggregate.
- 2.7 Right of Entry. Galena Terrace Maintenance Association grants Washoe County the right to enter upon the premises in order to perform visual inspections of the park for purposes of upholding the maintenance standards outlined within this contract. County shall hold harmless, indemnify, and defend Galena Terrace Maintenance Association from and against any and all claims, demands, and losses of Galena Terrace Maintenance Association and third parties arising out of or related to the Right of Entry granted to County for the purposes of inspecting the Park, hereof resulting from actions of County or any consultants, contractors, subcontractor, or others under County direction or control. Under no circumstances shall the County have any responsibility for any claims, demands, and losses resulting from any action or lack of action by Galena Terrace Maintenance Association.

3. MISCELLANEOUS PROVISIONS

- 3.1 Time is of the essence of this Agreement.
- 3.2 Any notices, requests or instructions deemed by either Party to be given to the other shall be given in writing and are to be mailed by certified mail with return receipt requested, as follows:

Galena Terrace Maintenance Association
C/O Association Sierra North
10509 Professional Circle Ste 200
Reno, NV 89521

With a copy to:
Gayle A. Kern, Esq.
Leach Kern Gruchow Anderson Song
5421 Kietzke Lane, Suite 200
Reno, NV 89511

Washoe County -CSD
Attention: Operations Division Director
P. O. Box 11130
Reno, Nevada 89520

- 3.3 Except as otherwise set forth herein, service of any notice or demand made by mail shall be deemed completed on the day of actual delivery or upon personal delivery.
- 3.4 This Agreement shall be construed and enforced in accordance with the laws of the State of Nevada and venue for any such action shall be in Washoe County, Nevada. In the event that there is a dispute concerning this Agreement, neither party will reimburse the other party its attorney's fees or costs.
- 3.5 This Agreement may not be modified, amended, altered or changed in any respect whatsoever except by further agreement in writing, duly executed by the parties.
- 3.6 This Agreement shall be binding upon and inure to the benefit of the parties hereto, and their respective successors, subcontractors, personal representatives, and assigns.

- 3.7 All periods of time referred to in this Agreement shall include all Saturdays, Sundays, and state or national holidays, unless the period of time specifies business days, provided that if the date to perform any act or give any notice with respect to this Agreement shall fall on a Saturday, Sunday, or state or national holiday, such act or notice may be timely performed or given on the next succeeding day which is not a Saturday, Sunday, or state or national holiday.
- 3.8 The parties hereto acknowledge and agree that each has been given the opportunity to review this Agreement with legal counsel independently, and/or has the requisite experience and sophistication to understand, interpret, and agree to the particular language of the provisions hereof. The parties have equal bargaining power and intend the plain meaning of the provisions herein. In the event of an ambiguity in or dispute regarding interpretation of terms, the interpretation of this Agreement shall not be resolved by any rule of interpretation providing for interpretation against the party who causes the uncertainty to exist or against the draftsman.
- 3.9 Each party shall indemnify, hold harmless and defend, not excluding the other's right to participate, the other party from and against all liability, claims, actions, damages, losses, and expenses, including but not limited to reasonable attorneys' fees and costs, arising out of any alleged negligent or willful acts or omissions of the indemnifying party, its officers, employees and agents. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this paragraph.

Washoe County will not waive and intends to assert available NRS chapter 41 liability limitations in all cases. Contract liability of both parties shall not be subject to punitive damages.

- 3.10 The parties recognize that upon completion of the Project, the Property will become a public park and shall remain open to all members of the public. Any reservations of the park are to be made through the GTMA and noticed on the site 48 hours prior the event taking place.

4. TERM

Regular maintenance shall occur on a reasonable basis on a schedule as determined by the Association and included within Exhibit C. GTMA shall maintain the Project on the Property in perpetuity, and ensure the Property is open and available for the general public and compliant with Nevada Revised Statutes.

5. WARRANTY

GTMA shall receive full and complete warranties from the construction contractors, equipment manufacturers, architects, consultants, any service or material provider, on the Park Project. Such warranties shall be implied and written and no waiver of any warranty shall be agreed to in any contract with any provider.

6. PROPERTY TAX LIABILITY

There shall be no property taxes assessed on the Park Property pursuant to NRS 361.233.

7. WASHOE COUNTY DRAINAGE PIPES/CULVERTS UNDER PARK PROPERTY

The County shall ensure reasonable maintenance of all drainage easements held on, adjacent to, or under the Park Property.

8. ENTIRETY OF THE AGREEMENT

This Agreement for the Galena Terrace Park contains the entire agreement between the parties hereto and supersedes any and all prior agreements, arrangements or understandings regarding the same subject matter as this Agreement, which are null and void.

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be signed the day and year first above written.

COUNTY OF WASHOE, a political
subdivision of the State of Nevada

By _____
Marsha Berkbigler, Chair
Washoe County Commission

STATE OF NEVADA)
 : ss.
COUNTY OF WASHOE)

On this _____ day of _____, 2018, before me, a Notary Public, personally appeared _____, known to me to be the person who executed the above instrument, and acknowledged to me that she executed the same for the purposes therein stated.

NOTARY PUBLIC

GALENA TERRACE
MAINTENANCE ASSOCIATION,
INC., a Nevada Domestic Nonprofit
Corporation

By _____

STATE OF NEVADA)
 : ss.
COUNTY OF WASHOE)

On this _____ day of _____, 2018, before me, a Notary Public, personally appeared _____, known to me to be the person who executed the above instrument, and acknowledged to me that s/he executed the same for the purposes therein stated.

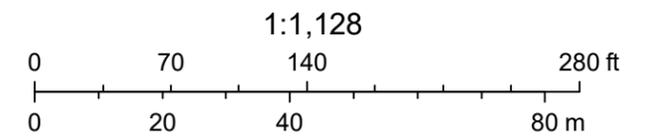
NOTARY PUBLIC

Galena Terrace Park Exhibit A

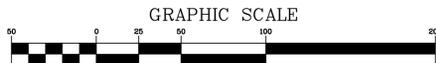


June 21, 2018

-  Ditch
-  Reno City Boundary



Washoe County
Washoe County GIS
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics,
CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User
Community



BASIS OF BEARING:

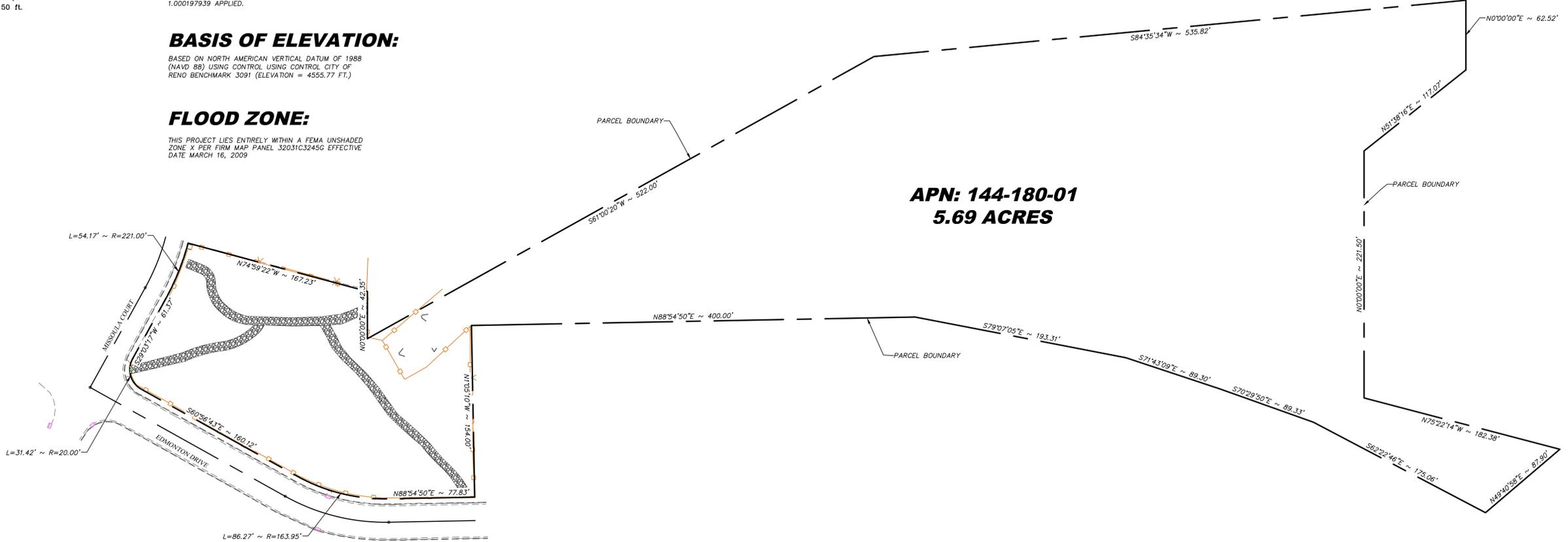
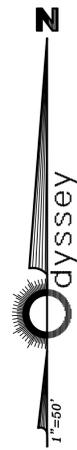
BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

FLOOD ZONE:

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009



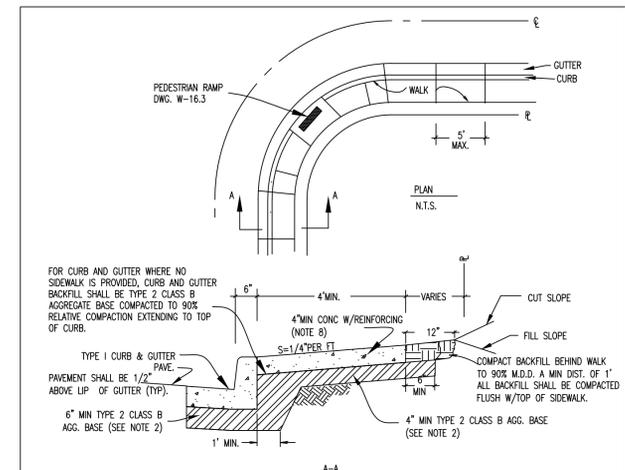
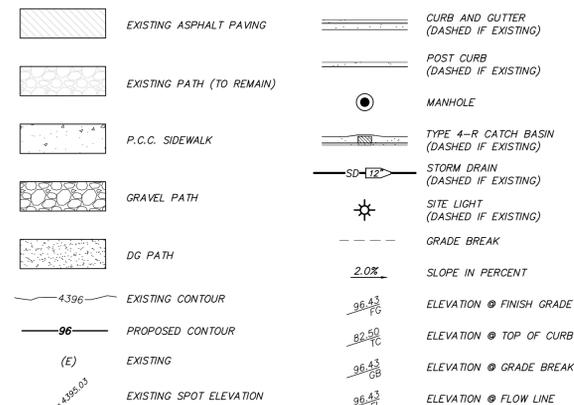
GRADING NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION 2012 ADDITION (AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMANCE WITH SECTION 040.030 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS.
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINT OF CONNECTION WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS PER FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES.
- ALL UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM SURFACE EVIDENCE AND AVAILABLE UTILITY COMPANY RECORDS. ALL UTILITIES SHOULD BE VERIFIED IN THE FIELD. ODYSSEY ENGINEERING INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS OF SUCH RECORDS.
- THE CONTRACTOR SHALL MAINTAIN AN ON-GOING PROCESS OF REMOVAL OF ALL SPILLAGE OF EXCAVATION MATERIAL ON ALL PAVED STREETS.
- LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
- ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND OWNERS PERSONNEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN EXISTING B.M.P. IMPROVEMENTS THAT ARE IN PLACE, AND SHALL PROVIDE AND MAINTAIN ADDITIONAL B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.P.
- THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, CITY OF SPARKS, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- ADD 5000 FEET TO ALL TRUNCATED ELEVATIONS.
- THE NATURAL VEGETATION AND EXISTING LANDSCAPING SHALL BE PRESERVED AS MUCH AS PRACTICAL DURING SITE IMPROVEMENTS CONSTRUCTION.
- SLOPES STEEPER THAN 3:1 SHALL BE MECHANICALLY STABILIZED WITH ROCK-RIP.
- ANY ACCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST WASHOE COUNTY REGULATIONS OR IN APPROVED AREAS.

TRUCKEE MEADOWS REGIONAL STORMWATER QUALITY NOTES:

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 1.B.A.b. (2).
- AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIST LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 1.B.A.g.
- ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

LEGEND:



- NOTES
- PORTLAND CEMENT CONCRETE (P.C.C.) SHALL MEET THE FOLLOWING SPECIFICATIONS: 4,000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS W/ MIN. 6.25 SACKS OF TYPE II CEMENT (588 LBS) PER CUBIC YARD OF CONCRETE; WATER/CEMENT RATIO 0.45 MAX; AIR ENTRAINMENT SHALL BE 4.5% - 7.5%; SLUMP SHALL RANGE FROM 1" MIN TO 4" MAX. ALL MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
 - AGGREGATE BASE SHALL BE TYPE 2 CLASS B COMPACTED TO 95% MINIMUM RELATIVE COMPACTION PER ASTM D-1557.
 - EVAPORATION REDUCERS (SUCH AS CONFLIM) SHALL BE APPLIED IMMEDIATELY AFTER INITIAL CURING.
 - FINISHING AND CURING SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE SSPWC.
 - TESTING SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE SSPWC.
 - SIDEWALK REMOVAL SHALL BE TO NEAT SAW-CUT LINES.
 - NO EQUIPMENT SHALL BE PERMITTED ADJACENT TO OR ACROSS THE SIDEWALK UNTIL THE FOURTH DAY FOLLOWING PLACEMENT OF THE CONCRETE OR UNTIL THE CONCRETE HAS REACHED A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
 - REINFORCING SHALL CONSIST OF COLLATED, FIBRILLATED, POLYPROPYLENE FIBERS AS MANUFACTURED BY FIBERMESH OR APPROVED EQUAL AND SHALL BE ADDED AT A RATE OF 1 1/2 LBS PER CUBIC YARD OF CONCRETE.
 - SUBGRADE SHALL BE COMPACTED TO 90% MIN RELATIVE COMPACTION. IF EXPANSIVE OR UNSUITABLE MATERIALS ARE ENCOUNTERED AT SUBGRADE ELEVATION, THE SOILS SHALL BE OVER-EXCAVATED TO CONFORM TO THE SOILS REPORT OR REQUIREMENTS OF WASHOE COUNTY. THE SIDEWALK SHALL RECEIVE A LIGHT BROOM FINISH.
 - SEE ROADWAY SECTIONS FOR SIDEWALK WIDTHS

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
1	REDRAWN	2/94sp		WASHOE
2	Notes	11/11sw		DRAWING NO: W-16.2
3	Revision	8/16ww		DATE: 06/16ww PAGE: 30

DATE:	BY:	DESCRIPTION:
7-10-2017	APP'D	
DRAWN BY: K.W.A.		
DESIGNED BY: ACAD2017		
CHECKED BY: K.W.A.		

PERMIT SET

GALENA TERRACE PARK

OVERALL SITE PLAN AND NOTES

WASHOE COUNTY NEVADA

895 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
(775) 359-3303 FAX (775) 359-3329
ODYSSEY@RENO.COM

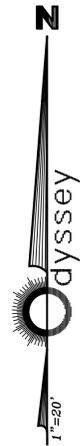
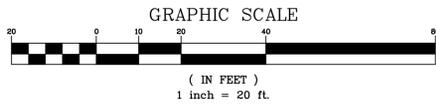
Odyssey ENGINEERING INCORPORATED

SCALE
HORIZ. 1"=50'
VERT. _____

JOB NO.
3837

SHEET
N-1
OF
5





BASIS OF BEARING:

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

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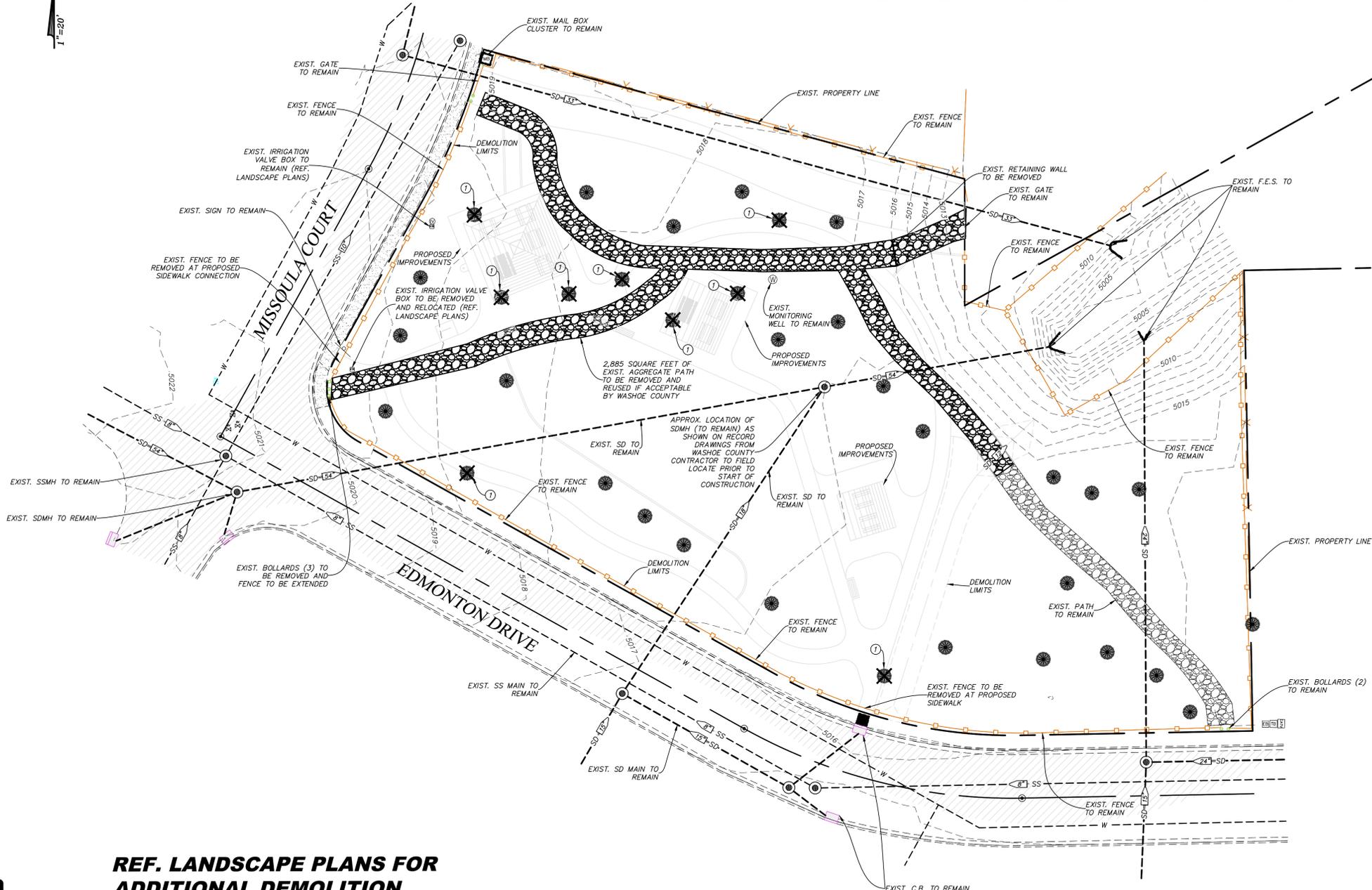
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NOTE:

- 1. EXIST. TREE TO BE REMOVED

DEMOLITION NOTES:

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4. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS PER FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES.
5. NO MATERIAL OF ANY KIND SHALL BE STOCKPILED, OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES MAINTAINED BY WASHOE COUNTY.
6. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM SURFACE EVIDENCE AND AVAILABLE UTILITY COMPANY RECORDS. ALL UTILITIES SHOULD BE VERIFIED IN THE FIELD. ODYSSEY ENGINEERING INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS OF SUCH RECORDS.
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13. ADD 5000 FEET TO ALL TRUNCATED ELEVATIONS.
14. THE NATURAL VEGETATION AND EXISTING LANDSCAPING SHALL BE PRESERVED AS MUCH AS PRACTICAL DURING ROADWAY AND DRAINAGE IMPROVEMENTS CONSTRUCTION.
15. ANY ACCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST CITY OF SPARKS REGULATIONS OR IN APPROVED AREAS.



LEGEND:

- EXISTING ASPHALT PAVING
- GRAVEL PATH TO BE REMOVED
- GRAVEL PATH (TO REMAIN)
- EXISTING CURB AND GUTTER
- EXISTING POST CURB
- EXISTING MANHOLE
- EXISTING TYPE 4-R CATCH BASIN
- EXISTING TYPE 1 CATCH BASIN
- EXISTING TYPE 3 CATCH BASIN
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER LATERAL
- EXISTING WATER AND GAS
- EXISTING WATER
- EXISTING GAS
- EXISTING RECLAIM IRRIGATION MAIN
- EXISTING UNDERGROUND ELECTRIC/ TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING FIRE HYDRANT
- EXISTING WATER SERVICE
- EXISTING SITE LIGHT
- EXISTING CONTOUR
- EXISTING
- EXISTING SPOT ELEVATION
- SAWCUT LINE
- EXISTING TREE
- EXISTING TREE TO BE REMOVED

REF. LANDSCAPE PLANS FOR ADDITIONAL DEMOLITION INFORMATION



Know what's below. Call before you dig.

REV.	DATE	DESCRIPTION	BY	APP'D

DATE: 7-10-2017
 DRAWN BY: K.W.A.
 DESIGNED BY: ACAD2017
 CHECKED BY: K.W.A.

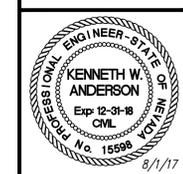
PERMIT SET

GALENA TERRACE PARK
 DEMOLITION PLAN

WASHOE COUNTY
 NEVADA

885 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
 (775) 369-3303 FAX (775) 359-3329
 ODYSSEYRENO.COM

Odyssey ENGINEERING INCORPORATED



SCALE
 HORIZ. 1"=20'
 VERT. ---

JOB NO. 3837

SHEET
DEM-1
 OF
5

BASIS OF BEARING:

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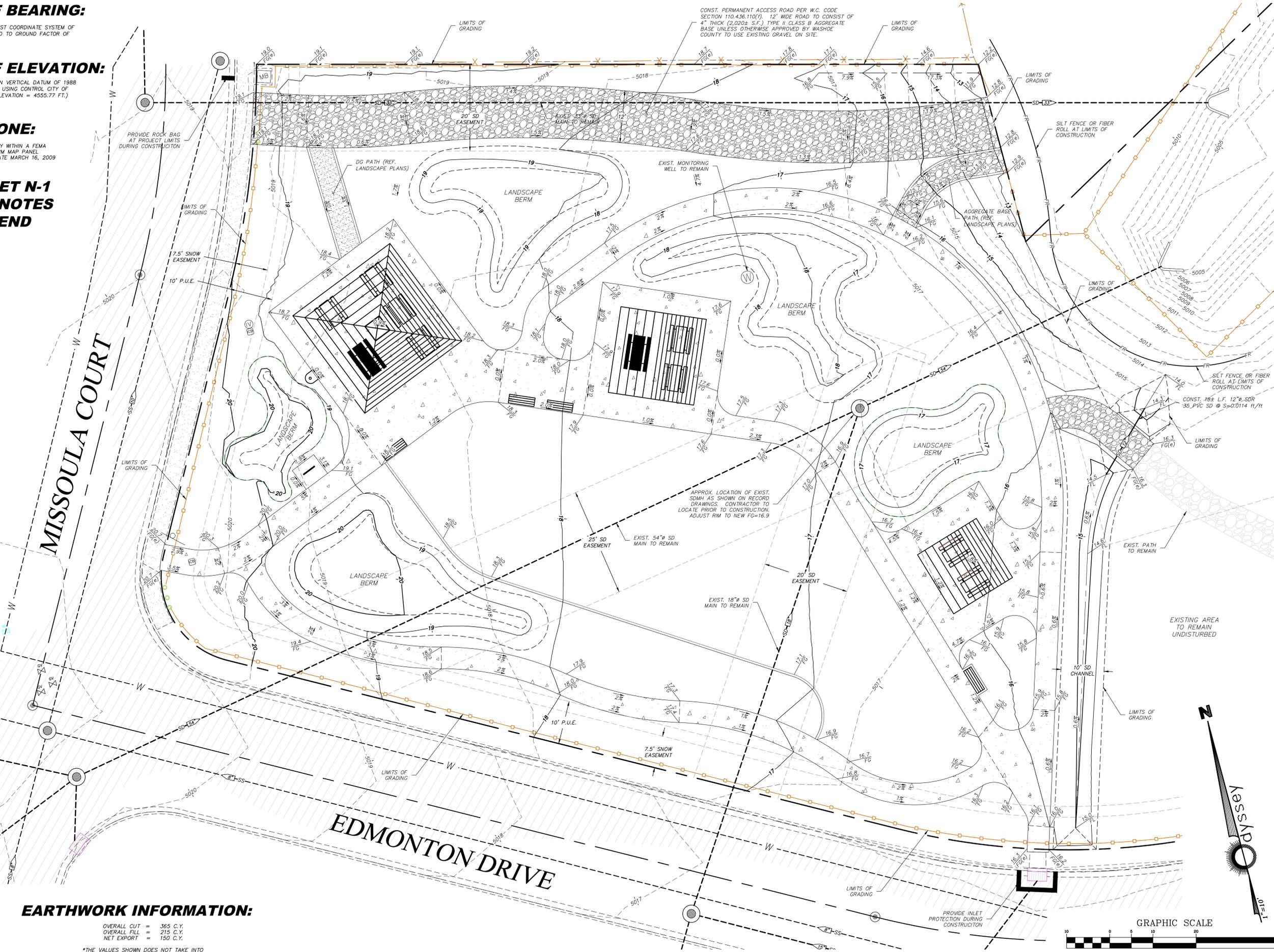
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BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

FLOOD ZONE:

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

REF. SHEET N-1 FOR ALL NOTES AND LEGEND



CONST. PERMANENT ACCESS ROAD PER W.C. CODE SECTION 110.436.110(1), 12' WIDE ROAD TO CONSIST OF 4" THICK (2,000± S.F.) TYPE II CLASS B AGGREGATE BASE UNLESS OTHERWISE APPROVED BY WASHOE COUNTY TO USE EXISTING GRAVEL ON SITE.

APPROX. LOCATION OF EXIST. SDMH AS SHOWN ON RECORD DRAWINGS. CONTRACTOR TO LOCATE PRIOR TO CONSTRUCTION. ADJUST RIM TO NEW FG=16.9

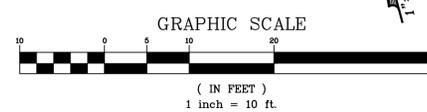
MISSOULA COURT

EDMONTON DRIVE

EARTHWORK INFORMATION:

OVERALL CUT = 365 C.Y.
OVERALL FILL = 215 C.Y.
NET EXPORT = 150 C.Y.

*THE VALUES SHOWN DOES NOT TAKE INTO ACCOUNT SHRINK/SWELL OF THE IN-SITU SOIL.



REV.	DATE	DESCRIPTION	BY	APP'D

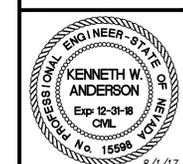
PERMIT SET

GALENA TERRACE PARK
GRADING AND DRAINAGE PLAN

WASHOE COUNTY
NEVADA

885 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
(775) 369-3303 FAX (775) 359-3329
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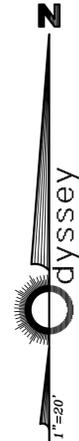
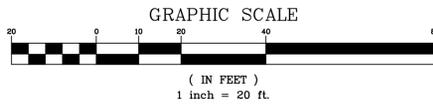
odysssey ENGINEERING INCORPORATED



SCALE
HORIZ. 1"=10'
VERT. ---

JOB NO. 3837

SHEET G-1 OF 5



CURVE	LENGTH	RADIUS	DELTA
C1	13.16'	16.00'	47°07'43"
C2	15.71'	10.00'	90°00'00"
C3	11.78'	5.00'	135°00'00"
C4	8.65'	11.00'	45°04'44"
C5	104.43'	65.00'	92°03'17"
C6	51.56'	80.00'	36°55'35"
C7	2.97'	5.00'	34°05'07"
C8	7.85'	5.00'	90°00'00"
C9	35.86'	30.00'	68°29'20"
C10	39.45'	65.00'	34°46'32"
C11	29.10'	75.00'	22°13'49"
C12	27.75'	65.00'	24°27'49"
C13	31.11'	75.00'	23°46'05"
C14	19.01'	30.00'	36°18'10"
C15	6.45'	5.00'	73°52'21"
C16	9.40'	22.00'	24°28'34"
C17	96.40'	60.00'	92°03'17"

CURVE	LENGTH	RADIUS	DELTA
C18	45.30'	75.00'	34°36'25"
C19	12.73'	5.00'	145°54'53"
C20	17.44'	20.00'	49°58'28"
C21	7.85'	5.00'	90°00'00"
C22	7.85'	5.00'	90°00'00"
C23	7.85'	5.00'	90°00'00"
C24	4.72'	6.00'	45°04'44"
C25	11.78'	15.00'	45°00'00"
C26	13.08'	15.00'	49°58'28"
C27	7.85'	5.00'	90°00'00"
C28	29.88'	25.00'	68°29'20"
C29	42.49'	70.00'	34°46'32"
C30	27.16'	70.00'	22°13'49"
C31	29.89'	70.00'	24°27'49"
C32	29.04'	70.00'	23°46'05"
C33	15.84'	25.00'	36°18'10"
C34	7.95'	5.04'	90°19'08"

CURVE	LENGTH	RADIUS	DELTA
C35	9.95'	10.00'	57°00'28"
C36	15.04'	17.35'	49°40'57"
C37	13.04'	14.00'	53°21'53"
C38	18.63'	20.00'	53°21'53"
C39	8.22'	212.00'	2°13'14"
C40	65.07'	212.00'	17°35'07"
C41	64.13'	238.00'	15°26'15"
C42	26.37'	160.00'	9°26'40"
C43	24.40'	148.00'	9°26'40"
C44	67.36'	250.00'	15°26'15"
C45	68.21'	200.00'	19°32'22"
C46	7.85'	5.00'	90°00'10"
C47	12.94'	5.00'	148°14'03"
C48	7.85'	5.00'	90°00'00"
C49	10.83'	5.00'	124°05'07"

LINE	DIRECTION	LENGTH
L1	S64°25'38"E	5.82'
L2	N68°26'39"E	25.62'
L3	N21°33'21"W	28.00'
L4	N68°26'39"E	36.00'
L5	S21°33'21"E	35.01'
L6	N23°26'39"W	2.58'
L7	N68°31'23"E	17.85'
L8	S17°30'14"W	76.37'
L9	N17°30'14"E	6.11'
L10	N16°34'53"W	5.55'
L11	N15°01'51"W	1.02'
L12	N64°25'38"W	5.80'
L13	S68°31'23"W	17.85'
L14	N17°30'14"E	16.48'

LINE	DIRECTION	LENGTH
L15	S16°34'53"E	16.23'
L16	S66°33'21"E	9.05'
L17	S23°26'39"W	21.00'
L18	S66°33'21"E	30.00'
L19	N23°26'39"E	14.00'
L20	S66°33'21"E	1.79'
L21	S23°26'39"W	2.58'
L22	S68°26'39"W	50.89'
L23	N66°33'21"W	63.92'
L24	N16°34'53"W	71.49'
L25	N35°30'13"W	11.32'
L26	S35°30'13"E	10.78'
L27	N43°17'22"E	4.57'
L28	S84°31'01"E	8.91'

LINE	DIRECTION	LENGTH
L29	N43°17'22"E	4.57'
L30	N1°29'26"W	22.83'
L31	N1°29'26"W	26.94'
L32	S71°45'12"E	10.60'
L33	N71°45'12"W	10.57'
L34	N73°25'07"E	21.00'
L35	S16°34'53"E	10.12'
L36	S73°25'07"W	9.23'
L37	S73°18'36"W	2.50'
L38	S16°41'24"E	7.00'
L39	S73°18'36"W	2.51'
L40	S16°34'53"E	6.64'

BASIS OF BEARING:

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

FLOOD ZONE:

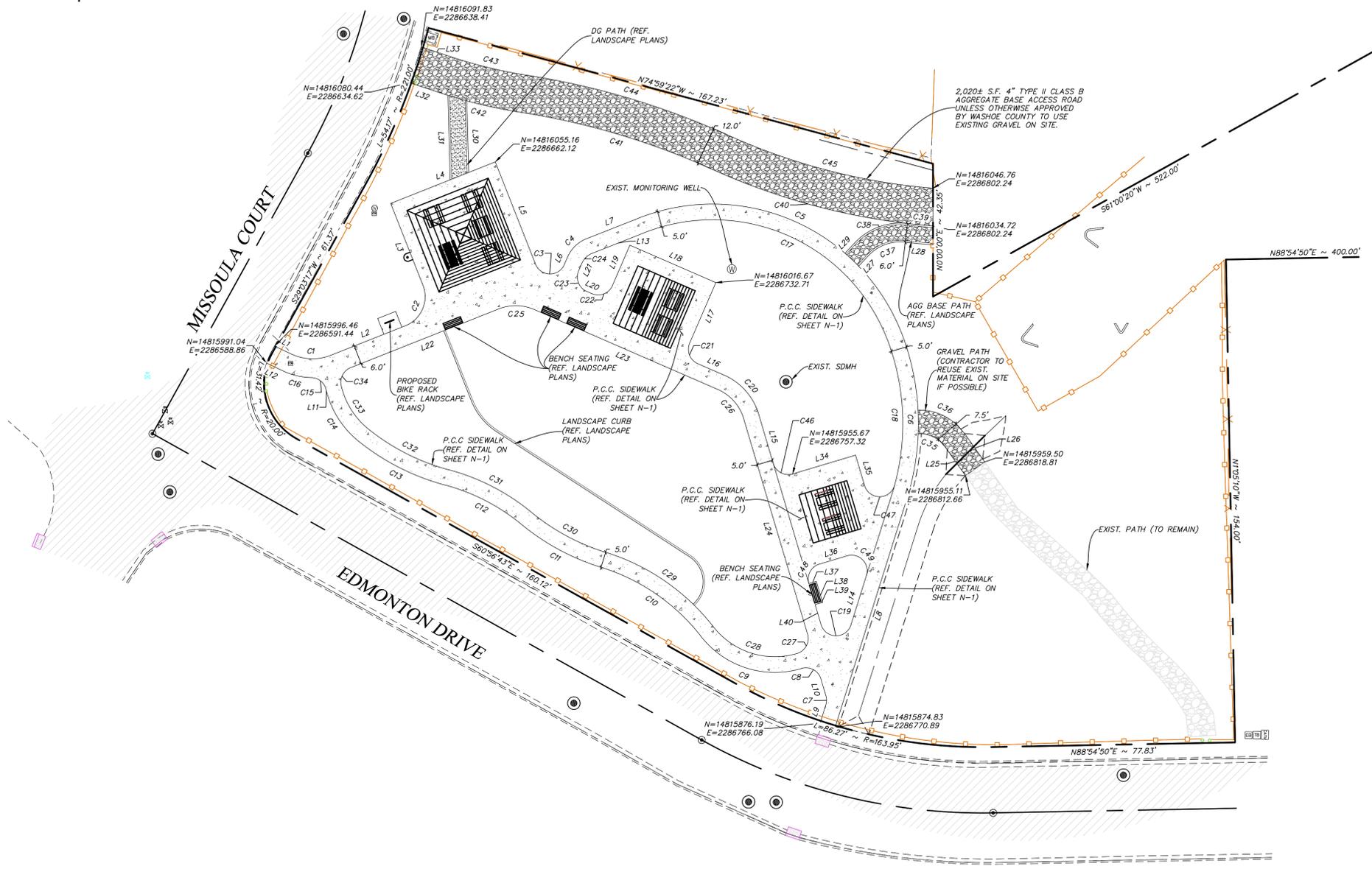
THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

SITE NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION 2012 ADDITION (AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINT OF CONNECTION WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND LEGENDS PERSONNEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN EXISTING B.M.P. IMPROVEMENTS THAT ARE IN PLACE, AND SHALL PROVIDE AND MAINTAIN ADDITIONAL B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.P.
- THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, WASHOE COUNTY, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.

LEGEND:

- EXISTING ASPHALT PAVING
- EXISTING PATH (TO REMAIN)
- GRAVEL PATH
- DG PATH (REF. LANDSCAPE PLANS)
- P.C.C. SIDEWALK (REF. DETAIL SHEET N-1)
- CURB AND GUTTER (DASHED IF EXISTING)
- POST CURB (DASHED IF EXISTING)
- MANHOLE (DASHED IF EXISTING)
- TYPE 4-R CATCH BASIN (DASHED IF EXISTING)
- TYPE 1 CATCH BASIN (DASHED IF EXISTING)
- TYPE 3 CATCH BASIN (DASHED IF EXISTING)
- EXISTING SITE LIGHT
- SAWCUT LINE



REV.	DATE	DESCRIPTION	BY	APP'D

DATE: 7-10-2017	DRAWN BY: K.W.A.	DESIGNED BY: ACAD2017	CHECKED BY: K.W.A.
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PERMIT SET

GALENA TERRACE PARK

SITE PLAN

WASHOE COUNTY NEVADA

885 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
(775) 369-3303 FAX (775) 359-3329
ODYSSEYRENO.COM

odyssey ENGINEERING INCORPORATED

SCALE	HORIZ. 1"=20'
VERT.	---
JOB NO.	3837
SHEET	S-1
OF	5



LANDSCAPE SPECIFICATIONS

GENERAL

1. PLAN IS DIAGRAMMATIC ONLY. ALL LOCAL GOVERNING CODES SHALL BE MET. EXACT LOCATION OF TREES AND SHRUBS SHALL BE DETERMINED IN THE FIELD (INSTALL AS PER DETAILS) AND APPROVED BY THE OWNER'S REPRESENTATIVE.
2. A MINIMUM OF TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRIC CABLES, TELEPHONE CABLES, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES, AND REPAIR OF ANY DAMAGE RESULTING FROM HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
3. DAMAGES: CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER.
4. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (I.E. PAVING, PLUMBING, ELECTRICAL, ETC.)
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION AND TO NOTIFY THE OWNER'S REPRESENTATIVE SHOULD CONDITIONS EXIST WHICH PREVENT CONSTRUCTION AS PER THESE PLANS. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS AND RESPONSIBILITY FOR CORRECTIONS.
6. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT.

PLANTING

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING THROUGHOUT ALL LANDSCAPE AREAS SUCH THAT THERE ARE NO HUMPS OR DEPRESSIONS AND POSITIVE DRAINAGE OCCURS THROUGHOUT.
8. SOIL TEST: CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS FOR EXISTING SITE SOIL AS FOLLOWS:
 - ANALYSIS PACKAGE LTP-4 BY SUNLAND ANALYTICAL (916)852-8587 (OAE).
 - TEST RESULTS SHALL INCLUDE SOIL SATURATION PERCENT, SOIL TEXTURE, INFILTRATION RATE, pH, CONDUCTIVITY, TOTAL DISSOLVED SOLTS, CATION EXCHANGE CAPACITY, POTASSIUM, SODIUM, CALCIUM, MAGNESIUM, NITRATE & PHOSPHORUS, SULFUR, CHLORIDE, BORON, COPPER, IRON, MANGANESE, ZINC & LIME REQUIREMENT OR GYPSUM REQUIREMENT, SODIUM ABSORPTION RATIO, EXCHANGEABLE SODIUM PERCENT & ORGANIC MATTER, ALONG WITH RECOMMENDATIONS FOR SOIL AMENDMENT BASED ON ANALYSIS RESULTS.
 - CONTRACTOR SHALL FOLLOW RECOMMENDATIONS OF SOIL TEST.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TOTAL AND CONFIRM ALL MATERIAL QUANTITIES. ITEMS QUANTIFIED BY AN AREA (I.E. SQUARE FEET = SF, SQUARE YARD = SY) OR VOLUME (CUBIC FEET = CU FT, CUBIC YARD = CU YD) SHALL BE CALCULATED AND CONFIRMED BY THE CONTRACTOR. THE QUANTITIES LISTED ON THE PLANT LIST ARE ESTIMATED. IN THE EVENT OF A DISCREPANCY BETWEEN THE TOTALS LISTED ON THE PLANT LIST AND THE QUANTITY OF GRAPHIC PLANT SYMBOLS DEPICTED ON THE DRAWINGS, THE GRAPHIC SYMBOLS ON THE PLANS SHALL GOVERN. THE ACTUAL TOTAL QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR.
10. SOIL AMENDMENT: UNLESS OTHERWISE INDICATED BY THE SOIL TEST, SOIL AMENDMENT SHALL BE HUMUS COMPOSED OF TOPSOIL, BARK HUMUS, AND COMPOST. SUBMIT TO OWNER'S REPRESENTATIVE FOR APPROVAL.
11. ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF THE ANSI Z601 "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN SHALL BE REJECTED. CONTRACTOR SHALL RECEIVE ON-SITE APPROVAL OF PLANT MATERIAL BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO RECEIVE PRIOR APPROVAL MAY RESULT IN REJECTION OF PLANT MATERIAL FOLLOWING INSTALLATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND EVALUATE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD.
12. ALL PLANTING BEDS SHALL RECEIVE TOP-DRESSINGS OF MULCH AS FOLLOWS:
 - DECOMPOSED GRANITE (DG) - INSTALL 4" MIN. DEPTH OF 3/4" COURSE OXBORROW DG (OAE) - DO NOT INSTALL WEED FABRIC UNDER DG MULCH.
 - 4" MINUS RIVER ROCK COBBLE - INSTALL 4" MIN. DEPTH OVER LANDSCAPE FABRIC.
 - CRUSHED AGGREGATE BASE 3/4" - INSTALL 6" MIN. DEPTH OF 3/4" CRUSHED AGGREGATE BASE ROCK. DO NOT INSTALL OVER LANDSCAPE FABRIC.
 - BARK MULCH - INSTALL WALK-ON BARK MULCH (OAE) IN TREE AND SHRUB WATERING WELLS LOCATED WITHIN ROCK MULCH AREAS. DO NOT INSTALL LANDSCAPE FABRIC UNDER BARK.
 - LANDSCAPE FABRIC - DEWITT PRO-5 WEED BARRIER (OAE), INSTALL IN ACCORDANCE WITH MFG'S SPECIFICATIONS.
 - GRANULAR, PRE-EMERGENT HERBICIDE - APPLY RONSTAR TURF & ORNAMENTAL HERBICIDE (OAE) TO ALL PLANTING BEDS PER MFG'S SPECIFICATIONS.

SOD

13. LOOSEN SUBGRADE OF LAWN AREAS TO A MINIMUM DEPTH OF 6 INCHES. REMOVE STONES MEASURING OVER 1 INCH IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION.
14. SPREAD MINIMUM 6 CY SOIL AMENDMENT (GROUND BARK BASED PRODUCT, 1/4" MAXIMUM PARTICLE SIZE, NITROGEN STABILIZED) PER 1000 SF OVER AREA TO BE PLANTED. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL AMENDMENT REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE BY ROTOTILLING TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINDER OF SOIL AMENDMENT.
15. FINE GRADE LAWN AREAS TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE, AND DRAG LAWN AREAS. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES. LIMIT FINE GRADING TO AREAS WHICH WILL BE PLANTED IMMEDIATELY AFTER GRADING. FINISH GRADES SHALL BE AS NEEDED BELOW PAVEMENT EDGES TO ALLOW FOR SOD PLACEMENT.
16. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.
17. LAY SOD PIECES TIGHTLY TOGETHER WITH NO GAPS BETWEEN PIECES. STAGGER PIECES SUCH THAT SEAMS ALTERNATE EVERY OTHER ROW.
18. IRRIGATE AND ROLL ENTIRE SOD AREA WITH 200 LB (MIN) ROLLER SUCH THAT THE FINISH SOD LAWN IS FREE OF HUMPS AND DEPRESSIONS.
19. REPAIR ANY DAMAGE FROM OTHER CONSTRUCTION ACTIVITIES AND REPLACE ANY PIECES WHICH DO NOT ROOT AND GROW, SUCH THAT THERE ARE NO BARE SPOTS THROUGHOUT SOD LAWN.

OBSERVATIONS/APPROVALS/SUBMITTALS

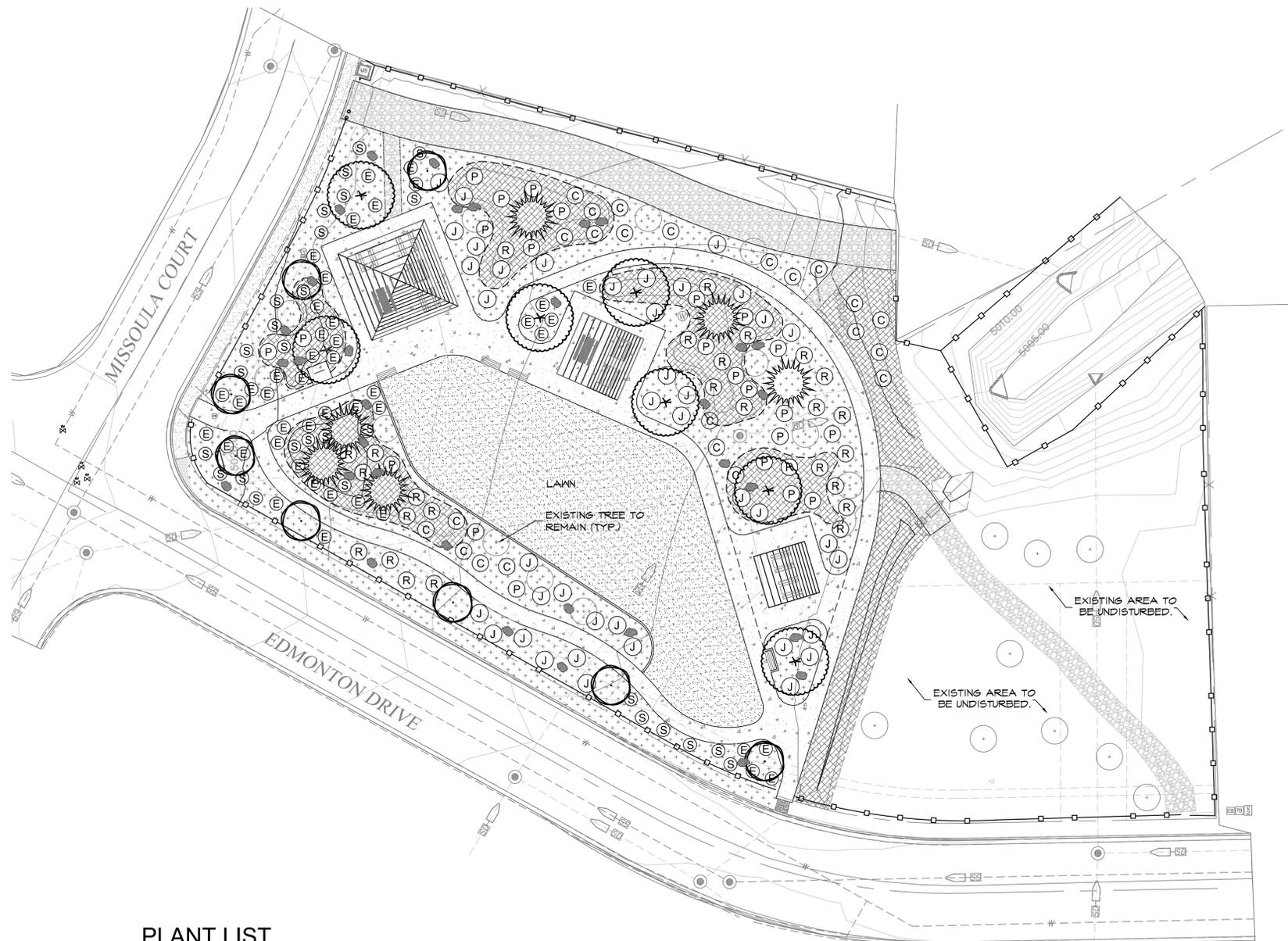
20. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE, A MINIMUM OF 48 HOURS IN ADVANCE, FOR THE FOLLOWING SITE OBSERVATIONS AND/OR MEETINGS:
 - PRECONSTRUCTION MEETINGS WITH ALL PARTIES
 - PLANT MATERIAL ON SITE, PRIOR TO INSTALLATION
 - OPEN TRENCH MAINLINE (WITH VALVES ATTACHED) PRESSURE TEST
 - FINAL PROJECT WALK-THROUGH
 - ADDITIONAL SITE OBSERVATIONS AS DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE.
21. SUBMIT AMENDMENT AND MULCH SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. FAILURE TO COMPLY MAY RESULT IN REJECTION OF MULCH OR AMENDMENT PRIOR TO OR FOLLOWING INSTALLATION.
22. PLANT SUBSTITUTIONS - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROVIDE PLANT MATERIAL AS SPECIFIED ON THIS PLAN. THE CONTRACTOR MAY SUBMIT A REQUEST TO PROVIDE SUBSTITUTIONS FOR THE SPECIFIED PLANT MATERIAL UNDER THE FOLLOWING CONDITIONS:
 - ANY SUBSTITUTIONS PROPOSED SHALL BE SUBMITTED TO THE PROJECT OWNER'S REPRESENTATIVE WITHIN TWO WEEKS OF THE AWARD OF CONTRACT. SUBSTITUTIONS MUST MEET EQUIVALENT DESIGN AND FUNCTIONAL GOALS OF THE ORIGINAL MATERIALS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. ANY CHANGES MUST HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - THE REQUEST WILL BE ACCOMPANIED BY AT LEAST THREE NOTICES FROM PLANT MATERIAL SUPPLIERS THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE AND WILL NOT BE AVAILABLE PRIOR TO CONSTRUCTION.
23. SUBMIT REQUIRED SOIL REPORT, AND SAMPLE OF PROPOSED SOIL AMENDMENTS TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
24. RECORD (AS-BUILT) DRAWINGS - FOLLOWING COMPLETION OF PROJECT INSTALLATION, AND PRIOR TO FINAL APPROVAL, CONTRACTOR SHALL PREPARE AND SUBMIT RECORD DRAWINGS DEPICTING A COMPLETE LANDSCAPE AND IRRIGATION INSTALLATION. PROCURE FROM OWNER DIGITAL COPIES OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON THE PROJECT SITE AT ALL TIMES DURING INSTALLATION. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK INSTALLED DURING EACH DAY. ACTUAL LOCATION OF TREES AND SHRUB BEDS, IRRIGATION VALVES, AND ALL IRRIGATION AND DRAINAGE PIPING SHALL BE SHOWN ON THE PRINTS BY DIMENSIONS FROM EASILY IDENTIFIED PERMANENT FEATURES, SUCH AS BUILDING, CURBS, FENCES, WALKS, OR PROPERTY LINES. DRAWINGS SHALL SHOW MANUFACTURER'S NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE TO SCALE. ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY MANNER. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE.

GUARANTEES/WARRANTY

25. ALL PLANTED AREAS SHALL BE MAINTAINED FOR A PERIOD OF SIXTY DAYS FOLLOWING WRITTEN ACCEPTANCE BY OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR WILL GUARANTEE ALL PLANT MATERIAL (INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUNDCOVER, AND GRASSES) FOR A PERIOD OF ONE FULL YEAR FOLLOWING FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE. IN BIDDING AND INSTALLING THE PLANT MATERIAL SPECIFIED ON THESE PLANS, THE LANDSCAPE CONTRACTOR AGREES THAT THE PLANT MATERIAL SPECIFIED IS SUITABLE TO THE PROJECT SITE. FURTHERMORE, THE LANDSCAPE CONTRACTOR AGREES TO HONOR THE WARRANTY AND, IF NECESSARY, REPLACE SPECIES WITH A MORE HARDY PLANT TYPE IF DEEMED NECESSARY DUE TO EXCESSIVE DIE OUT. IF THE LANDSCAPE CONTRACTOR DOES NOT BELIEVE CERTAIN PLANT MATERIAL IS SUITABLE FOR THE SITE AND/OR ITS MICRO-CLIMATES, THE LANDSCAPE CONTRACTOR SHALL REQUEST TO MAKE PLANT MATERIAL SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO THE START OF INSTALLATION. PROPOSED SUBSTITUTIONS WILL RESULT IN NO ADDED COST.

TREES IN PUBLIC RIGHT-OF-WAYS (RENO)

26. PER RMC 19.12.1205(1)(4)g, TREES PLANTED OR REMOVED FROM THE PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE ISSUANCE OF A TREE WORK PERMIT. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE PERMIT AND THE CITY OF RENO URBAN FORESTER.



PLANT LIST

SYM.	QNT.	BOTANICAL NAME/COMMON NAME	MIN. SIZE
DECIDUOUS TREES			
*	7	ACER PLATANOIDES/NORWAY MAPLE	2-1/2" CAL.
8	8	MALUS 'SPRING SNOW'/FRUITLESS FLOWERING CRAB	2-1/2" CAL.
EVERGREEN TREES			
6	6	SEQUOIA/ADENDRON GIGANTEUM/GIANT SEQUOIA	8' MIN. HT.
SHRUBS*			
C	23	COTONEASTER DAMMERI 'CORAL BEAUTY'/COTONEASTER	5 Gal.
E	45	EUONYMUS FORTUNEI 'SUNRISE'/SUNRISE WINTERCREEPER	5 Gal.
J	40	EUONYMUS FORTUNEI 'COLORATUS'/PURPLE WINTER CREEPER	5 Gal.
P	23	PINUS FUMILA 'D'VARF BLUE'/D'VARF SIBERIAN PINE	5 Gal.
R	21	RHUS AROMATICA 'GRO-LOW'/GRO-LOW FRAGRANT SUMAC	5 Gal.
S	28	SPIRAEA X BIMALDA MONHUB/LIMEMOUND SPIRAEA	5 Gal.



SOD - BLUE RYE BLEND (80% BLUEGRASS, 20% RYE GRASS)
NOTE: NETTING ON SOD WILL NOT BE EXCEPTED.



MULCH: ALL TREE & SHRUB PLANTING BED SHALL RECEIVE 4" MINIMUM DEPTH OF THE FOLLOWING MULCH TYPE. SEE SPECIFICATION #12, PARKS DEPARTMENT TO DETERMINE FINAL CHOICE OF MULCHES.



MULCH #1: 4" MINUS RIVER ROCK COBBLE MULCH/ DRYCREEK FOR DRAINAGE.



MULCH #2: DECOMPOSED GRANITE (DG) MULCH



MULCH #3: 3/4" CRUSHED AGGREGATE BASE FOR ACCESS ROAD & PATH

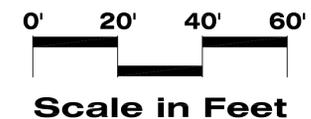


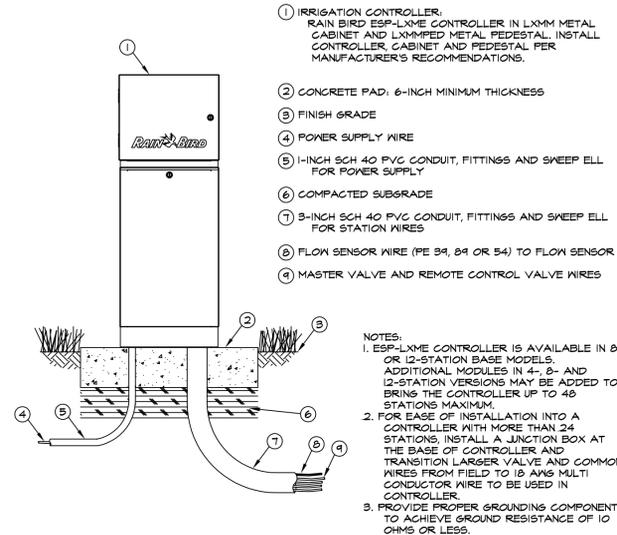
LANDSCAPE BOULDERS - LANDSCAPE BOULDERS TO BE RANDOMLY PLACED THROUGHOUT THE LANDSCAPE AS INDICATED PER PLAN. SIZE TO VARY, 24" TO 36" DIA. MIN.



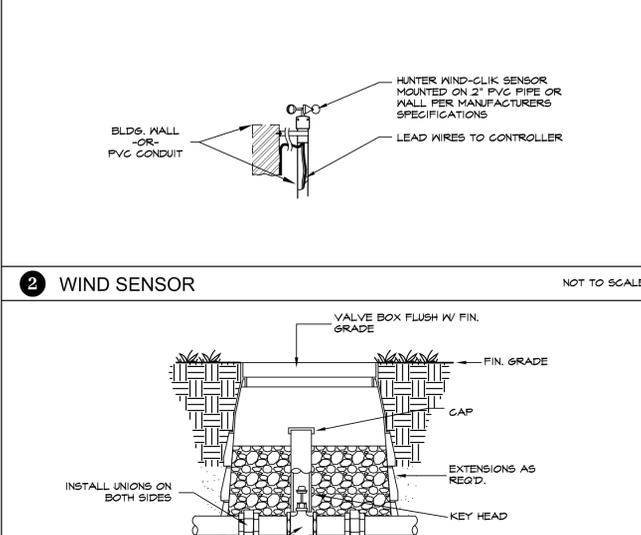
EXISTING TREES TO REMAIN: ALL TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED PER RMC ARTICLE V, TREE PROTECTION.

PERMIT SET

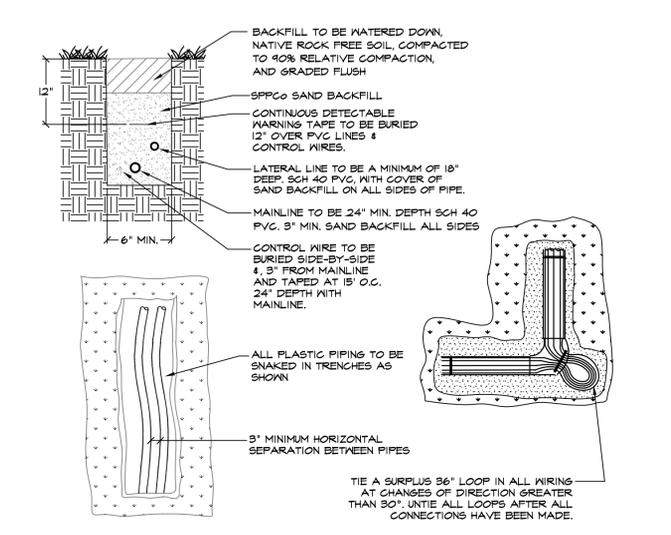




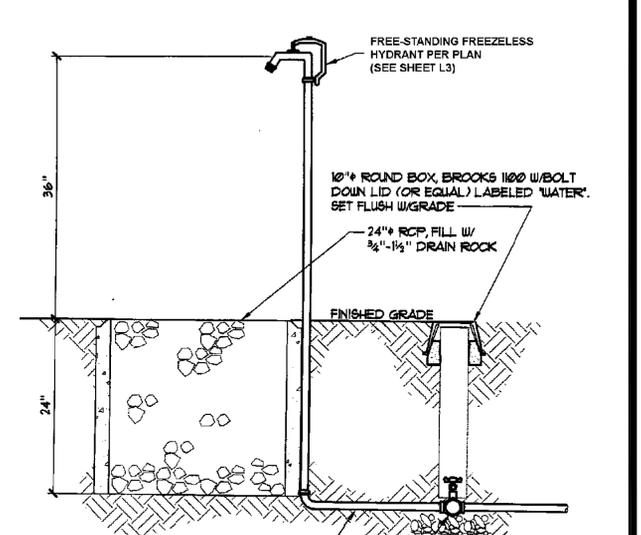
1 CONTROL CLOCK NOT TO SCALE



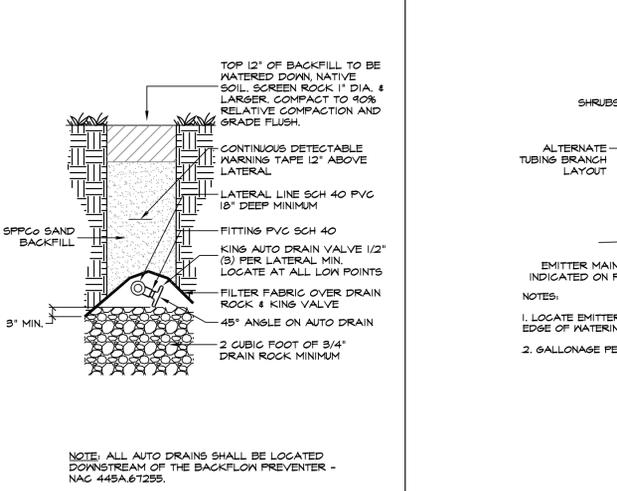
2 WIND SENSOR NOT TO SCALE



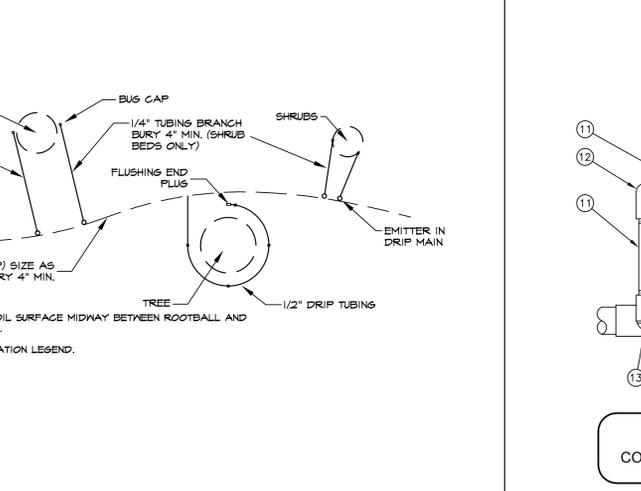
3 GATE VALVE NOT TO SCALE



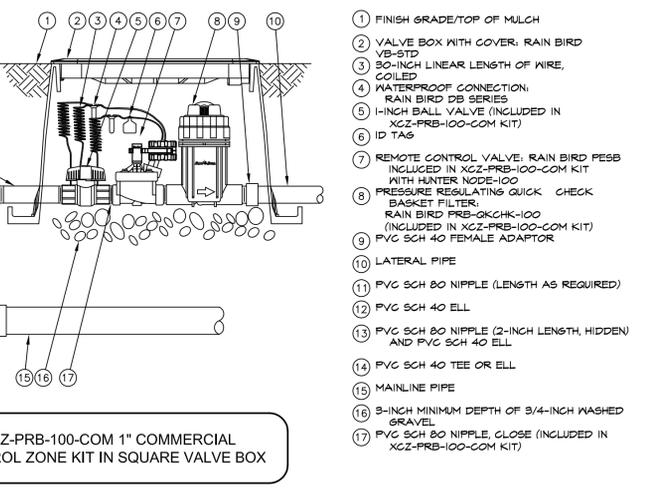
4 TRENCH DETAIL/CONTROLLER WIRING NOT TO SCALE



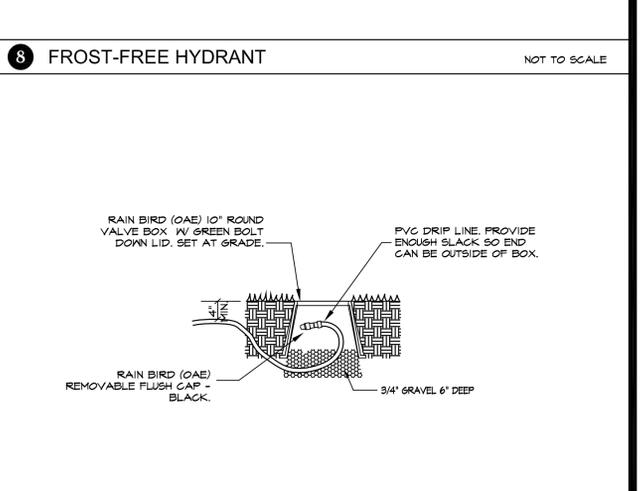
5 AUTO DRAIN NOT TO SCALE



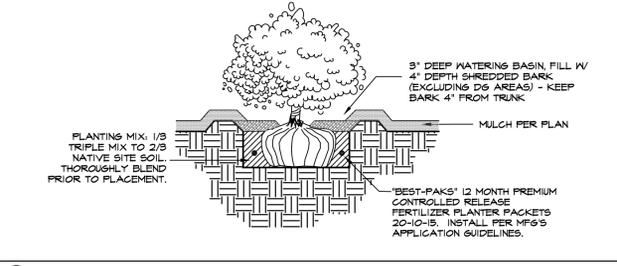
6 DRIP EMITTER LAYOUT NOT TO SCALE



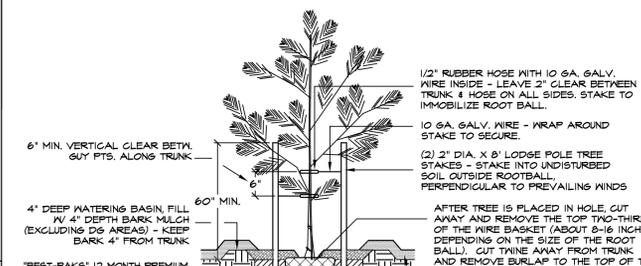
7 DRIP VALVE ASSEMBLY NOT TO SCALE



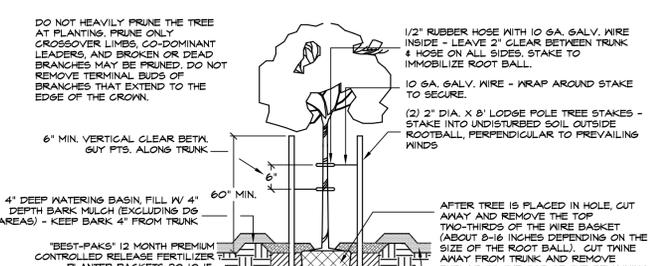
8 FROST-FREE HYDRANT NOT TO SCALE



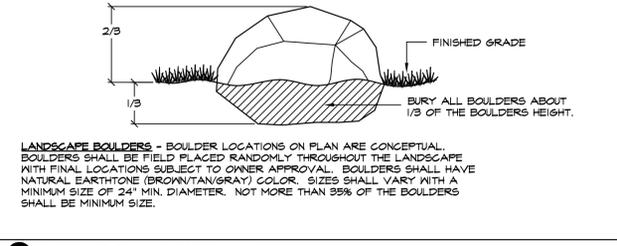
9 SHRUB PLANTING NOT TO SCALE



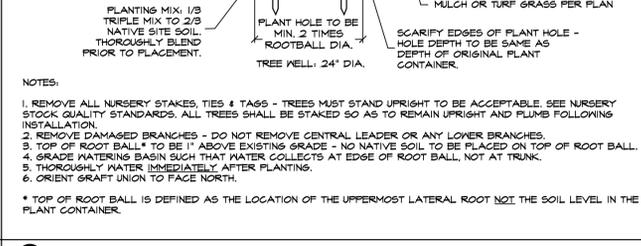
10 EVERGREEN TREE PLANTING NOT TO SCALE



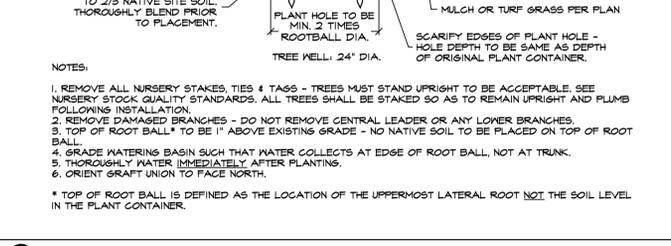
11 DECIDUOUS TREE PLANTING NOT TO SCALE



12 LANDSCAPE BOULDER NOT TO SCALE



13 EVERGREEN TREE PLANTING NOT TO SCALE



14 DECIDUOUS TREE PLANTING NOT TO SCALE

9 REMOVABLE FLUSH CAP NOT TO SCALE

LANDSCAPE and Irrigation Details
GALENA TERRACE PARK
 Washoe County Community Services

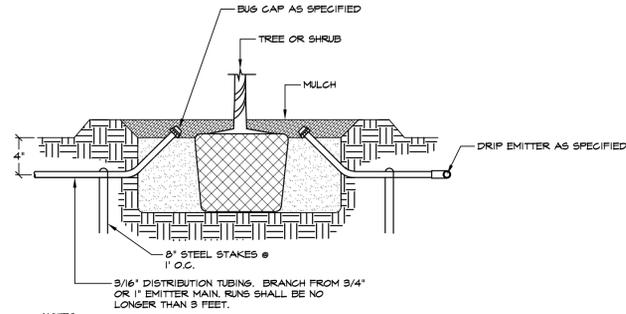
REGISTERED LANDSCAPE ARCHITECT
 RYAN HANSEN
 440
 Expires: 6/30/18
 STATE OF NEVADA

No. Revision Date

LA No. 088-510-03-17
 Designed: 655
 Drawn: 655
 Checked: RWH
 Date: 8/2/17

Sheet
L4
 of
 6

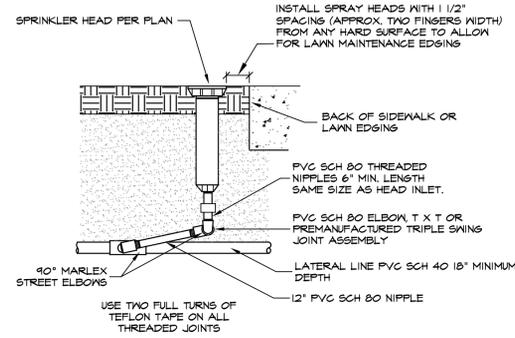
PERMIT SET



- NOTES:
1. LOCATE EMITTERS AT SOIL SURFACE MIDWAY BETWEEN ROOTBALL AND EDGE OF WATERING BASIN.
 2. GALLONAGE PER IRRIGATION LEGEND.

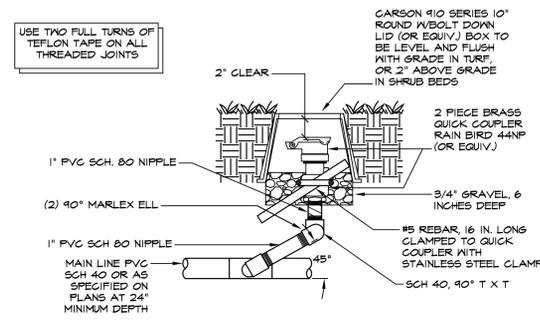
1 DRIP EMITTER INSTALLATION

NOT TO SCALE



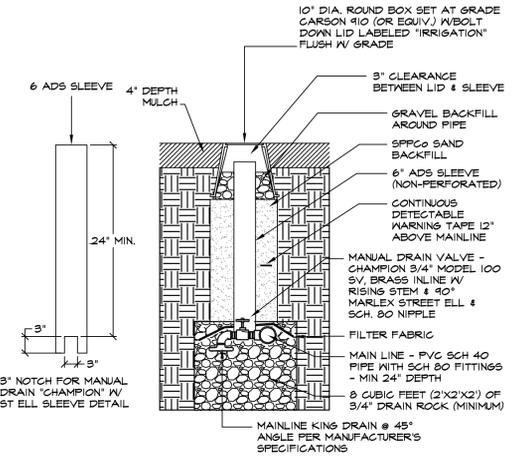
2 SMALL TURF SPRINKLER

NOT TO SCALE



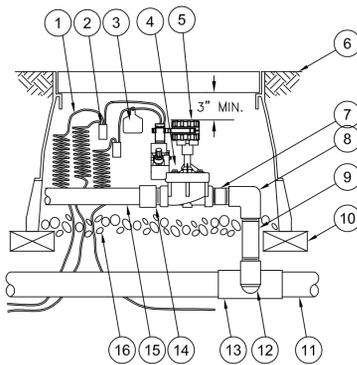
3 QUICK COUPLER DETAIL

NOT TO SCALE



4 MANUAL DRAIN VALVE

NOT TO SCALE



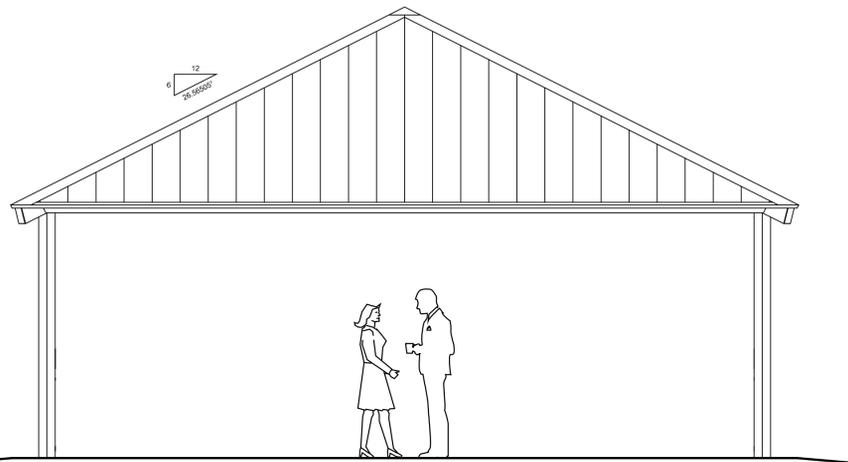
5 SPRAY VALVE ASSEMBLY

NOT TO SCALE



PERMIT SET

No.	Revision Date

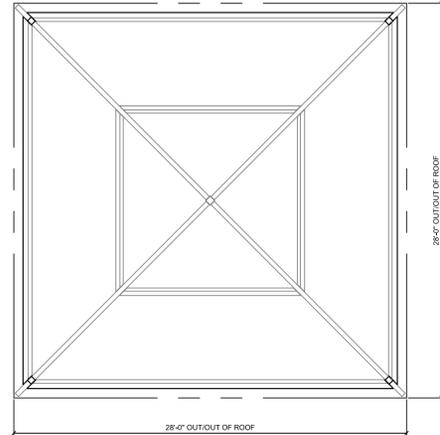


RCP SHELTERS, INC.
2100 SE Rays Way • Stuart, FL 34994
800-525-0207 • 772-288-3600
info@rcpselters.com • http://www.rcpselters.com

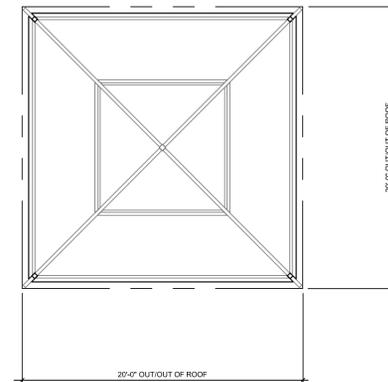
Model #: AS-SQ28-06
28' x 28' ALL STEEL SQUARE SHELTER

Model #: AS-SQ20-06
20' x 20' ALL STEEL SQUARE SHELTER

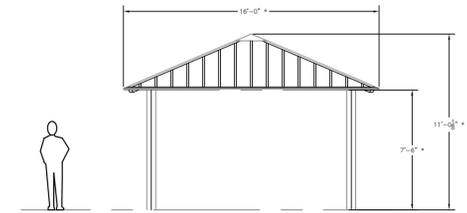
ELEVATION



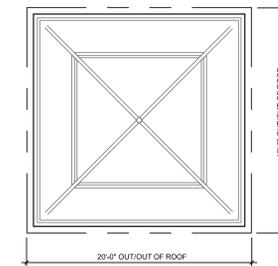
**AS-SQ28-06
ROOF FRAMING PLAN**



**AS-SQ20-06
ROOF FRAMING PLAN**



**SHADE SHELTER
16' SQ ALL STEEL SHELTER**

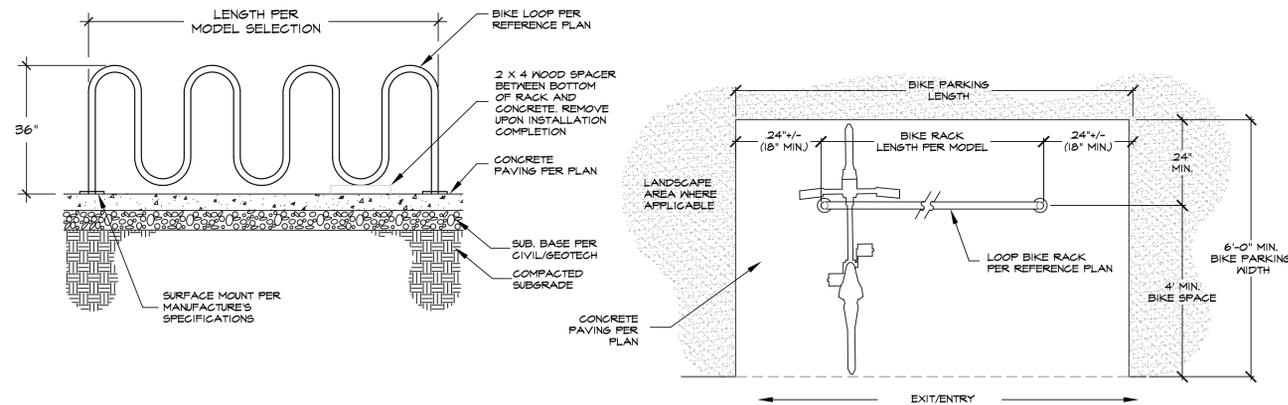


**AS-SQ20-06
ROOF FRAMING PLAN**

NOTE: CONTRACTOR SHALL INSTALL SHELTER(S) PER MANUFACTURER'S SPECIFICATIONS. WASHOE COUNTY WILL BE APPLYING FOR AND PAYING FOR ALL RELEVANT PERMITS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM APPROPRIATE AGENCIES. SEE CONTRACT DOCUMENTS FOR FURTHER DETAILS.

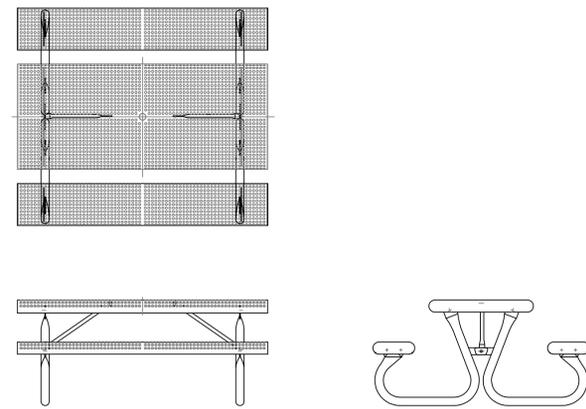
1 SHADE SHELTER

NOT TO SCALE



3 3 LOOP - 5 BIKE RACK

NOT TO SCALE

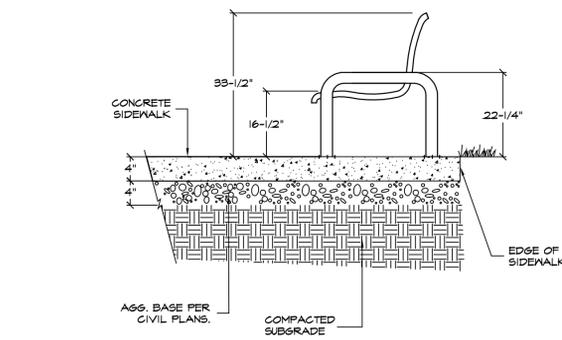


SEE REFERENCE PLAN (SHEET L1) FOR TABLE TYPES

INSTALL COMPLETE PER MANUFACTURER'S SPECIFICATIONS.

8 PORTABLE PICNIC TABLE

NOT TO SCALE



SURFACE MOUNT

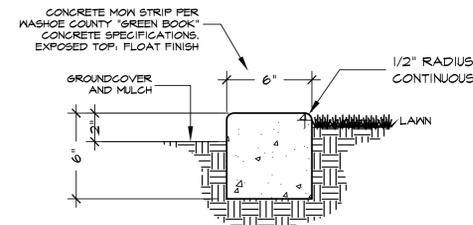
WEBCOAT BENCHES: (2) B64WEMODGLASSPSM 6' CONTOURED BENCH SURFACE MOUNT.
COLOR: BLJE. INSTALL PER MFG'S SPECIFICATIONS.

9 6' BENCH SURFACE MOUNT DETAIL

NOT TO SCALE

2 ADD ALTERNATE - 16' SQ SHELTER

NOT TO SCALE



WASHOE COUNTY "GREEN BOOK" CONCRETE SPECIFICATIONS:
1) PROVIDE EXPANSION JOINTS 30' ON CENTER MAX. WEAKENED PLANE JOINTS AT 5' ON CENTER MAX.
2) CONCRETE REINFORCEMENT SHALL CONSIST OF COLLATED, FIBRILLATED POLYPROPYLENE FIBERS AS MANUFACTURED BY FIBERMESH OR APPROVED EQUAL.
3) ADD 1-1/2 LBS. FIBERMESH PER CUBIC YARD OF CONCRETE.
4) CONSTRUCTION PERSONNEL SHALL NOT DRIVE VEHICLES OF ANY SIZE OR TYPE OVER MOW STRIP UNTIL CONCRETE HAS ACHIEVED THE REQUIRED 28 DAYS DESIGN STRENGTH. THE CONTRACTOR SHALL PROTECT MOW STRIP UNTIL THAT TIME.
5) SUBGRADE DENSIFIED TO 90% RELATIVE COMPACTION (OR IN CONFORMANCE WITH GEOTECHNICAL REPORTS RECOMMENDATIONS).

4 CONCRETE MOW STRIP

NOT TO SCALE



No.	Revision Date



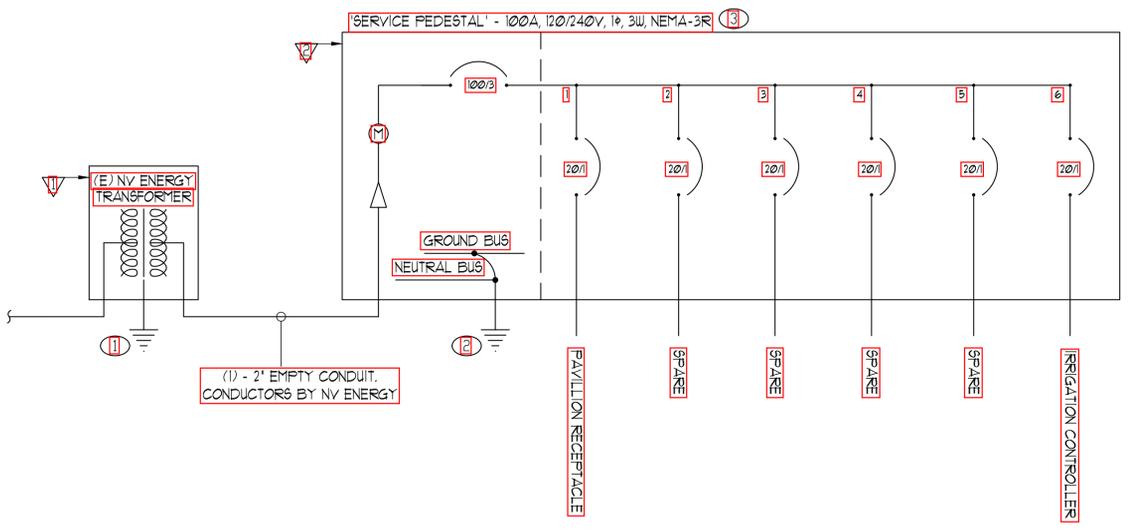
PERMIT SET

ELECTRICAL SYMBOLS AND NOMENCLATURE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊕	SINGLE-OUTLET RECEPTACLE	—/—/—	1-φ 1-POLE CIRCUIT PATH (1/2" CONDUIT, (2) - #12 CU WGN) ABOVE FLOOR
⊕⊕	DOUBLE-OUTLET "DUPLEX" RECEPTACLE	—/—/—/—	1-φ 2-POLE CIRCUIT PATH (1/2" CONDUIT, (3) - #12 CU WGN) ABOVE FLOOR
⊕⊕⊕	THREE-PHASE (3φ) RECEPTACLE (CONFIGURATION AS NOTED)	—/—/—/—/—	3-φ 3-POLE CIRCUIT PATH (1/2" CONDUIT, (4) - #12 CU WGN) ABOVE FLOOR
⊕⊕⊕⊕	QUADRUPLE-OUTLET "QUAD" RECEPTACLE	—/—/—/—/—/—	RETURN CIRCUIT TO PANEL "HOMERUN" (CIRCUIT AS NOTED) ABOVE FLOOR
⊕⊕⊕⊕⊕	SPECIAL RECEPTACLE (VOLTAGE/CONFIGURATION AS NOTED)	—/—/—/—/—/—/—	1-φ 1-POLE CIRCUIT PATH (1/2" CONDUIT, (2) - #12 CU WGN) BELOW FLOOR
⊕⊕⊕⊕⊕⊕	JUNCTION BOX	—/—/—/—/—/—/—/—	1-φ 2-POLE CIRCUIT PATH (1/2" CONDUIT, (3) - #12 CU WGN) BELOW FLOOR
⊕⊕⊕⊕⊕⊕⊕	THERMOSTAT	—/—/—/—/—/—/—/—/—	3-φ 3-POLE CIRCUIT PATH (1/2" CONDUIT, (4) - #12 CU WGN) BELOW FLOOR
⊕⊕⊕⊕⊕⊕⊕⊕	FLOOR MOUNT RECEPTACLE	—/—/—/—/—/—/—/—/—/—	CODE SIZE GROUND BONDING CONDUCTOR PER N.E.C. TABLE 250-95
⊕⊕⊕⊕⊕⊕⊕⊕⊕	SAFETY DISCONNECT SWITCH (SIZE/VOLTAGE/CONFIGURATION AS NOTED)	⊕	NEUTRAL CONDUCTOR: #12 THIN
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	COMBINATION SAFETY SWITCH/MAGNETIC STARTER	⊕	RETURN CIRCUIT TO PANEL "HOMERUN" (CIRCUIT AS NOTED) BELOW FLOOR
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	TELEPHONE/DATA JUNCTION BACKBOX 4 1/2" EMPTY CONDUIT INTO ACCESSIBLE CEILING SPACE	⊕	CIRCUIT BREAKER (AMPS/POLES AS NOTED)
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	SINGLE-POLE TOGGLE SWITCH (VOLTAGE AS REQUIRED)	⊕	FUSE (AMPS/POLES AS NOTED)
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	MULTI-STATION "THREE-WAY" TOGGLE SWITCH (VOLTAGE AS REQUIRED)	⊕	EQUIPMENT NOTE INDICATOR
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	SOLID STATE DIMMING SWITCH (VOLTAGE AS REQUIRED)	⊕	REVISION "DELTA" NOTE INDICATOR
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	MOTOR-RATED TOGGLE SWITCH (VOLTAGE AS REQUIRED)	⊕	FEEDER NOTE INDICATOR
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	KEYED TOGGLE SWITCH (VOLTAGE AS REQUIRED)	48"	48" MOUNTING HEIGHT AFF. (ACTUAL HEIGHT AS NOTED)
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	OCCUPANCY SENSING (MOTION SENSOR) SWITCH	AFF.	ABOVE FINISHED FLOOR
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	CABLE TELEVISION OUTLET	A.F.G.	ABOVE FINISHED GRADE
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	PANELBOARD (NAME/AMP/PHASE/VOLTAGE/CONFIGURATION AS NOTED)	A.T.S.	AUTOMATIC TRANSFER SWITCH
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	AUXILIARY SYSTEM EQUIPMENT (KEYPAD/FOB)	C	CONDUIT
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	MULTI-OUTLET ASSEMBLY (PLUG MOLD)	CB	CIRCUIT BREAKER
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	TRANSFORMER (NAME/KVA RATING/PHASE/VOLTAGE AS NOTED)	CLG	CEILING
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	MECHANICAL EQUIPMENT INDICATOR	(N)	NEW
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	PHOTO ELECTRIC CELL	(E)	EXISTING
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	TIME CLOCK	(R)	RELOCATE (AS SHOWN)
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	DUCT DETECTOR FIRE ALARM SYSTEM COMPONENT	(F)	FUTURE
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	SMOKE DETECTOR FIRE ALARM SYSTEM COMPONENT	FA/CP	FIRE ALARM CONTROL PANEL
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	HEAT DETECTOR FIRE ALARM SYSTEM COMPONENT	F.B.O.	FURNISHED BY OTHERS
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	CONTACTOR	GF	GROUND FAULT INTERRUPTING TYPE
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	FLOW SWITCH FIRE ALARM SYSTEM COMPONENT	HID	HIGH INTENSITY DISCHARGE
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	TAMPER SWITCH FIRE ALARM SYSTEM COMPONENT	LTG	LIGHTING
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	HORN/STROBE COMBINATION FIRE ALARM SYSTEM COMPONENT	LV	LOW VOLTAGE
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	MANUAL PULL STATION	MCB	MAIN CIRCUIT BREAKER
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	SHUNT TRIP STATION	MSB	MAIN SWITCH BOARD
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	MOTOR (HORSEPOWER AS NOTED)	NL	NIGHT LIGHT
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	DETAIL/SHEET NOTE INDICATOR	TYP	TYPICAL
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	SHEET NOTE INDICATOR	UG	UNDER GROUND
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	SHEET/EQUIPMENT NOTE INDICATOR	UN	UNLESS OTHERWISE NOTED
		WP	WEATHER PROOF
		TRANS	TRANSFORMER

GENERAL ELECTRICAL NOTES:

- IT IS THE INTENT OF THESE DRAWINGS TO REQUIRE A COMPLETE AND FINISHED ELECTRICAL SYSTEM IN EVERY WAY. FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.
- ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY AND LOCAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT STANDARDS, CODES AND PRACTICES AS REQUIRED BY: 2011 NEC, 2012 IBC, 2012 IECC AND UTILITY COMPANY STANDARDS.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AT THE PROJECT SITE, PRIOR TO SUBMITTING A BID. NO EXTRA PAYMENT WILL BE MADE FOR CONDITIONS THAT WOULD HAVE BEEN EVIDENT DURING A SITE INSPECTION. PAYMENT WILL BE MADE FOR CONDITIONS THAT WOULD HAVE BEEN EVIDENT DURING A SITE INSPECTION.
- APPEARANCE AND WORKMANSHIP SHALL BE OF THE HIGHEST STANDARDS OF QUALITY. ONLY LICENSED ELECTRICIANS AND TECHNICIANS SHALL BE USED TO ACCOMPLISH THE ELECTRICAL WORK.
- ELECTRICAL CONTRACTOR SHALL GUARANTEE THE ELECTRICAL WORK TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. LIGHTING LAMPS SHALL BE EXEMPT FROM THIS REQUIREMENT BUT SHALL BE NEW AND IN PERFECT WORKING ORDER AT THE TIME OF FINAL ACCEPTANCE.
- VERIFY THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT AND OUTLETS PRIOR TO ROUGHING-IN. FINAL CONNECTIONS TO EQUIPMENT SHALL BE MADE ACCORDING TO THE EQUIPMENT MANUFACTURERS APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE A NEAT AND COMPLETE SET OF 'AS-BUILT' DRAWINGS WITHIN 30 DAYS OF FINAL ACCEPTANCE OF HIS WORK.
- CONDUIT/CONDUCTOR RUNS SHOWN ARE DIAGRAMMATICAL ONLY. THE BEST FINAL CONDUIT ROUTING SHALL BE AS DETERMINED BY THE ELECTRICAL CONTRACTOR AT THE TIME OF INSTALLATION.
- ALL CONDUCTORS SHALL BE COPPER TYPE THIN/THUN 90° C. RATED.



SINGLE-LINE DIAGRAM

NOT TO SCALE

NOTES: (SINGLE-LINE DIAGRAM, ONLY)

- EXISTING NV ENERGY TRANSFORMER SECONDARY GROUND ROD.
- GROUND MAIN ELECTRICAL SERVICE PER NEC ARTICLE 250-C INCLUDING:
 - 30" - #3/0 CU CONCRETE ENCASED "UFER" GROUNDING ELECTRODE.
 - #3/0 CU CONNECTION TO EACH METAL PIPING SYSTEM.
 - #3/0 CU CONNECTION TO BUILDING STRUCTURAL STEEL.
 - #6 CONNECTION TO THE TELEPHONE TERMINAL CABINET.
 - #3/0 CU MINIMUM MAIN BONDING JUMPER.
- TESCO CONTROLS - TESCOFLEX SINGLE METER SERVICE UTILITY PEDESTAL - #24-200 OR APPROVED EQUIVALENT ELECTRICAL SERVICE PEDESTAL. 100A MAIN CIRCUIT BREAKER, 120/240V, 1φ, 3W, N3R ENCLOSED MODULAR METER/MAN SERVICE PEDESTAL. PROVIDE AND INSTALL COMPLETE WITH INTEGRAL 12 CIRCUIT PANEL (6P1) AND IRRIGATION CONTROLLER.

'SP-1' SCHEDULE

POSITION NO.	LOAD DESCRIPTION	BREAKER SIZE	LOAD KVA
SP - 1	PAVILLION LIGHT	20A	0.25
SP - 2	SPARE	20A	0.00
SP - 3	SPARE	20A	0.00
SP - 4	SPARE	20A	0.00
SP - 5	SPARE	20A	0.00
SP - 6	IRRIGATION CONT.	20A	0.25
TOTAL KVA =			0.50
@ 240V 1φ =			2.08 AMPERES

EQUIPMENT SCHEDULE

EQP. NO.	EQUIPMENT DESCRIPTION	NOTES
1	(E) NV ENERGY TRANSFORMER	COORDINATE WITH NV ENERGY
2	(N) SERVICE PEDESTAL 'SP' - 100A, 120/240V, 1φ, 3W, N3R	TESCO



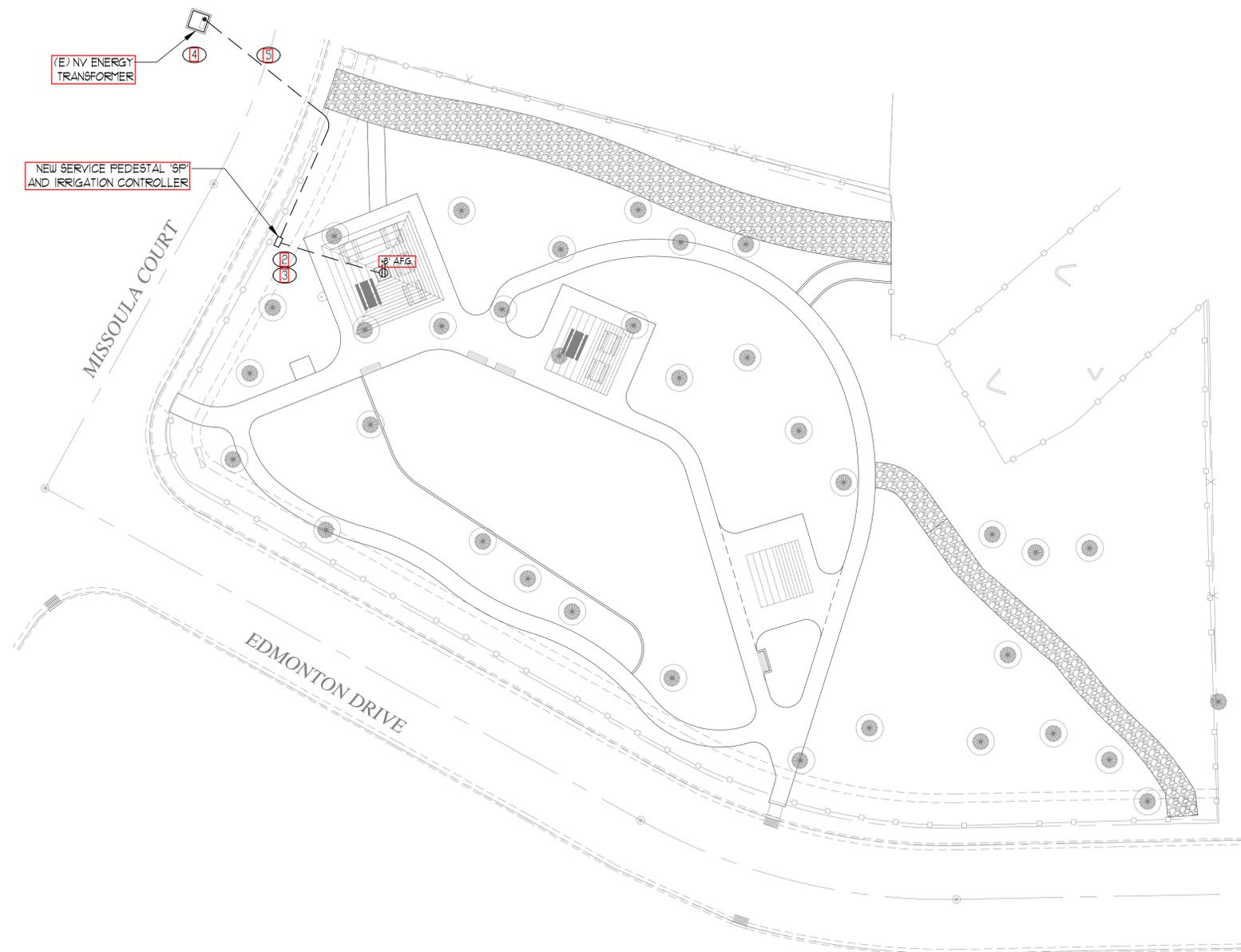
ELECTRICAL PLANS FOR
 GALENA TERRACE PARK

SYMBOLS, NOTES & SINGLE LINE DIAGRAM

NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

DRAWN BY: TAS
 DESIGNED BY: TAS
 CHECKED BY: GGJ
 DATE: 6-29-17
 PROJECT NO: C122XY

SHEET NUMBER
E1.0
 SHEET 1 OF 2



SITE ELECTRICAL PLAN

SCALE: 1" = 20'-0"



NOTES: (THIS SHEET ONLY)

- ① ELECTRICAL CONTRACTOR SHALL COORDINATE THE ELECTRICAL SERVICE WORK WITH THE SERVING UTILITY CO (NV ENERGY) AND SHALL PROVIDE AND INSTALL ALL NECESSARY UTILITY INFRASTRUCTURE AS DETAILED BY UTILITY COMPANY WORK ORDER DRAWINGS.
- ② PROVIDE AND INSTALL ELECTRICAL SERVICE AND EQUIPMENT COMPLETE INCLUDING 36" X 36" X 10" STEEL REINFORCED CONCRETE MOUNTING BASE AND ANCHOR BOLTS. VERIFY EXACT LOCATION OF ELECTRICAL EQUIPMENT, AND IRRIGATION CONTROLLER WITH OWNER AND LANDSCAPE ARCHITECT PRIOR TO ROUGH IN.
- ③ PROVIDE AND INSTALL (2) - 1" CONDUIT STUB-OUTS FROM ELECTRICAL COMPARTMENT (OF PEDESTAL) FOR FUTURE ELECTRICAL LOADS. PROVIDE AND INSTALL (2) - 2" CONDUIT STUB-OUTS FROM IRRIGATION CLOCK COMPARTMENT (OF PEDESTAL) FOR IRRIGATION WIRING. COORDINATE WITH LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK.
- ④ COORDINATE WITH HOME OWNER TO INSTALL CONDUIT WITHIN UTILITY EASEMENT. REPLACE ANY EXISTING LANDSCAPING DURING EXCAVATION.
- ⑤ CUT, PATCH, AND REPLACE EXISTING ROAD AND SIDEWALK AS NECESSARY.



**ELECTRICAL PLANS FOR
 GALENA TERRACE PARK**

SITE ELECTRICAL PLAN

NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

DRAWN BY: **TAS**
 DESIGNED BY: **TAS**
 CHECKED BY: **GGJ**
 DATE: **6-29-17**
 PROJECT NO: **C122XV**

SHEET NUMBER

E2.0

SHEET 2 OF 2

GALENA TERRACE MAINTENANCE ASSOCIATION

LANDSCAPE MAINTENANCE

Galena Terrace Maintenance Association (GTMA) agrees to furnish all labor, supervision, tools, materials, and equipment necessary to maintain Galena Terrace Park (Park). GTMA shall maintain the Park in accordance with the following specifications and conditions which adhere to and in most cases exceed HOA maintenance specification.

GROWING SEASON

(Starting first week of April through October, weather permitting)

1. TREES, SHRUBS, AND VINES

GTMA shall prune and trim trees, shrubs, and vines on a regular basis to maintain a neat appearance and promote healthy growth.

2. MOWING & SPRINKLER

GTMA shall mow all park lawns on a weekly basis through the growing season so as to maintain a neat appearance and to promote healthy growth. GTMA shall edge grass around trees, sprinklers, fences, lights, curbs, etc. After mowing and edging, GTMA shall remove all clippings from sidewalks, driveways, and curbs. GTMA shall check sprinkler weekly.

3. THATCHING

GTMA shall thatch and aerate lawn area at least once annually.

4. QUALITY FERTILIZER AND SOIL AMENDMENTS

GTMA shall fertilize the lawns four (4) times per year to maintain healthy growth and two (2) times a year to shrubs and trees. Application shall be determined by the time of the year, soils, type and condition of lawns and plantings. GTMA shall use quality fertilizers and soil amendment.

5. PARK MAINTENANCE

- **GTMA shall** remove leaves, dead branches, weeds, animal feces, etc. as needed,;
- **GTMA shall** maintain dog posts (once installed) by keeping disposal bags supplied and emptying waste receptacles as needed;
- **GTMA shall** walk the entire area weekly checking for maintenance needs and issues requiring attention.
- **GTMA shall** apply quality weed control application to weeds as needed.
- **GTMA shall** remove trash, paper plastic/bottles, and other debris from the common area as needed.

DORMANT SEASON

(Starting first week of November through March, depending upon weather)

GALENA TERRACE MAINTENANCE ASSOCIATION

LANDSCAPE MAINTENANCE

6. SNOW AND ICE REMOVAL

- **GTMA shall** clear snow and ice from Park sidewalks after 2 inches of snow accumulation.
- **GTMA shall** apply appropriate ice remover to keep sidewalks open and safe for Park users. GTMA shall use ice remover that shall not deteriorate or damage concrete sidewalks, curbing's, or gutters. GTMA shall be responsible for repairing any and all damage caused by applying the wrong ice remover or applying ice remover incorrectly.