

Sierra Reflections

Common Open Space Tentative Subdivision Map

Bowman

Krater
Consulting
Group



Washoe County Planning Commission
January 6, 2026

Previously Approved Site Plan

2006 Plan

759.69 Acres in 29 Parcels

938 Lots/Units

Attached/Multi-Family Housing
was approved in plan



New Site Plan

2025 Plan

759.69 Acres in 29 Parcels

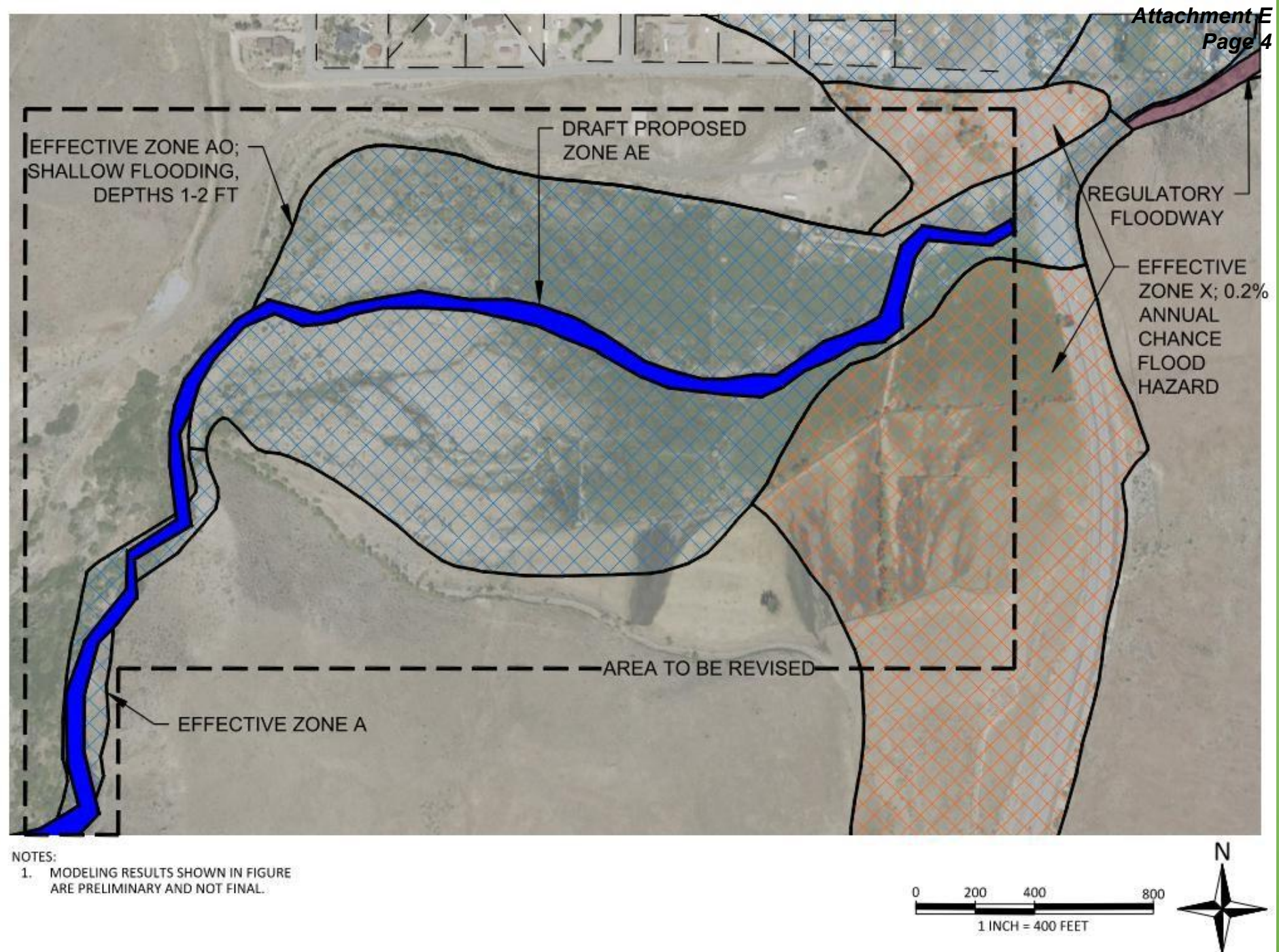
940 Lots/Units

1.24+/- DU/AC

All homes are SF detached



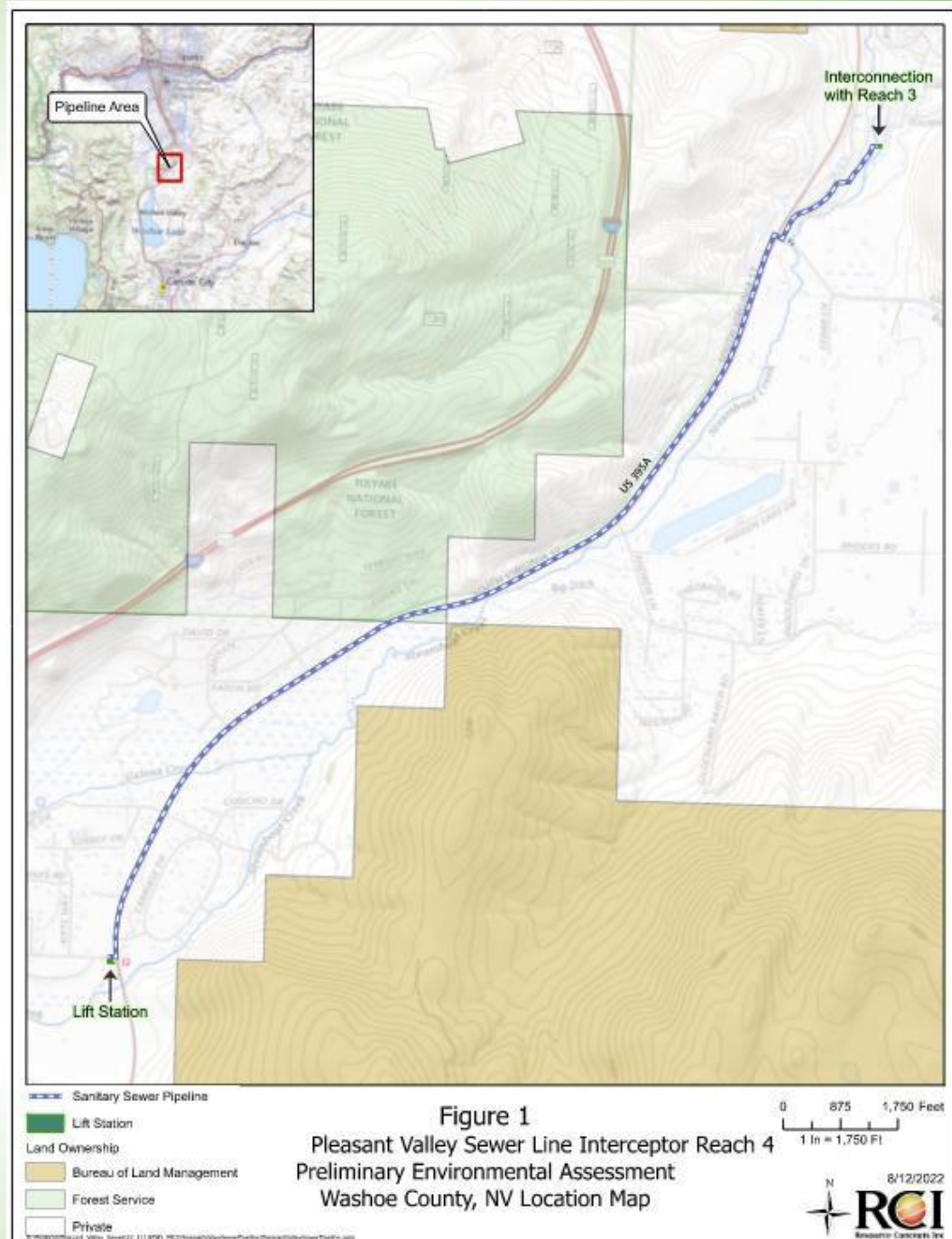
Regulatory Flood Zones



Reach IV Sewer Main

The developer is responsible to extend the sewer main from Reach III, near the Steamboat Spa to the project site.

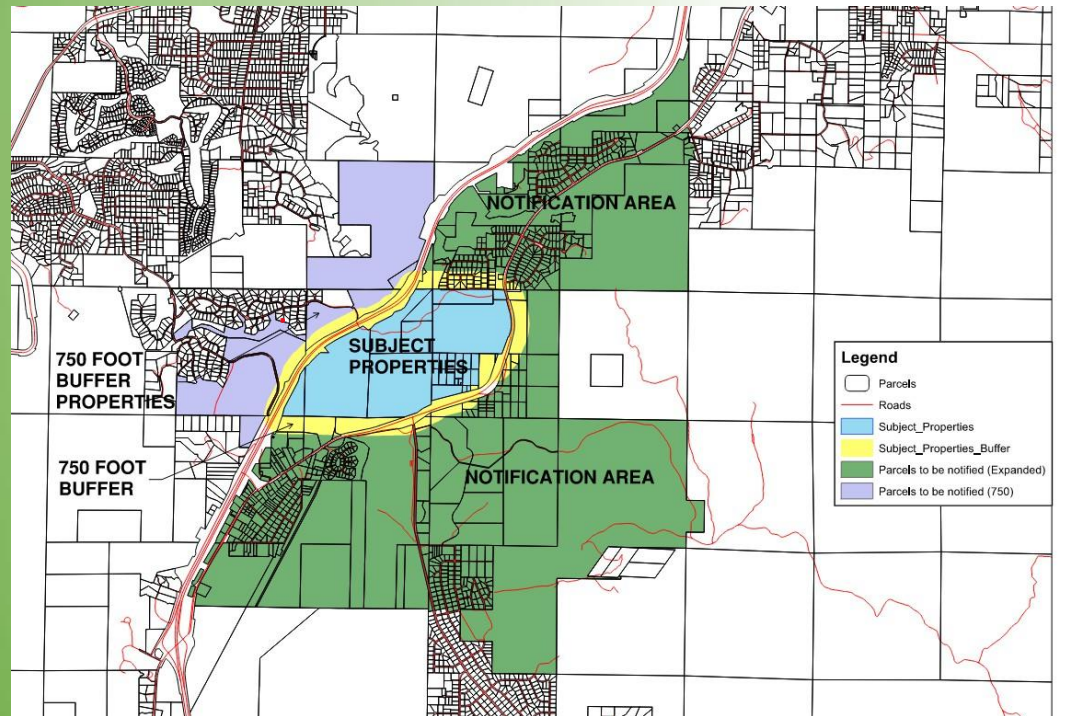
Sewer will be extended up St James' Parkway to provide long anticipated and planned service to St. James' Village.





Vicinity Map & Notification Area

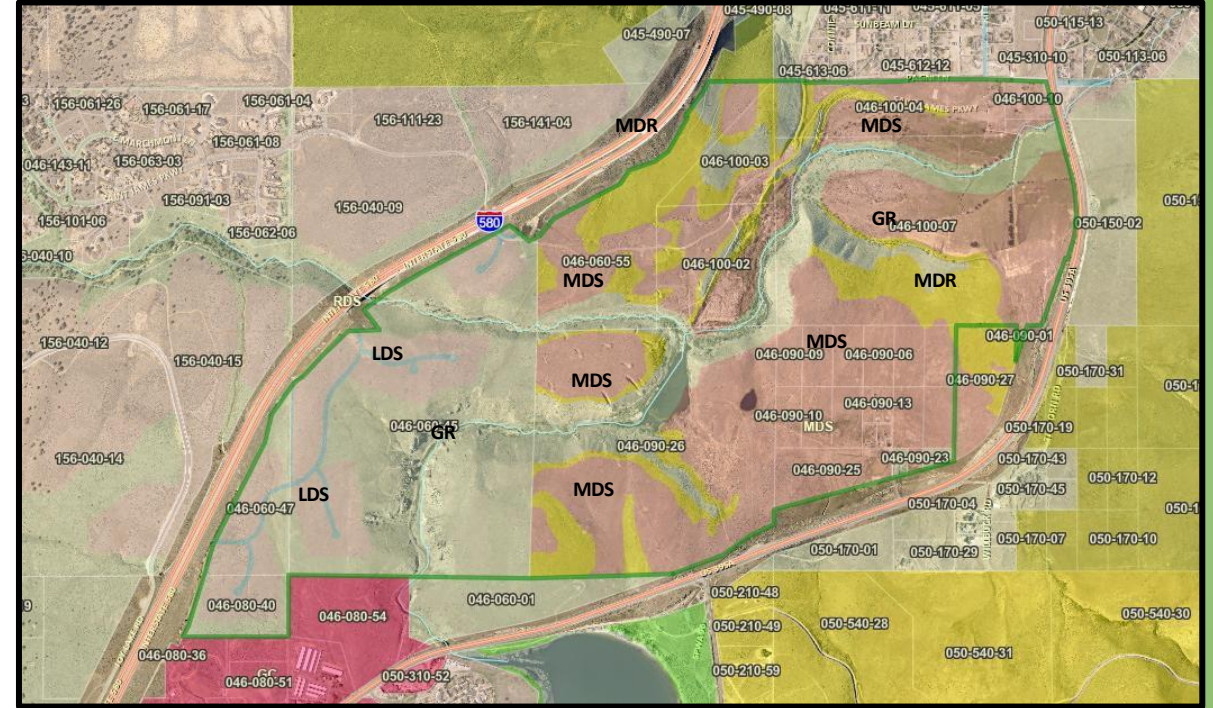
759.69 Acres in 29 Parcels
Owner – World Properties, Inc.



Notification Area



Existing Zoning Designations



<u>Zoning Designation (Allowed Density)</u>			
	MDS – Medium Density Suburban (3 DU/AC)	328.49+/- AC	985 Lots
	LDS – Low Density Suburban (1 DU/AC)	73.65+/- AC	73 Lots
	MDR – Medium Density Rural (1DU/5 AC)	95.75+/- AC	19 Lots
	GR – General Rural (1 DU/40 AC)	253.90+/- AC	6 Lots
	PSP – Public-Semi Public (0 DU/AC)	7.90+/- AC	0 Lots
Total Lots Allowed Per Zoning			1,083 Lots

WCDC - Article 408

Common Open Space Development

Section 110.408.00 Purpose. The purpose of this article, Article 408, Common Open Space Development, is to set forth regulations to permit variation of lot size, including density transfer subdivisions, in order to preserve or provide open space, protect natural and scenic resources, achieve a more efficient use of land, minimize road building, and encourage a sense of community.

Section 110.408.05 Applicability. Common open space development may be allowed in any residential land use category or any general, office or tourist commercial regulatory zone.

Section 110.408.20 Density and Intensity.

- (a) **Residential.** The total number of dwelling units in the proposed common open space development shall not exceed the total number of dwelling units allowed by the underlying regulatory zones(s). The gross site area may include more than one (1) parcel.

Site Plan

- 940 lots of various sizes are proposed in the plan.

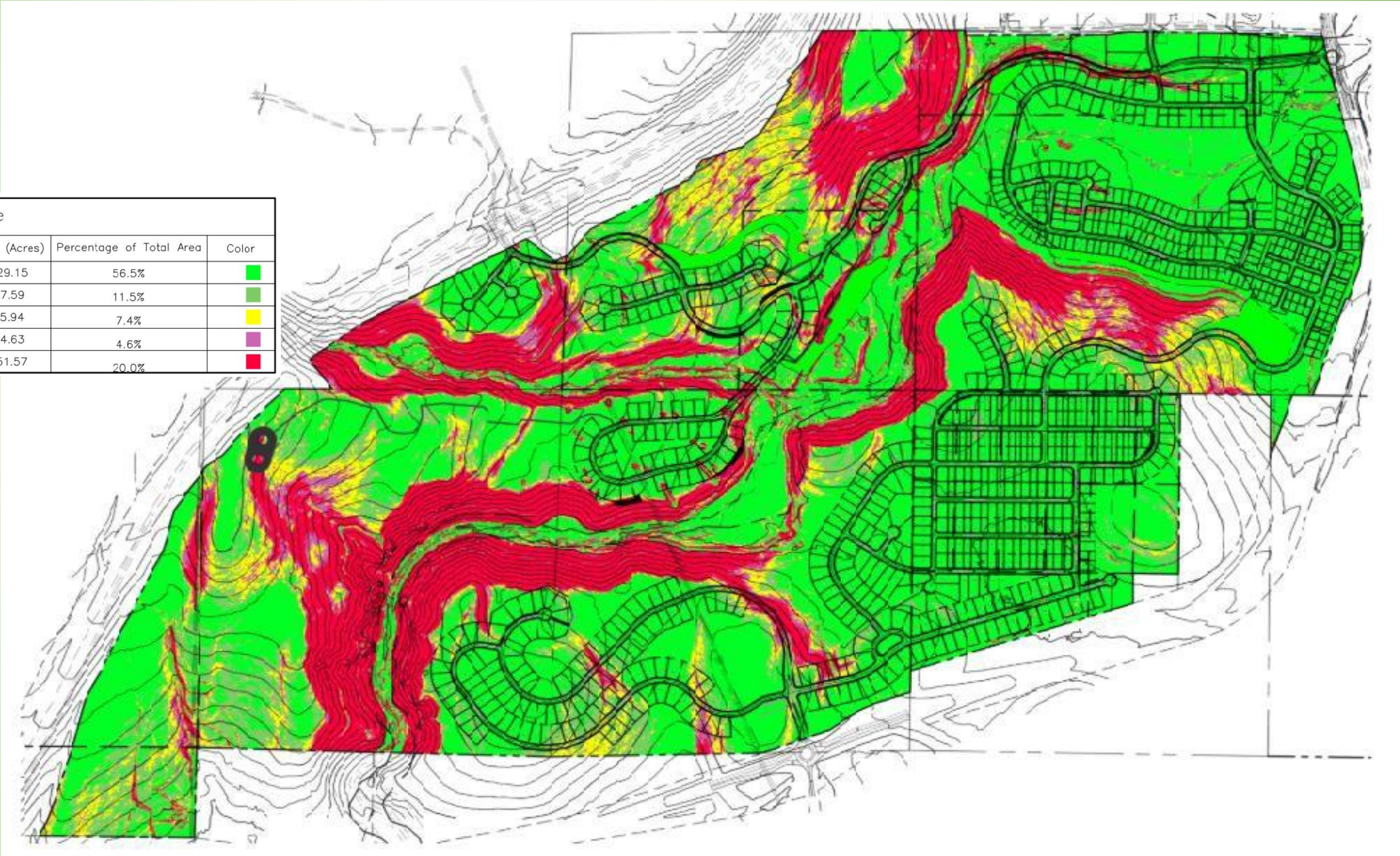
Approximately 60% of the site (450+ acres) is expected to be in open space containing trails and open land, managed by the HOA.



Slope Analysis Exhibit

Slopes Table

Number	Minimum Slope	Maximum Slope	Area (SF)	Area (Acres)	Percentage of Total Area	Color
1	0.00%	15.00%	18693568.96	429.15	56.5%	Light Green
2	15.00%	20.00%	3815486.78	87.59	11.5%	Medium Green
3	20.00%	25.00%	2436745.93	55.94	7.4%	Yellow
4	25.00%	30.00%	1508627.93	34.63	4.6%	Purple
5	30.00%	Vertical	6602346.74	151.57	20.0%	Red



-

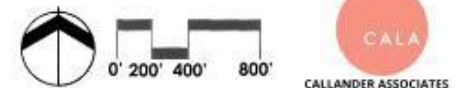
Traffic Volume will be about ½ the volume before the freeway opened

Parks



- Over 8.5 miles of trails.
- V&T Multi-Use Trail
- Equestrian Trail
- Access and Parking
- Access paralleling Steamboat and Browns Creek and additional trails linking neighborhood.

	PUBLIC ACCESS PAVED MULTI-USE TRAIL (2.2 MI)
	PUBLIC ACCESS UNPAVED TRAIL (2.0 MI)
	PUBLIC ACCESS EQUESTRIAN TRAIL (1.0 MI)
	NEIGHBORHOOD UNPAVED TRAIL (3.7 MI)



Safe Routes to School Program



Safe Routes

- 1 Sidewalk on Pagni to Kitts (On S. Side)
- 2 Crosswalk @ East side of Kitts / Pagni, so long as no parking on East side of Kitts.
- 3 Extend School Zone / Flashers on Kitts
- 4 RRFB East Side Surrey / Kitts @ Existing Crosswalk. Enhance visibility of Stop Sign
- 5 School Flasher +/- 250' S of Laramie / Surrey
- 6 Crosswalk West Side of Surrey / Kitts (Parents)
- 7 Crosswalk Galena Pines Across Kitts (South Side)

Meadows Area

- Development remains outside of sensitive and critical stream zones (per Article 424)
- Min 300-foot SHR buffer with 400 – 500 feet provided in many areas.
- 1 acre lot buffer area to properties to north and transition to smaller lots south of St. James Parkway and across Steamboat Creek.



Carson River Mercury Superfund Site

—Carryover Effect from Comstock Mining

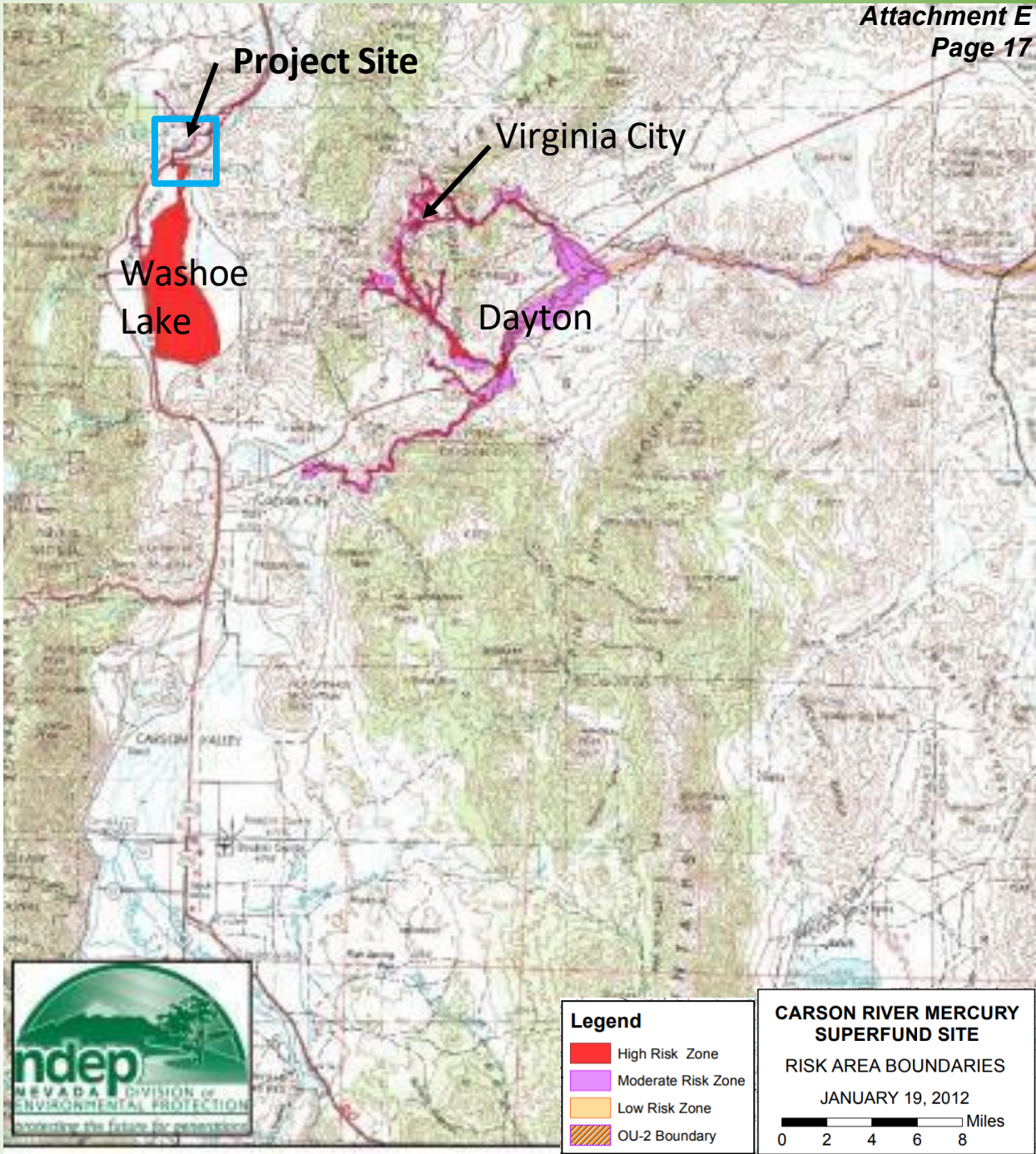
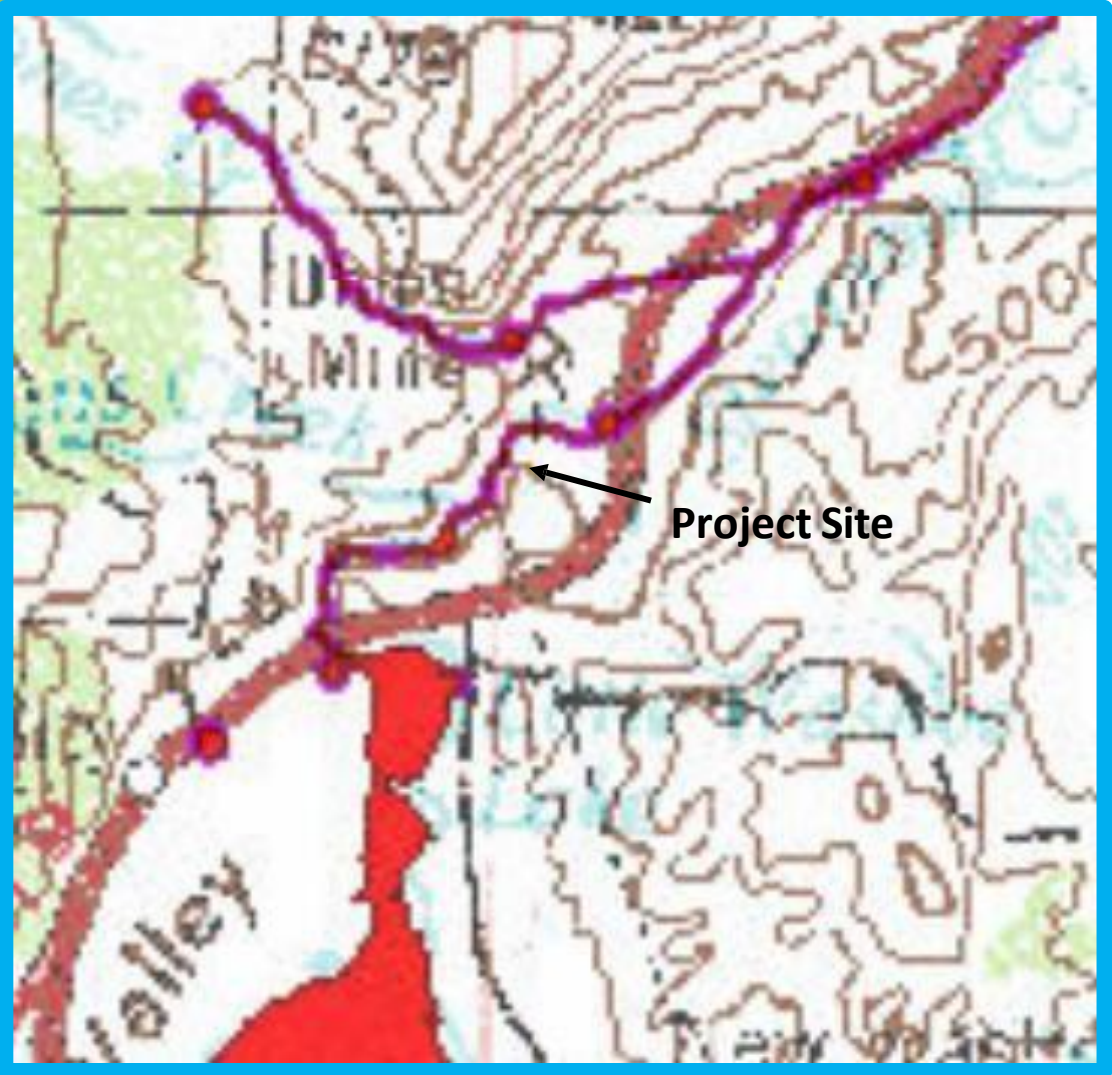




FIGURE 2

TITLE:
**SITE MAP
-SHOWING-
CRMS Zones
Sierra Reflections Subdivision
New Washoe City,
Washoe County, NV**

JOB NO.:
KKC012

DATE:
11/17/2023

FILE:
Fig 2 - CRMS Site Map

COORDINATE SYSTEM:
NAD 1983 UTM Zone 11N

REF:
DESIGNED HC

DRAWN HC

CHECKED CJ

APPROVED CJ

REVISION:
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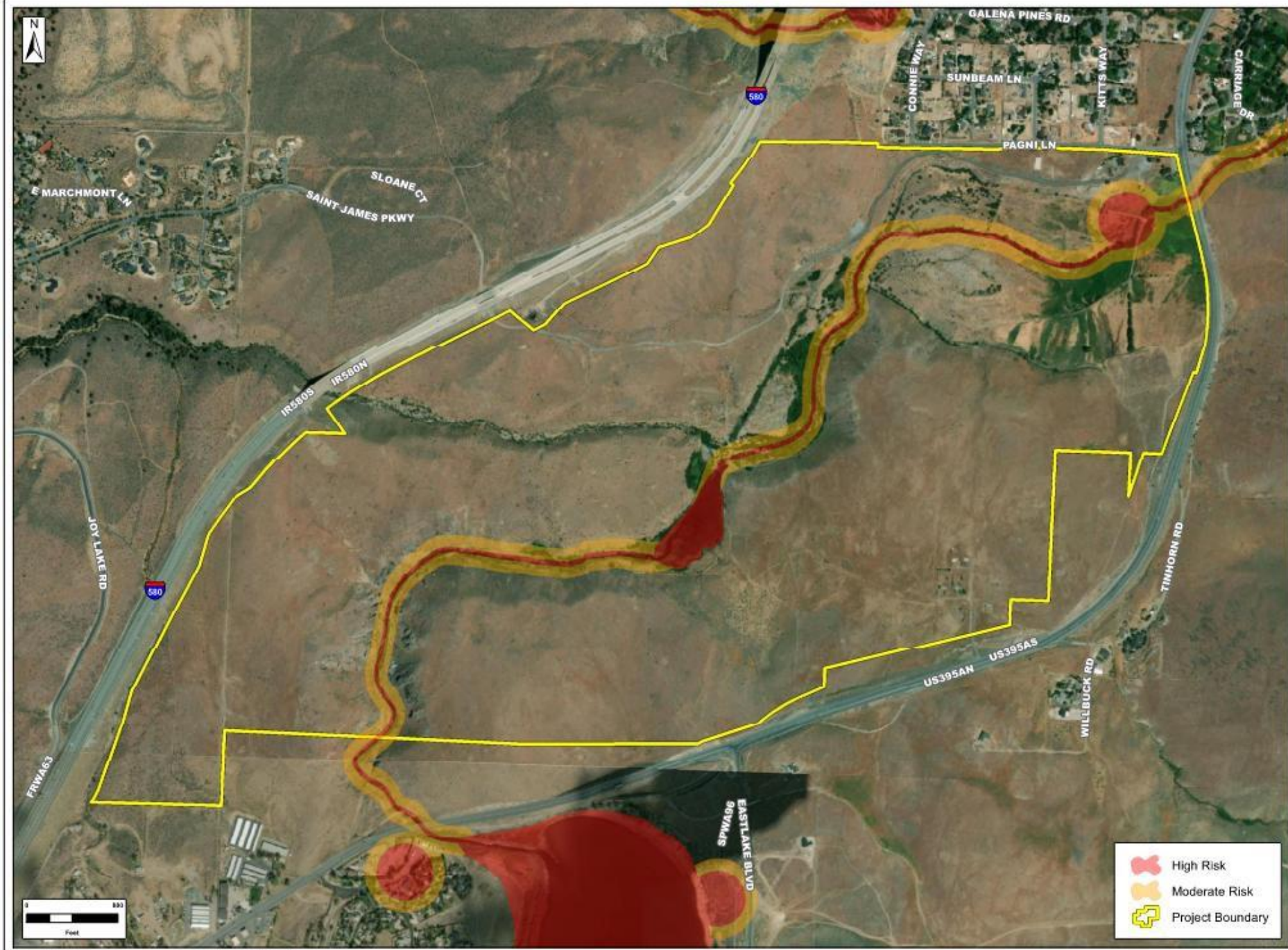


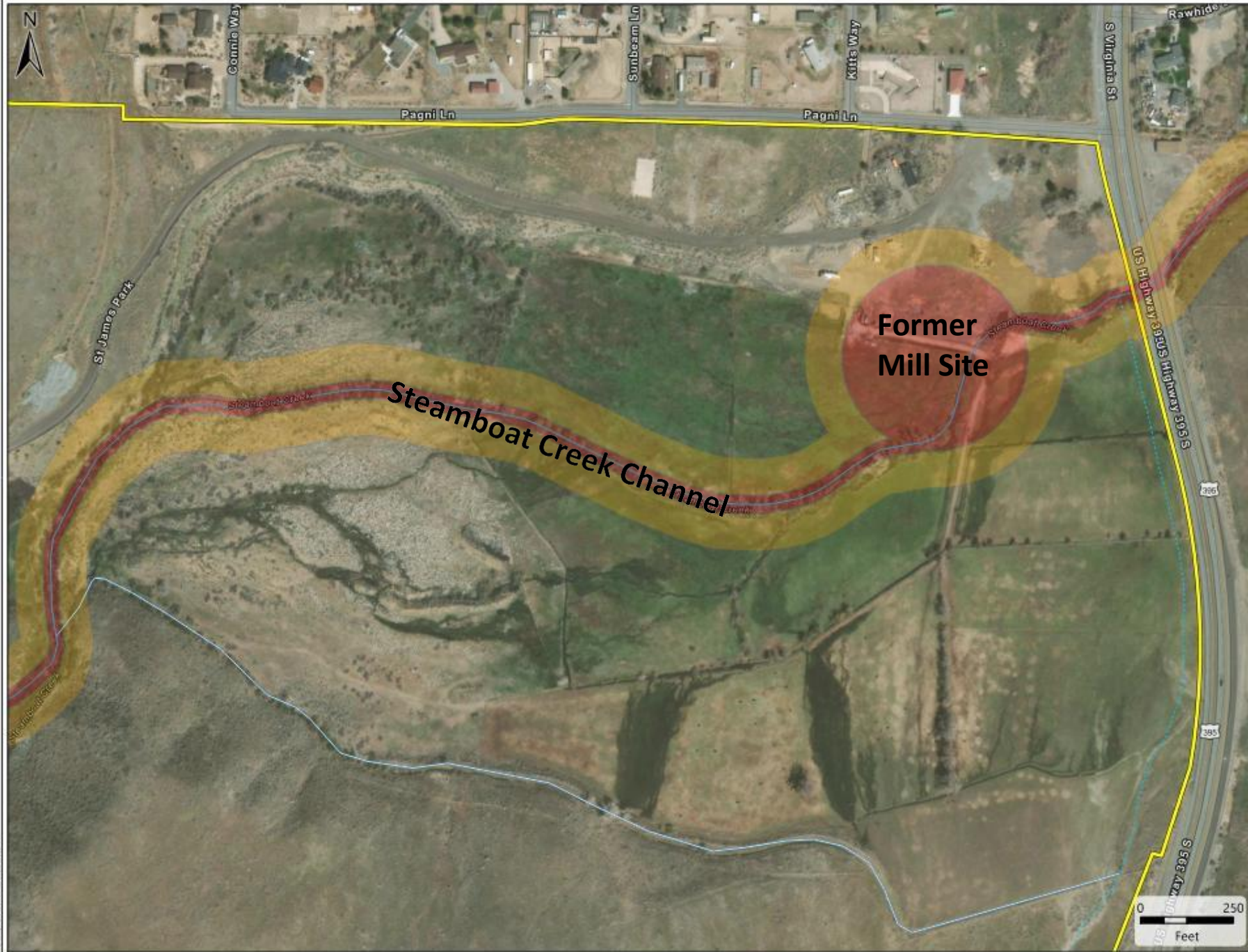


FIGURE 1

CRMS Zone in the Meadow Area
Sierra Reflections Subdivision
New Washoe City, Washoe
County, NV

- CRMS Zones**
- High Risk
 - Moderate Risk
 - Project Boundary
- USGS National Hydrography Dataset**
- Canal Ditch
 - Ephemeral Stream
 - Perennial Stream

Client: World Properties Inc.
Project Code: KKC012
NAD 1983 UTM Zone 11N
H.Chambers 12/30/2025



Master Plan and Code Items Supporting Common Open Space Development

SVAP Policy 3.2 – Encourages Common Open Space Development and TDR's to protect wildlife and vegetation resources

SVAP Policy 4.3 - Protection of critical source water areas

SVAP Principal 5 – regional parks and trails providing for active and passive recreation

SVAP Policy 8.1 - V&T multi-use trail can provide cultural resource education.

Article 418 – Purpose Statement, Item F states: “Encouraging common open space developments to avoid hazardous or environmentally sensitive areas, protect important habitat and open space areas, and minimize impacts on groundwater recharge areas;”

Section 110.418.35 – Further states: New residential subdivision requests with a protected perennial stream on the property are encouraged to submit in accordance with the provisions of Article 408, Common Open Space Development.

Findings for Tentative Map

Plan Consistency. Consistent with the Master Plan and any specific plan;

Design or Improvement. That the design or improvement is consistent with the Master Plan and any specific plan;

Type of Development. Site is physically suited for the type of development proposed;

Availability of Services. Subdivision will meet the requirements of Article 702, Adequate Public Facilities Management System;

Fish or Wildlife. That neither the design of the subdivision nor any proposed improvements is likely to cause substantial environmental damage, or substantial and avoidable injury to any endangered plant, wildlife or their habitat;

Public Health. That the design of the subdivision or type of improvement is not likely to cause significant public health problems;

Easements. That the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through, or use of property within, the proposed subdivision;

Access. That the design of the subdivision provides any necessary access to surrounding, adjacent lands and provides appropriate secondary access for emergency vehicles;

Dedications. That any land or improvements to be dedicated to the County is consistent with the Master Plan; and

Energy. That the design of the subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities

Findings for Common Open Space Development

Preserve or Provide Open Space. The development preserves existing steep slope areas, developmentally constrained areas, and heavily treed areas from development and provides future residents with an option for open space above and beyond any applicable minimum requirements of Article 432.

Protect Natural and Scenic Resources. The development identifies and protects natural and scenic resources, including but not limited to ridgelines, waterways, large diameter trees, and habitat for special status species.

Achieve a More Efficient Use of Land. The development utilizes density clustering to further protect and preserve open spaces.

Minimize Road Building. The development is designed in a manner that reduces the overall linear distance of roadways (e.g. cul-de-sacs).

Encourage a Sense of Community. The development provides community amenities such as trail connectivity, bike trails/walking trails, dog parks, playgrounds, pocket parks, etc.

Findings for Special Use Permit

Consistency. The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the applicable area plan;

Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

Site Suitability. The site is physically suitable for the type of development and for the intensity of development;

Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area; and

Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Closing

The applicant is in agreement with the staff's thorough review, analysis and recommendation for this project and we agree with the conditions of approval that have been provided. We request that the Planning Commission uphold the staff's technical review, analysis and recommendation and approve the request that is before you.

Additional Slides for Question

Mercury Slides

Carson River Mercury Superfund Site

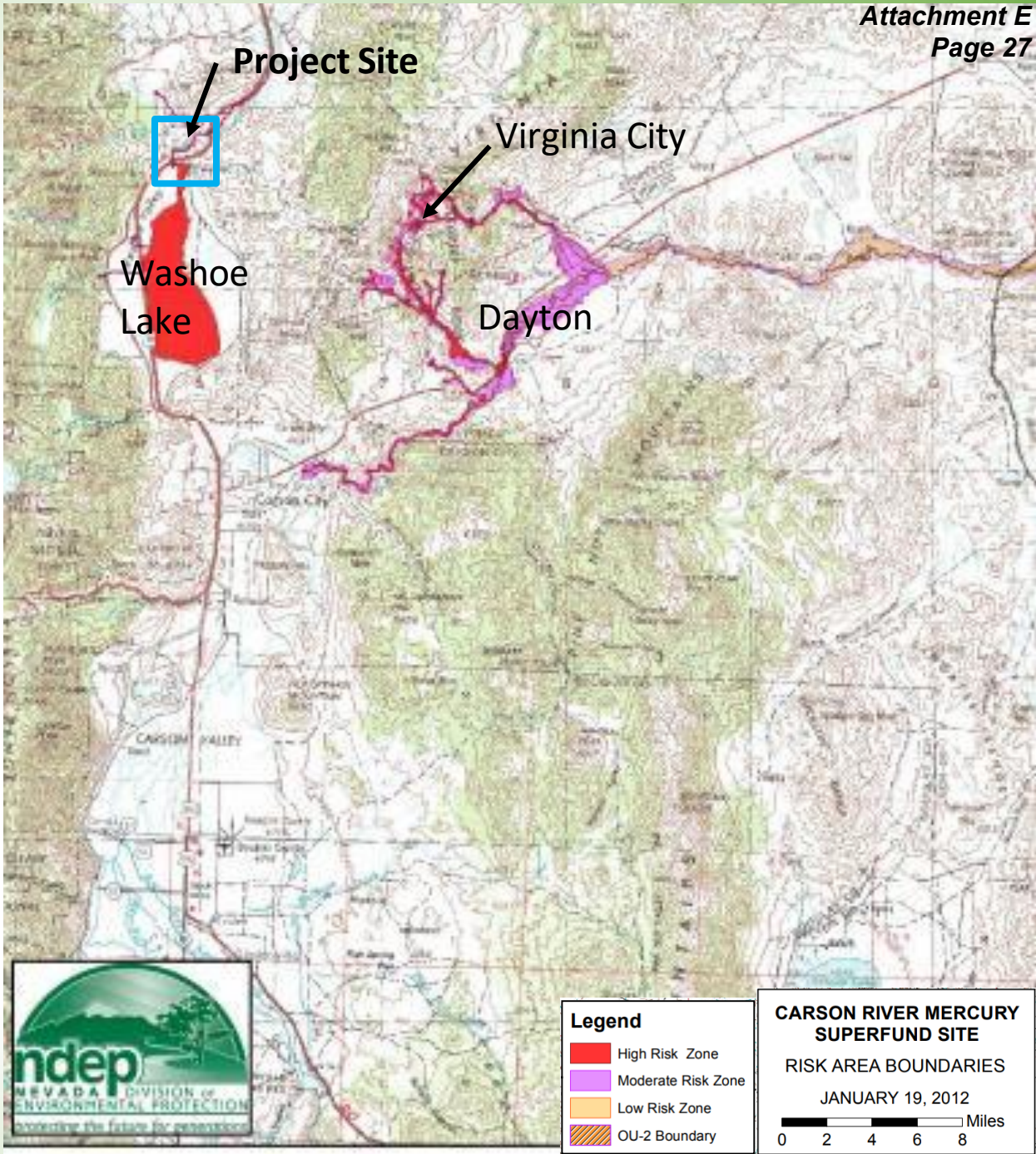
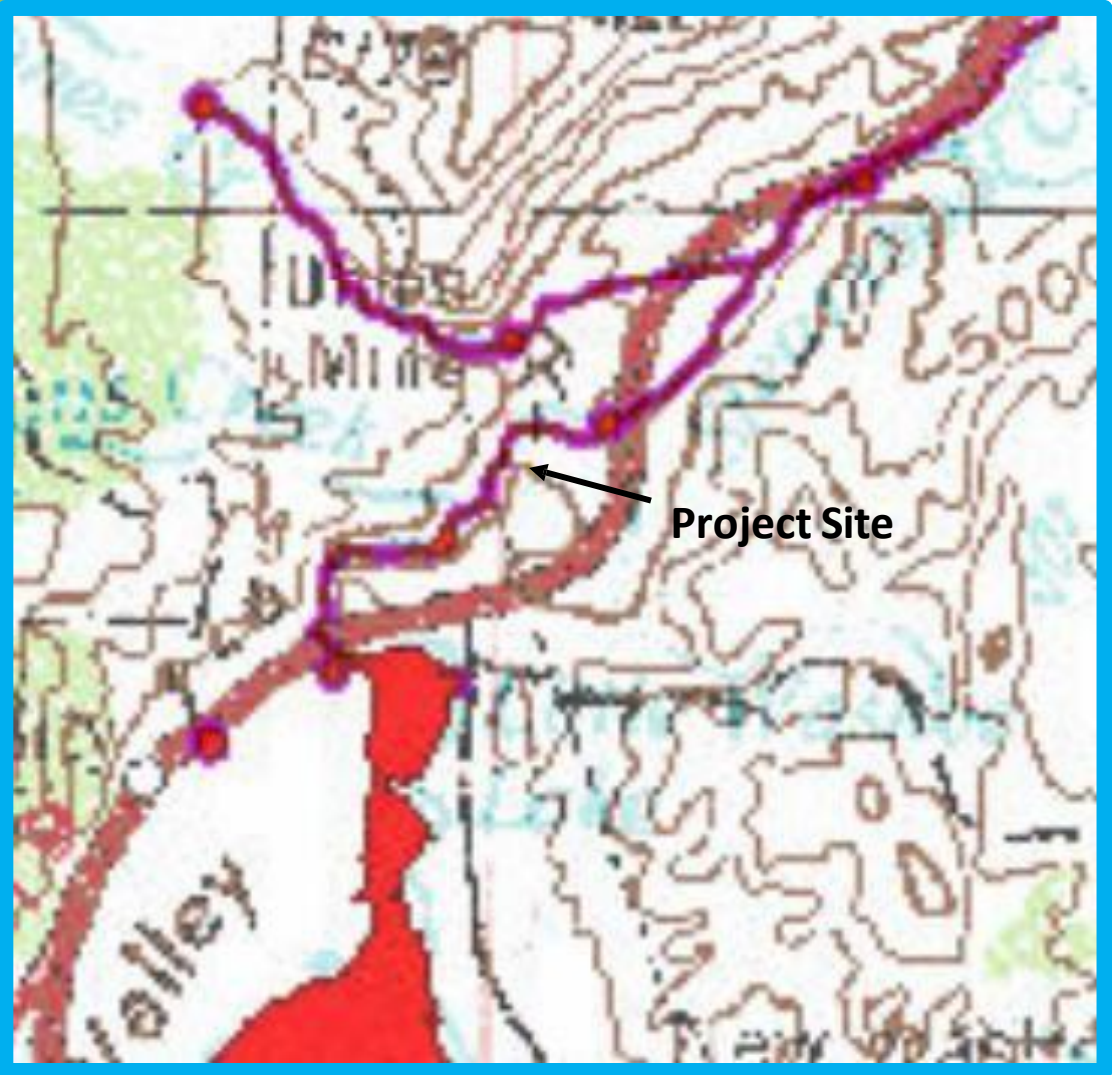




FIGURE 2

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**SITE MAP
-SHOWING-
CRMS Zones
Sierra Reflections Subdivision
New Washoe City,
Washoe County, NV**

JOB NO.:
KKC012

DATE:
11/17/2023

FILE:
Fig 2 - CRMS Site Map

COORDINATE SYSTEM:
NAD 1983 UTM Zone 11N

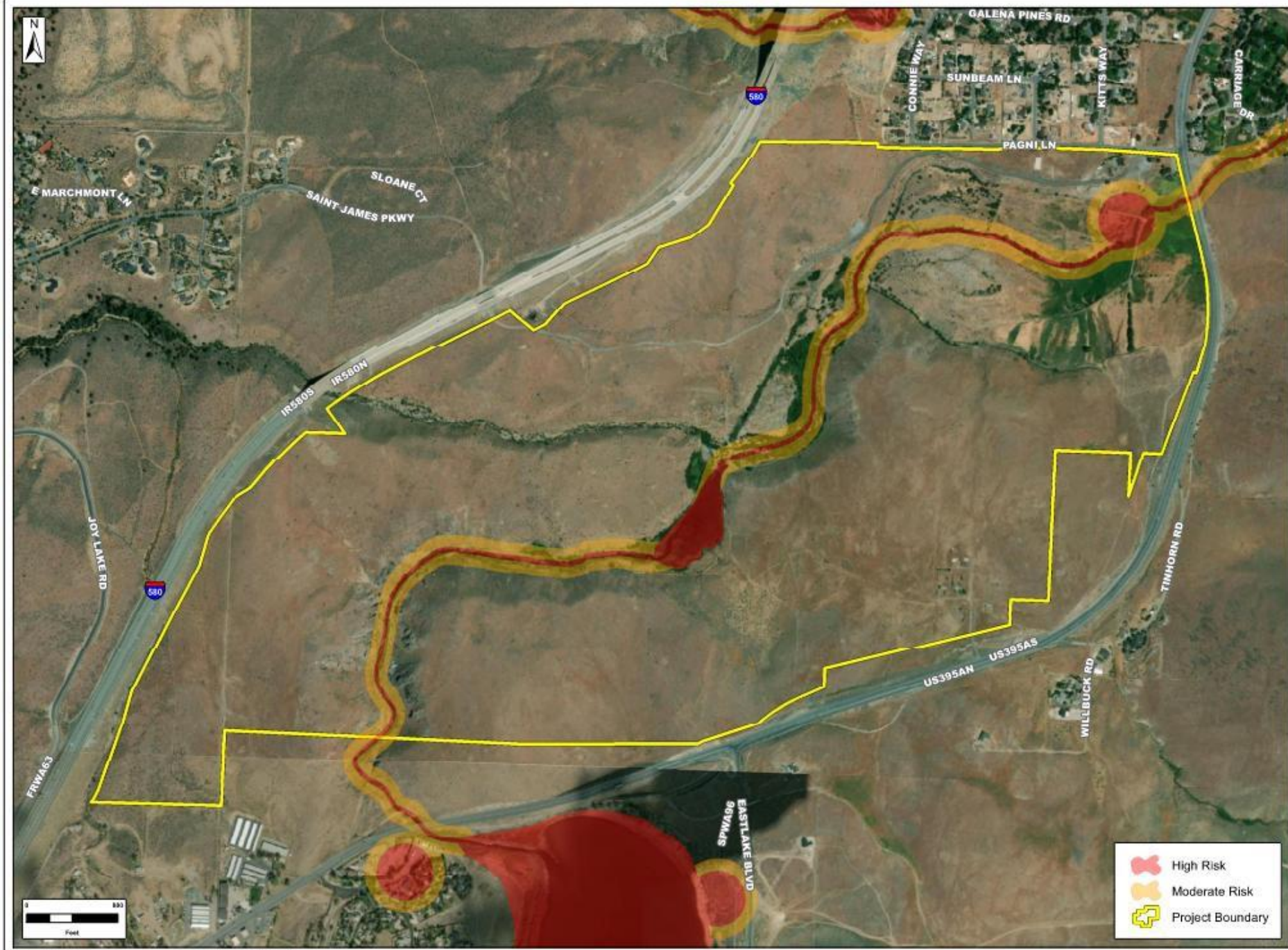
REF:
DESIGNED HC

DRAWN HC

CHECKED CJ

APPROVED CJ

REVISION:
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High Risk


Moderate Risk


Project Boundary

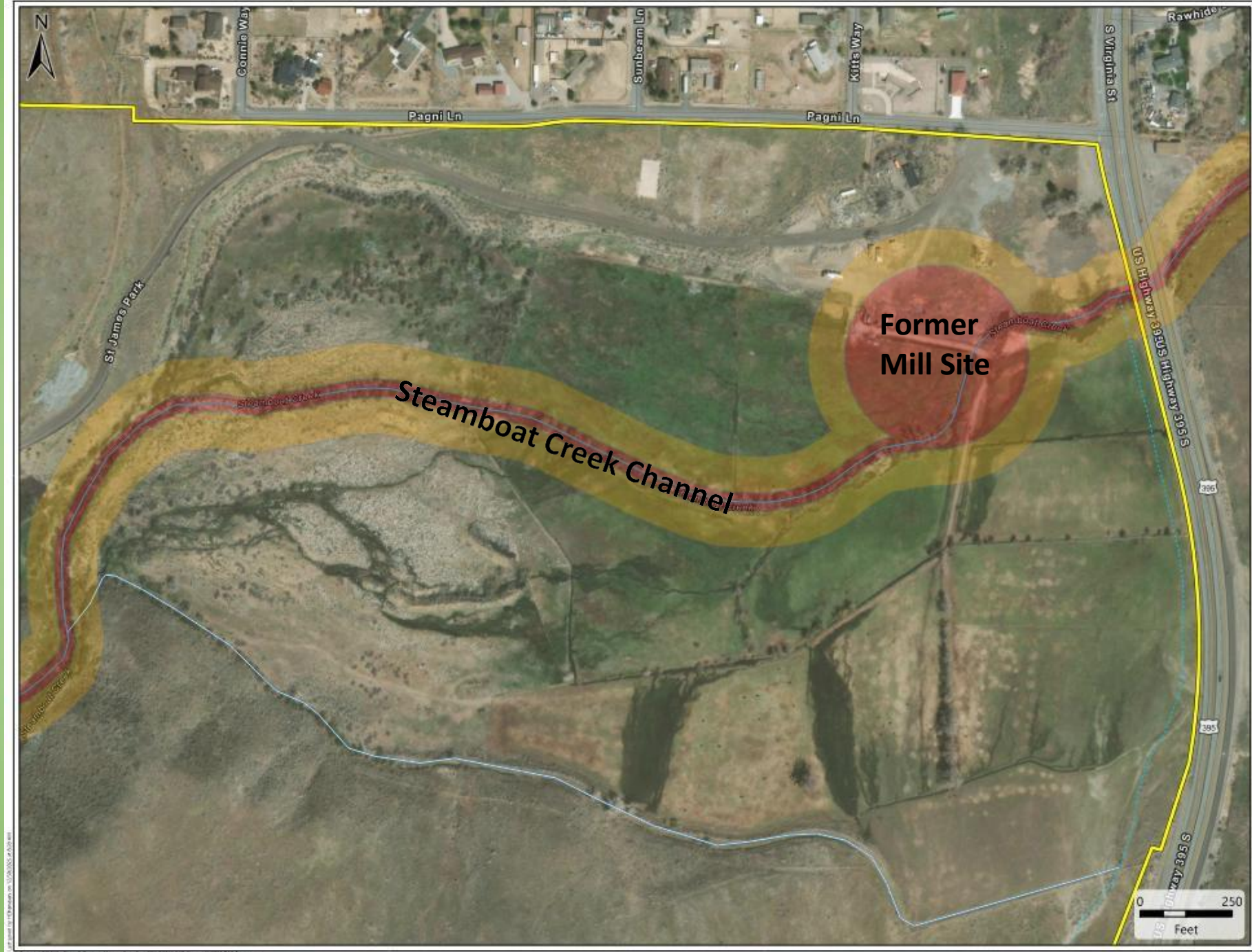


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New Washoe City, Washoe County, NV

- CRMS Zones**
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Client: World Properties Inc.
Project Code: KKC012
NAD 1983 UTM Zone 11N
H.Chambers 12/30/2025



Mercury Testing

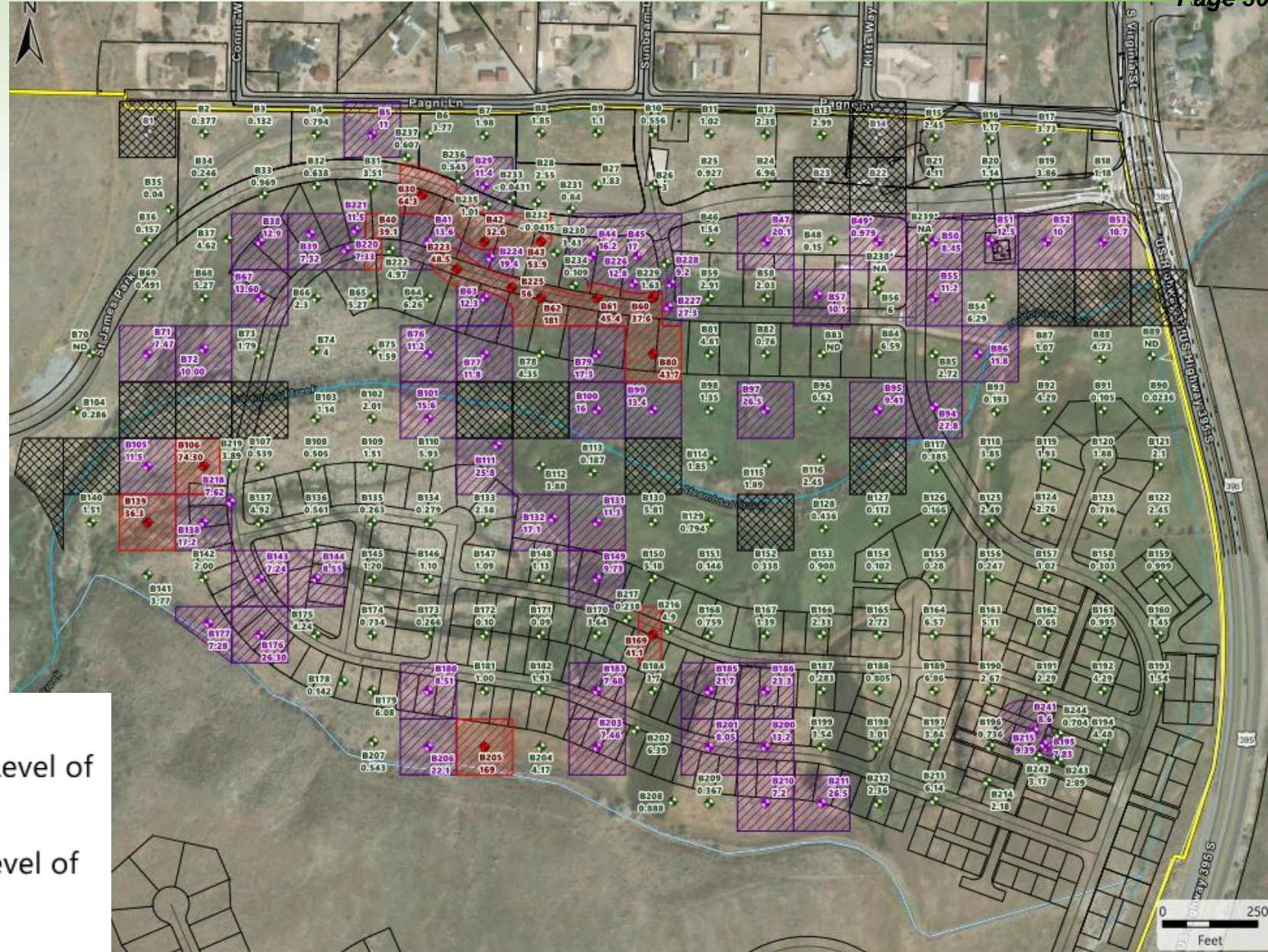
Zone 1 Meadows
0' - 4' Depth

Meadow Area Only –
409 samples (includes shallow and deeper samples),
78 > residential action levels (7.1 mg/kg),
16 > commercial action levels (30 mg/kg)

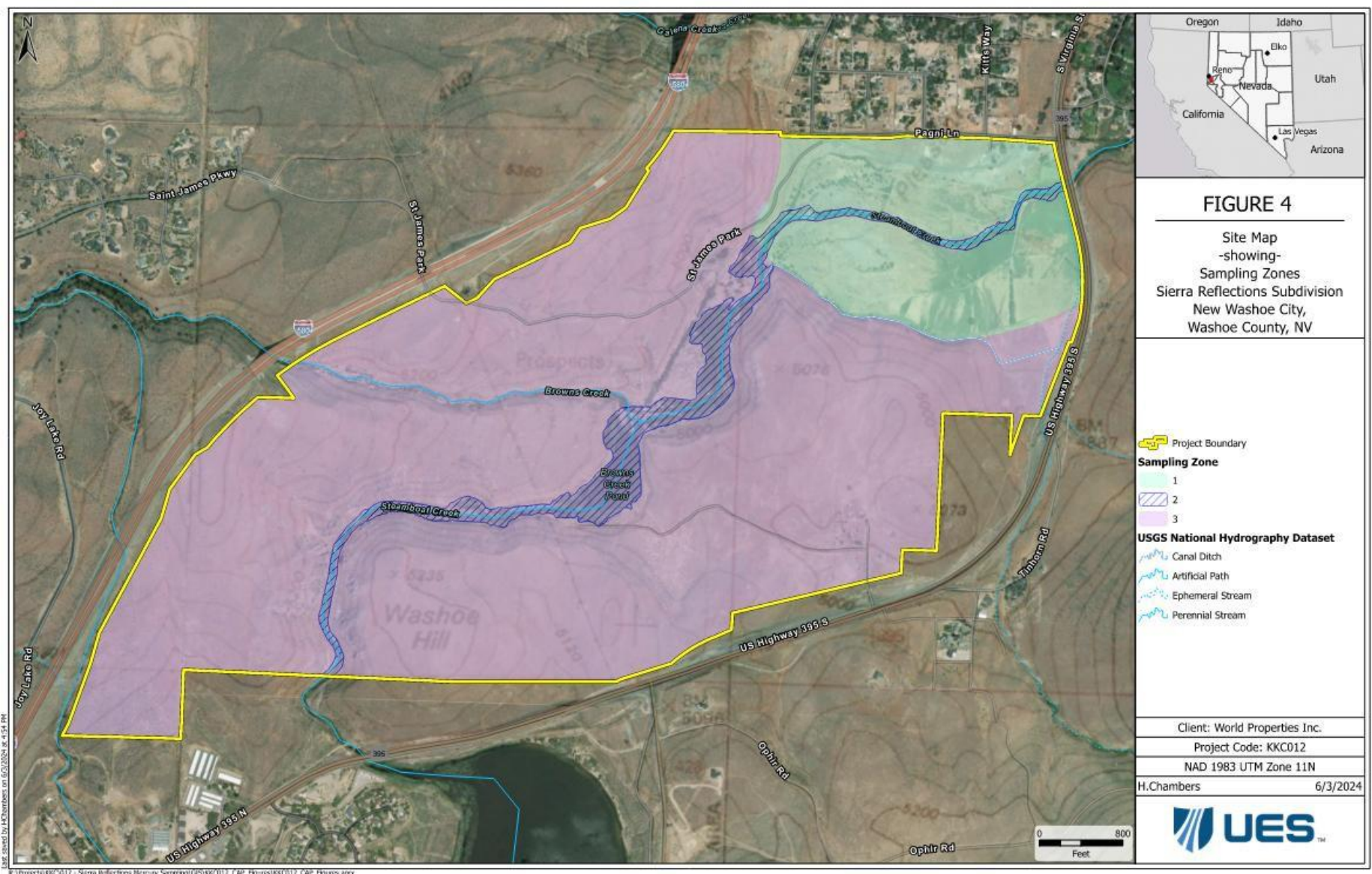
Total Site (including the creek and highland areas) -
478 samples,
92 > residential action levels (7.1 mg/kg),
18 > commercial action levels (30 mg/kg)

½ Acre Sampling Grid for Borings

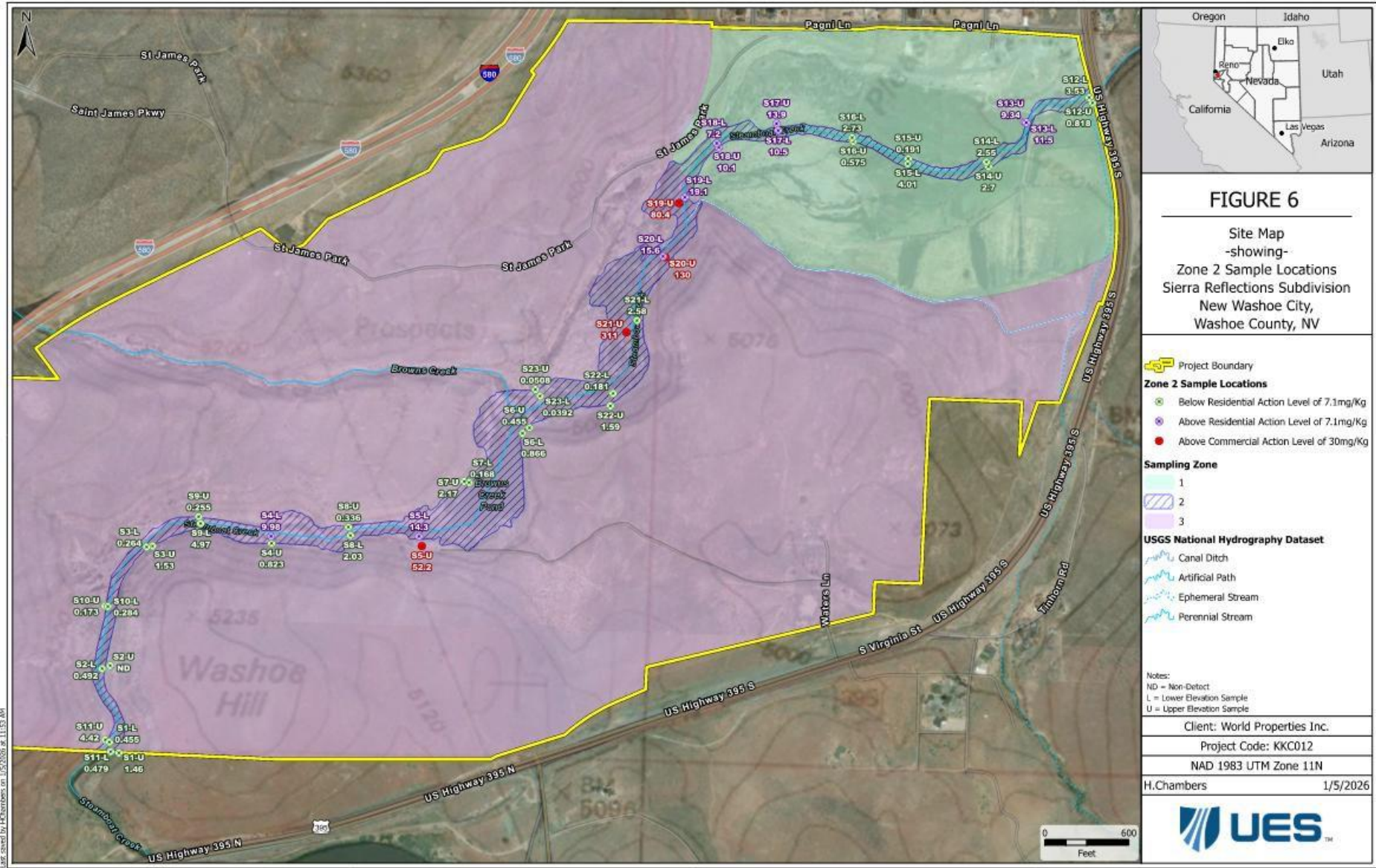
-  Grid Cell Above Commercial Action Level of 30 mgKg
-  Grid Cell Above Residential Action Level of 7.1 mgKg
-  Removed from Sampling Plan



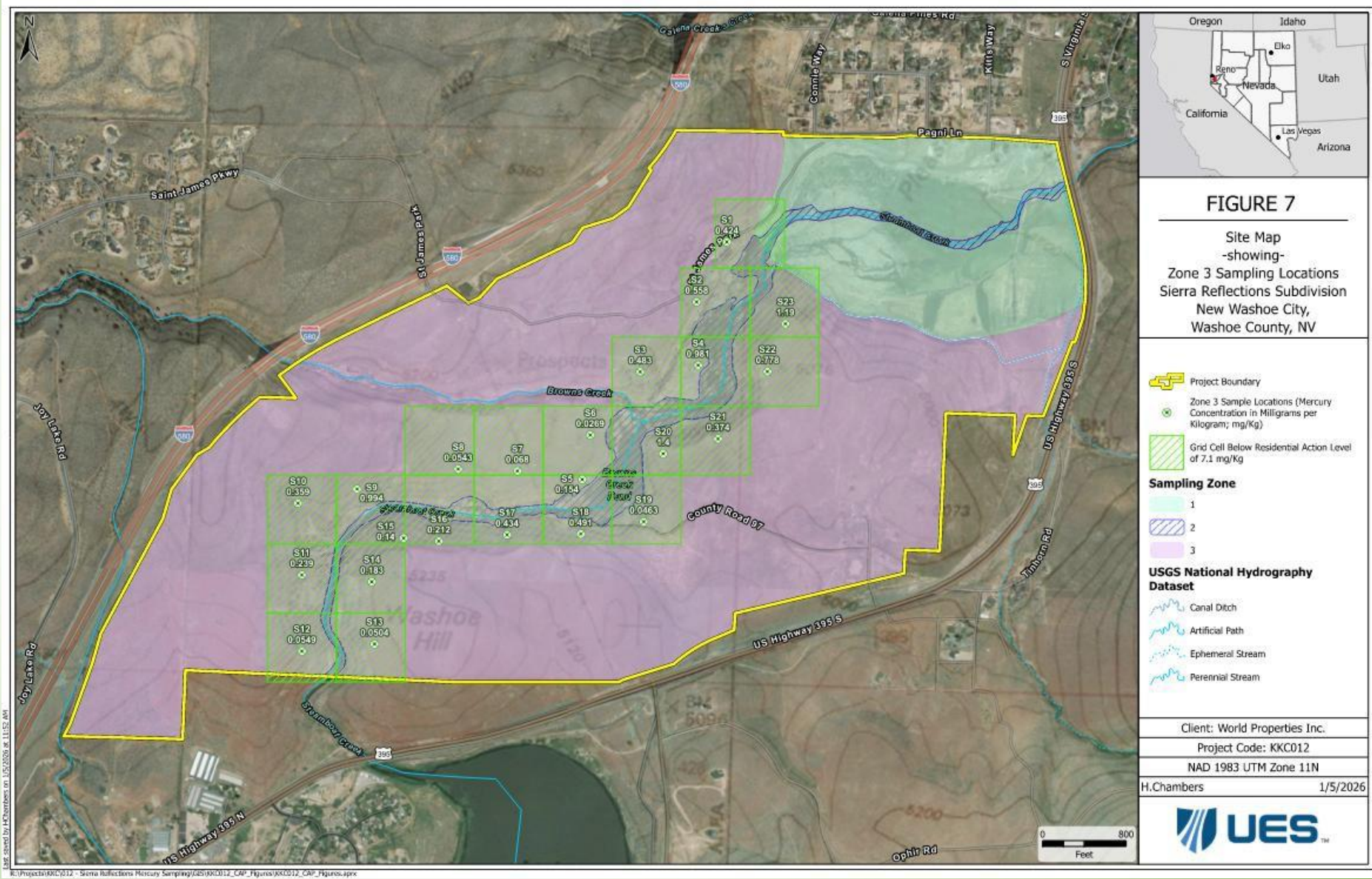
Mercury Testing



Mercury Testing



Mercury Testing

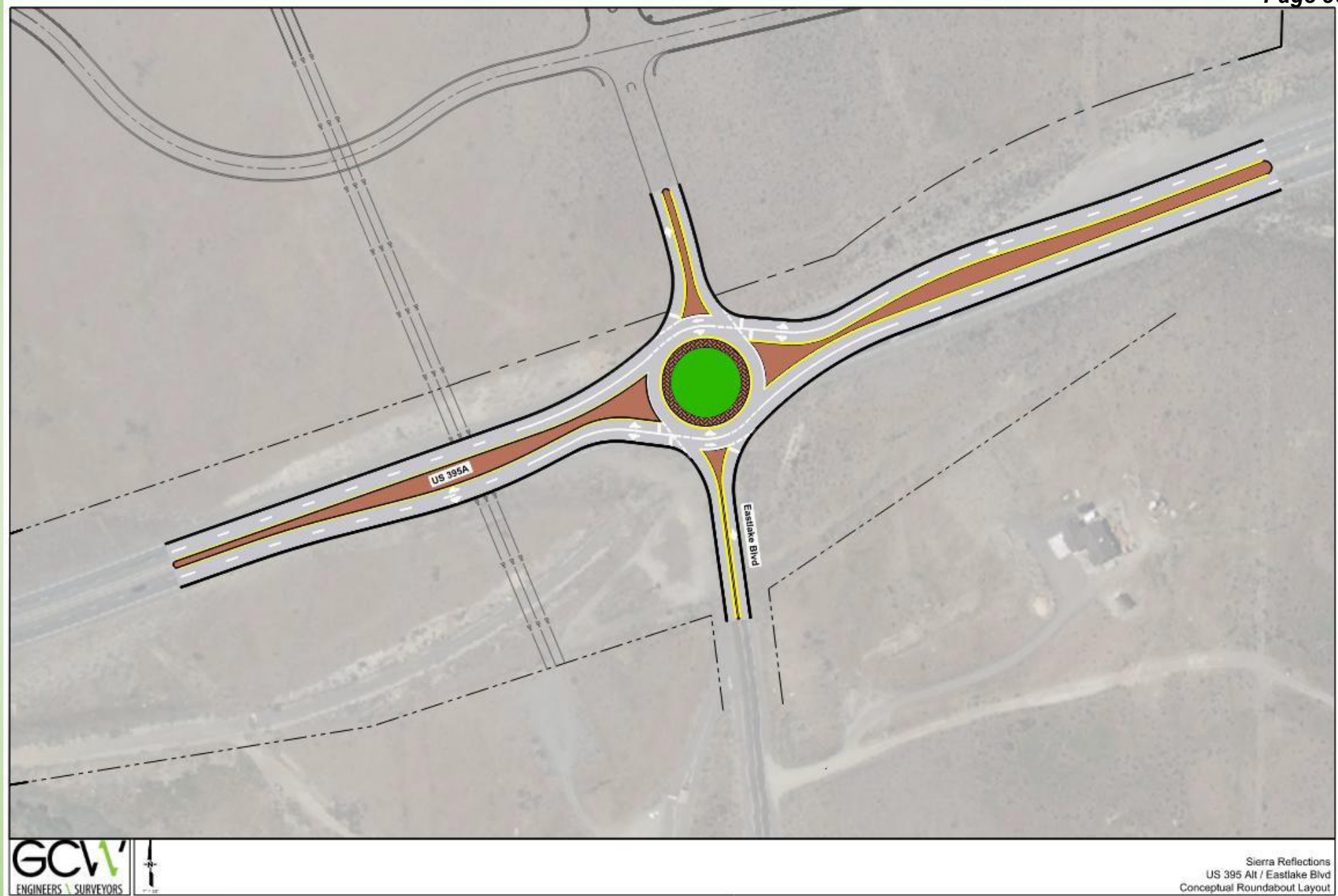


Traffic Slides

Primary Access Connections



Eastlake Roundabout



St. James Parkway Roundabout



Faultline Exhibit

SIERRA REFLECTIONS SUBDIVISION IMPROVEMENT PLANS TENTATIVE MAP FAULT LINE EXHIBIT

JOB NO: 21126.02



Legend

Quaternary Fault and Fold Database

Latest Quaternary (<15,000 years), well contained location

Undifferentiated Quaternary (<1.6 million years), well contained location

NOTES:

1. ALL FAULT LINE INFORMATION OBTAINED FROM 1999 QUATERNARY FAULTS GIS WEBSITE.

2. FOR MITIGATION ALONG FAULT LINES, PLEASE SEE UPDATED GEOTECHNICAL REPORT PREPARED BY WEDICK CONSULTING ENGINEERS, LLC DATED FEBRUARY 20, 2024.

SIERRA REFLECTIONS
SUBDIVISION IMPROVEMENT PLANS
TENTATIVE MAP
FAULT LINE EXHIBIT
89521 NEVADA

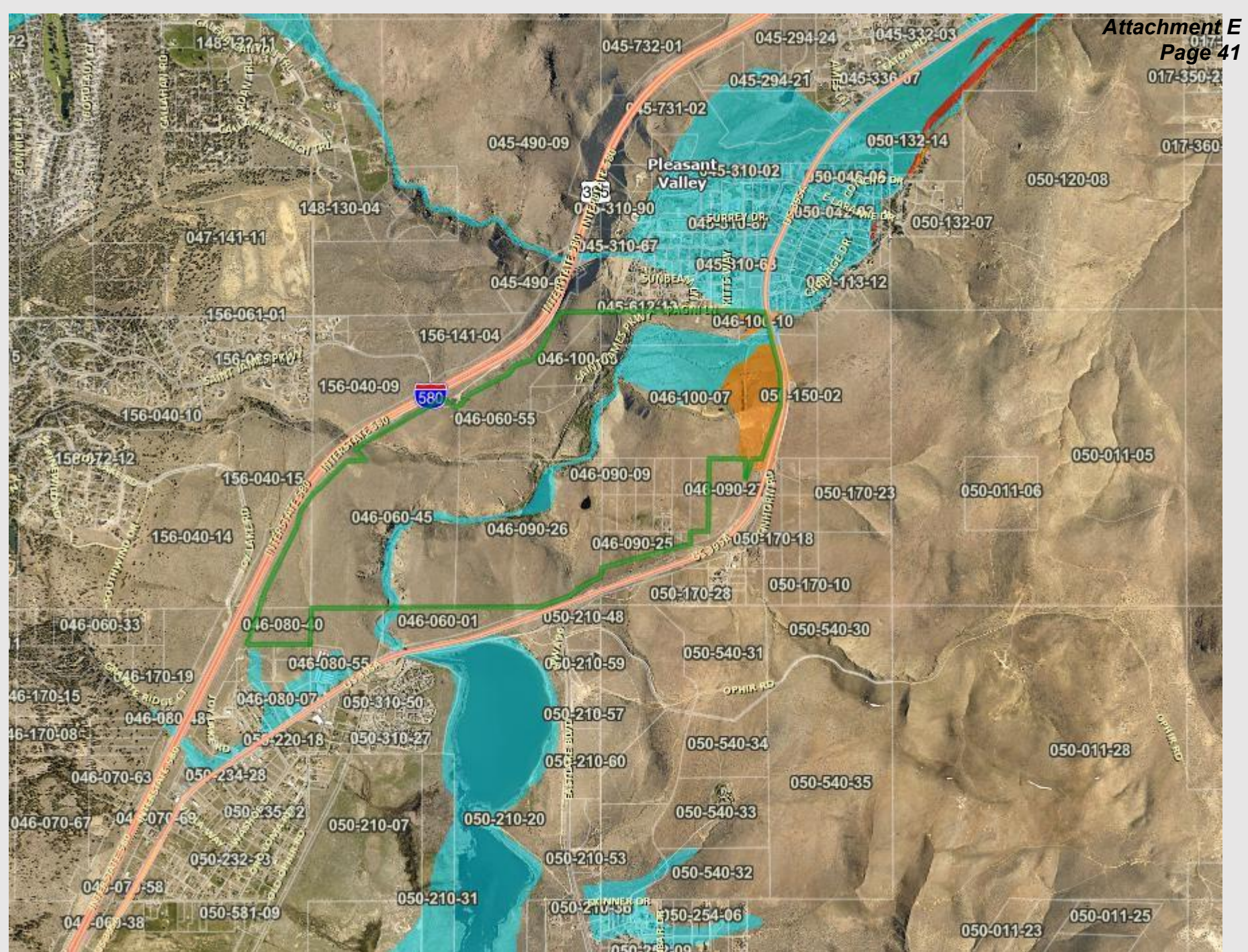
Bowman
1150 CORPORATE BLVD. | RENO, NV 89502
775-856-1150 MAIN | BOWMAN.COM
JOB NO: 21126.02 DATE: 10/08/2025

FEMA Flood Exhibit

Flood Zones

Zone AO – 1%
chance of flooding
(1–3-foot depths)

Zone X – less than
0.2% Chance of
Flooding



Landscape, Parks and Trails



SIERRA REFLECTIONS | OPPORTUNITIES AND CONSTRAINTS PLAN

WASHOE COUNTY, NV

CALLANDER PROJECT NUMBER: 22023 | DATE: 06.06.2024 | CALLANDER ASSOCIATES



Neighborhood Park #1



Neighborhood Parks #2 & #3



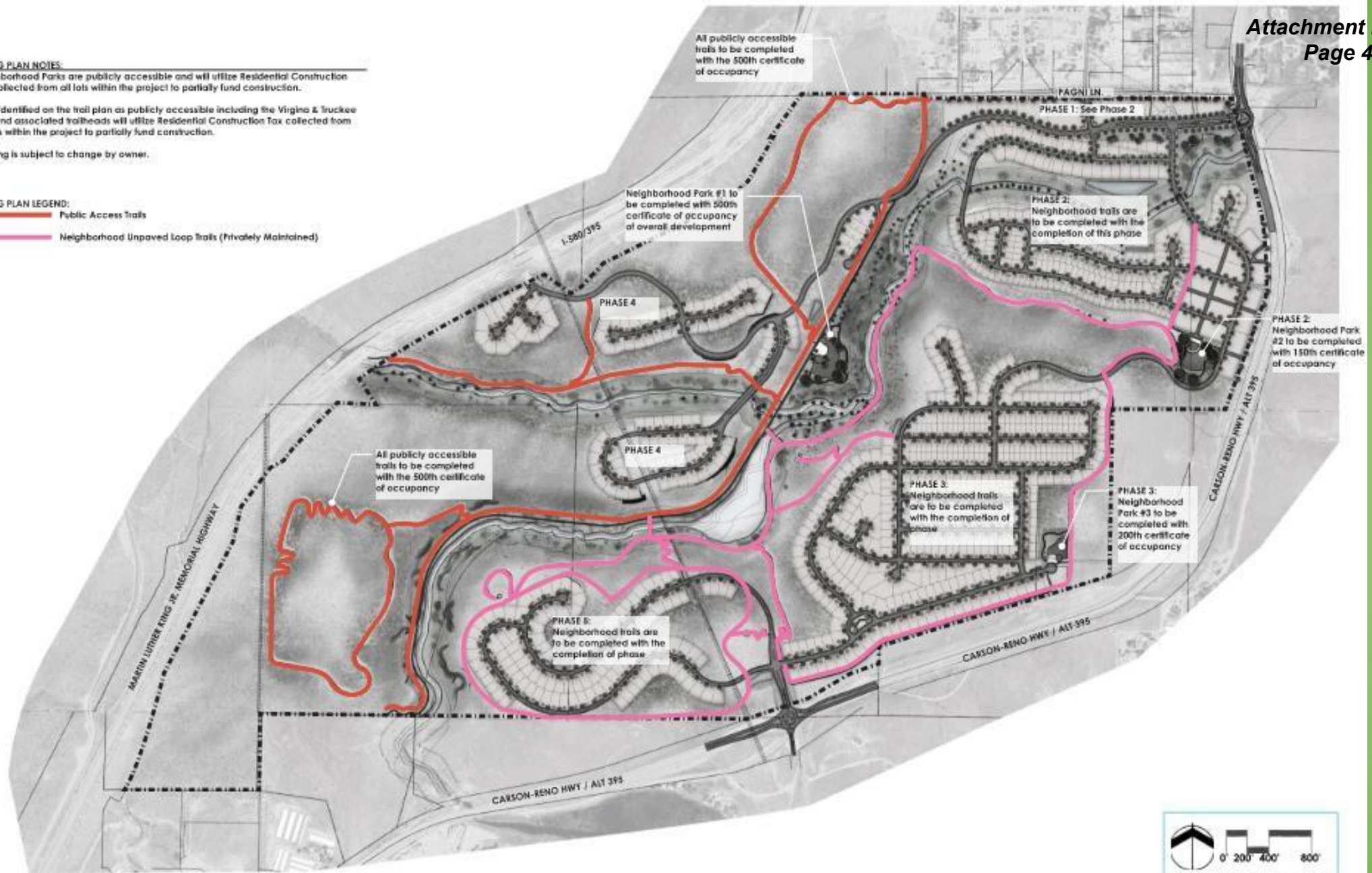
Trails

PHASING PLAN NOTES:

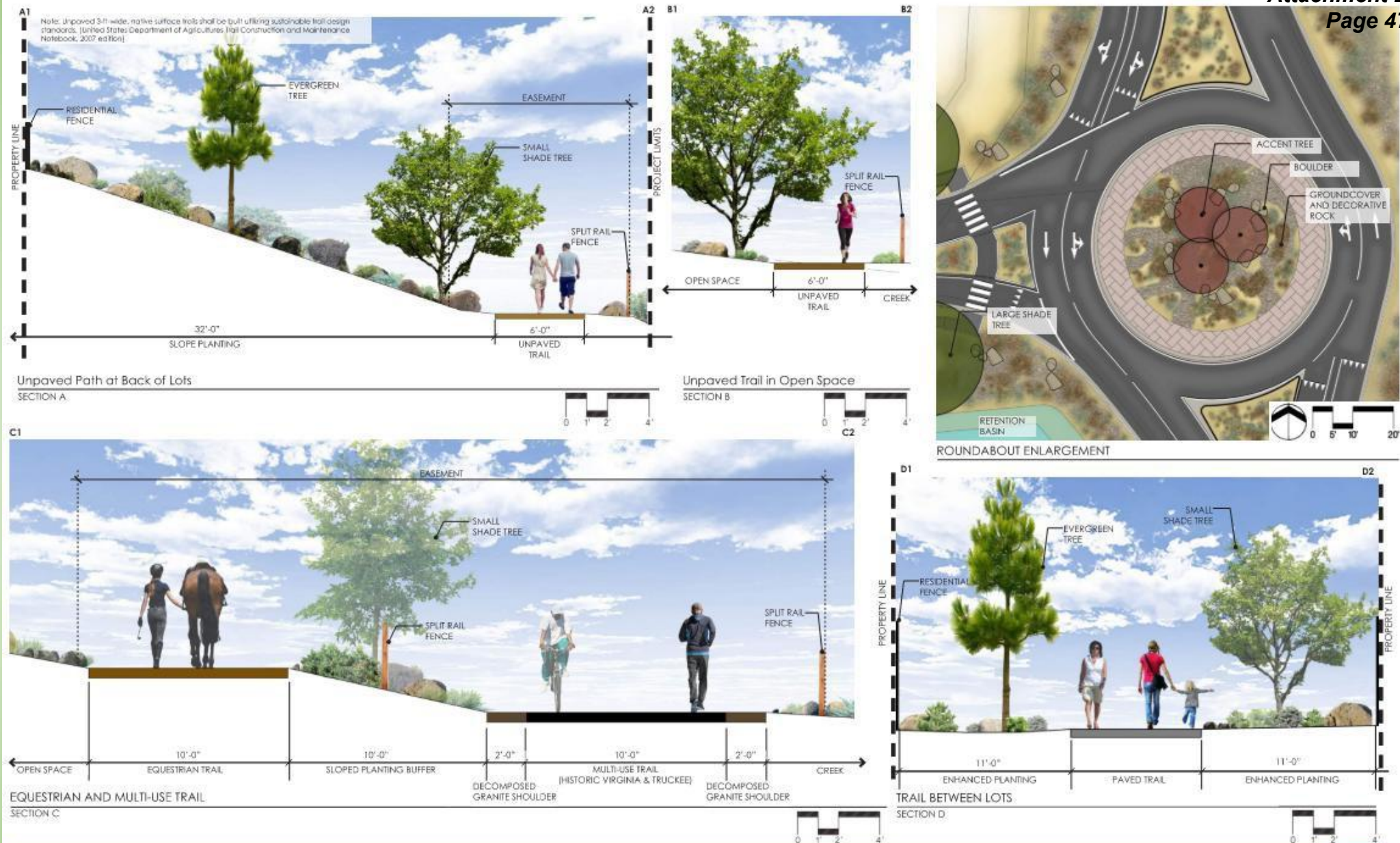
1. Neighborhood Parks are publicly accessible and will utilize Residential Construction Tax collected from all lots within the project to partially fund construction.
2. Trails identified on the trail plan as publicly accessible including the Virginia & Truckee Trail and associated trailheads will utilize Residential Construction Tax collected from all lots within the project to partially fund construction.
3. Phasing is subject to change by owner.

PHASING PLAN LEGEND:

- Public Access Trails
- Neighborhood Unpaved Loop Trails (Privately Maintained)



Trails



VISION BOARD

COMMUNITY PARK & POCKET PARK ELEMENTS



SIERRA REFLECTIONS
RENO, NV

CALLANDER PROJECT NUMBER: 22823 | DATE: 07.18.2024 | CALLANDER ASSOCIATES

L-1



VISION BOARD

ROUNDBOUT, DETENTION BASIN, HIKING
TRAIL, ENTRY SIGNAGE, & PLANTING





Project Dev. Stats and Phasing

Development Statistics

Following are development statistics for Sierra Reflections Common Open Space Development Tentative Subdivision Map.

Total Project Area:	759.7+/- AC
Maximum Dwelling Units Allowed: (per Zoning)	1083 Residential Lots/Units
Total Lots Proposed:	940 Residential Lots
Gross Density Allowed (per aggregation of zoning)	1.43+/- DU/AC
Gross Density Proposed:	1.24+/- DU/AC

Areas of Use

Developed Area - Residential Lots and Street Areas:	292.2+/- AC (38.5+/-% of Site)
Common Area/Open Space:	467.5+/- AC (61.5+/-% of Site)

Lot Sizes

Minimum Lot Size:	2,876+/- SF
Maximum Lot Size:	68,008+/- SF
Average Lot Size:	9,402+/- SF

Setbacks Vary Per Lot Size – Please see Setback Sheet in Sheets C5.1 & C5.2 in Tab B for details of dimensionally based lots

Min. Lot Dimensions or Size	Front	Side	Rear	Closest WC Zoning
1 Acre	30	12	30	LDS
80X140	15/20*	8	30	MDS
80X120	15/20*	8	20	MDS/4
70X140	15/20*	7	30	MDS/4
70X120	15/20*	7	25	MDS/4
70X100	15/20*	7	20	HDS
60X110	15/20*	6	20	HDS
50X100	15/20*	5	15	HDS
45X110	15/20*	5	15	HDS
Patio Homes	10/15/20**	5***	10	LDU

Notes - * Multiple Front Setback Listing equates to setback to porch/house or garage as measured from public street ROW

** - Patio Home front setback equates setback to porch/house/garage measured from public street ROW or common driveway easement

*** - Distance to side or exterior side to common driveway

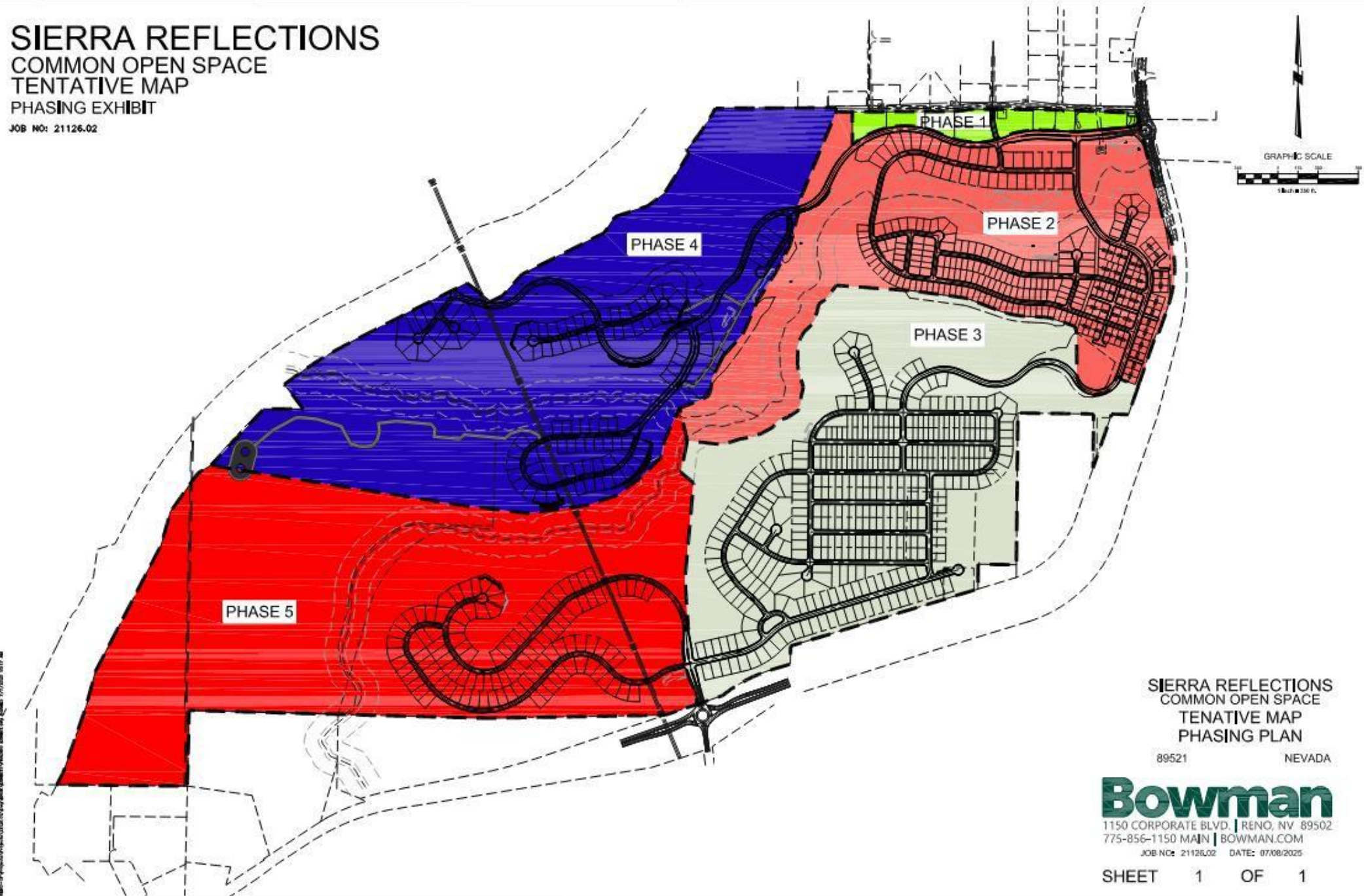
SIERRA REFLECTIONS

COMMON OPEN SPACE

TENTATIVE MAP

PHASING EXHIBIT

JOB NO: 21126.02



Lot and Park Phasing Table

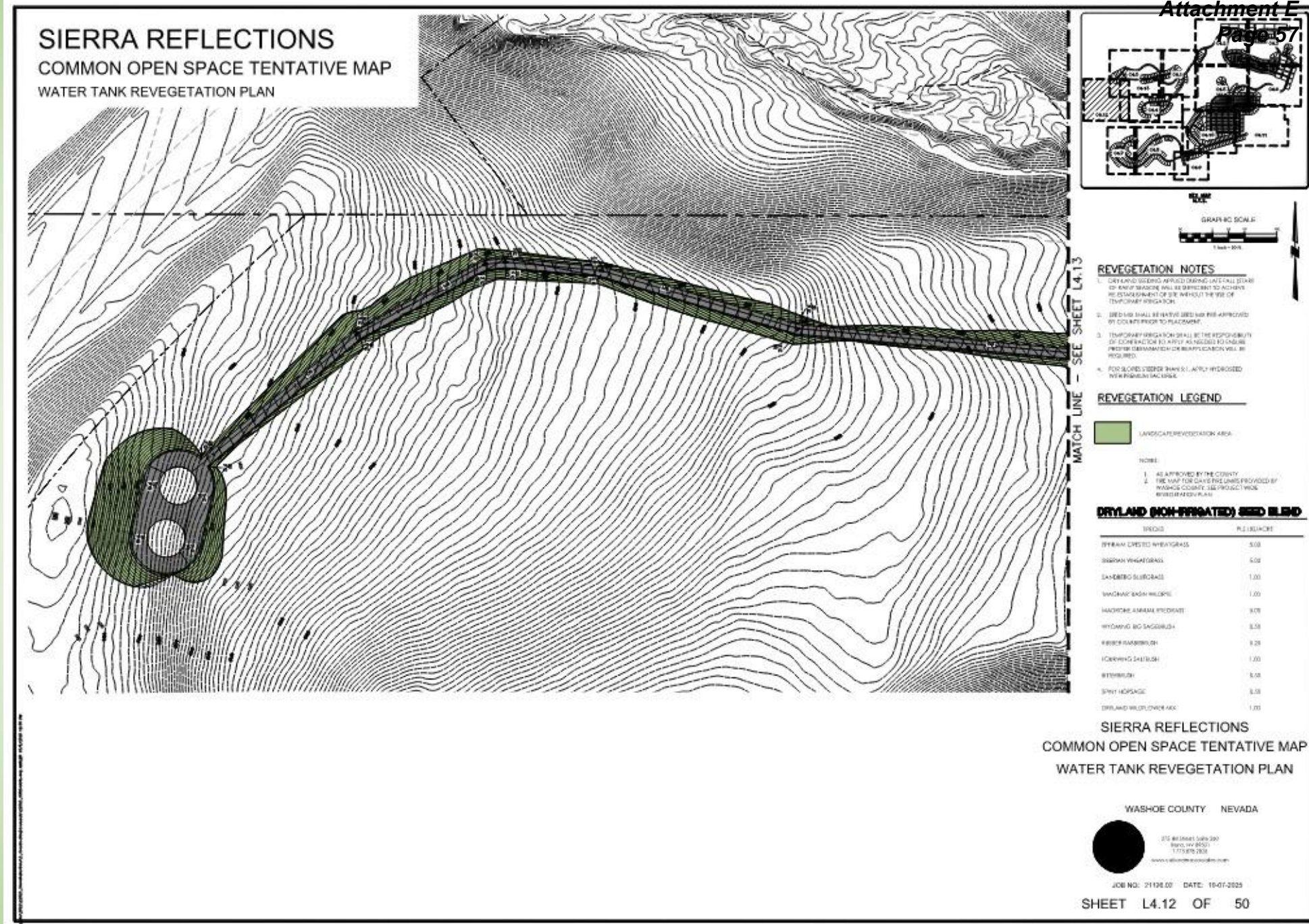
	Lots/Phase	Park Phasing
Phase 1	8 Lots	See Phase 2
Phase 2	304 Lots	Neighborhood Park 2 by 150 th C of O in Phases 1 & 2
Phase 3	409 Lots	Neighborhood Park 3 by 200 th C of O in Phase 3
Phase 4	104 Lots	Neighborhood Park 1 500 th C of O of entire project
Phase 5	115 Lots	No Parks in Phase 5 area
Total Lots	940 lots	

Trail Phasing

The phasing of trails is largely associated with the development of the phase for the lotting areas to the east of Steamboat Creek. However, it is understood that trail timing of trail construction is important and a significant benefit to the future residents of the project and all residents in the area, timing of trails on the west side of Steamboat Creek is tied to the number of certificates of occupancy. Suggested completion timing for these western trails is suggested to be at or before the 500th C of O of the overall subdivision. The suggested timing/phasing of parks and trails is provided on the Park and Trails Phasing plan, provided on the second page of Tab B.

SUP Slides

SUP (Water Tanks)



SUP (Water Tanks)

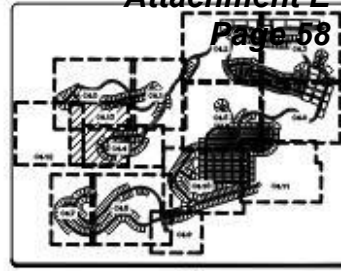
SIERRA REFLECTIONS COMMON OPEN SPACE TENTATIVE MAP WATER TANK REVEGETATION PLAN

MATCH LINE - SEE SHEET L4.12

MATCH LINE - SEE SHEET C4.0

Attachment E

Page 58



REVEGETATION NOTES

1. DRYLAND MIXING APPLIED DURING LATE FALL, START OF WINTER SEASON WILL BE SUFFICIENT TO ACHIEVE RE-ESTABLISHMENT OF SITE WITHIN THE USE OF REMAINING VEGETATION.
2. SEED USE SHALL BE NATURE FRIENDLY USE THE APPROVED SEED COUNTY PRIOR TO PLANTING.
3. EMPLOYER'S INSTRUCTIONS SHALL BE THE RESPONSIBILITY OF CONTRACTOR TO APPLY AS NEEDED TO INSURE PROPER ESTABLISHMENT OF REVEGETATION WILL BE REQUIRED.
4. FOR SLOPES STEEPER THAN 5:1 APPLY HYDROSEED WITH EROSION CONTROL.

REVEGETATION LEGEND

LANDSCAPE REVEGETATION AREA

- NOTES:
1. AS APPROVED BY THE COUNTY.
 2. THIS MAP FOR DRYLAND SEEDS PROVIDED BY WASHOE COUNTY. SEE PROJECT WTR REVEGETATION PLAN.

DRYLAND (NON-IRRIGATED) SEED BLEND

SEEDS	BLD. QUANTITY
STIMULANT CROPPED WHEATGRASS	2.00
STIMULANT WHEATGRASS	8.00
STIMULANT BLUEGRASS	1.00
STIMULANT BASH WHEATGRASS	1.00
STIMULANT ANNUAL PEGRAM	5.00
STIMULANT WHEATGRASS	0.50
STIMULANT BASH WHEATGRASS	0.25
STIMULANT BASH WHEATGRASS	1.00
STIMULANT BASH WHEATGRASS	0.50
STIMULANT BASH WHEATGRASS	0.50
STIMULANT BASH WHEATGRASS	1.00
STIMULANT BASH WHEATGRASS	0.50
STIMULANT BASH WHEATGRASS	0.50
STIMULANT BASH WHEATGRASS	1.00

SIERRA REFLECTIONS COMMON OPEN SPACE TENTATIVE MAP WATER TANK REVEGETATION PLAN

WASHOE COUNTY NEVADA

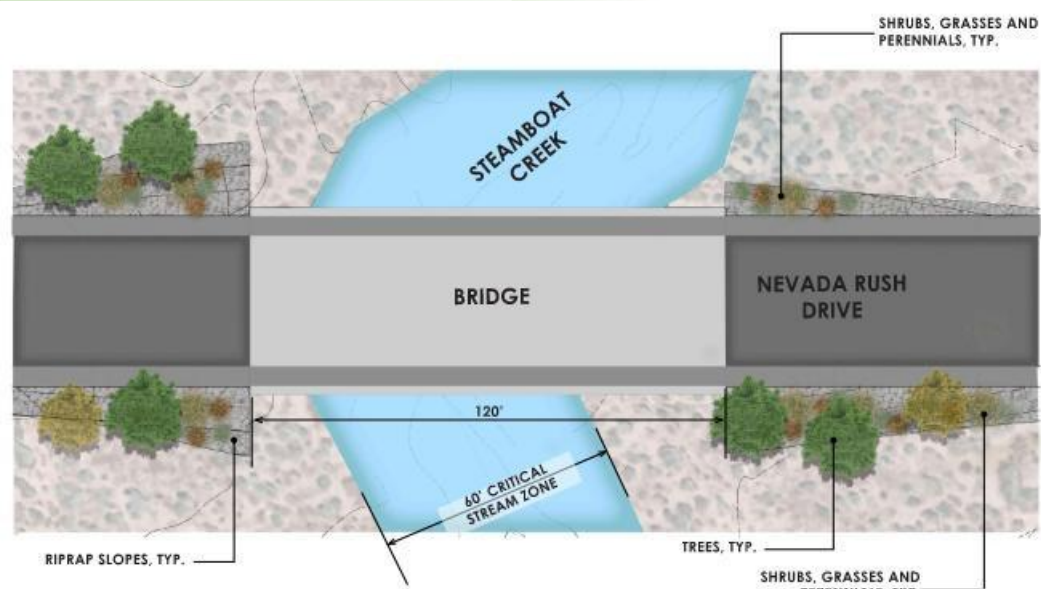
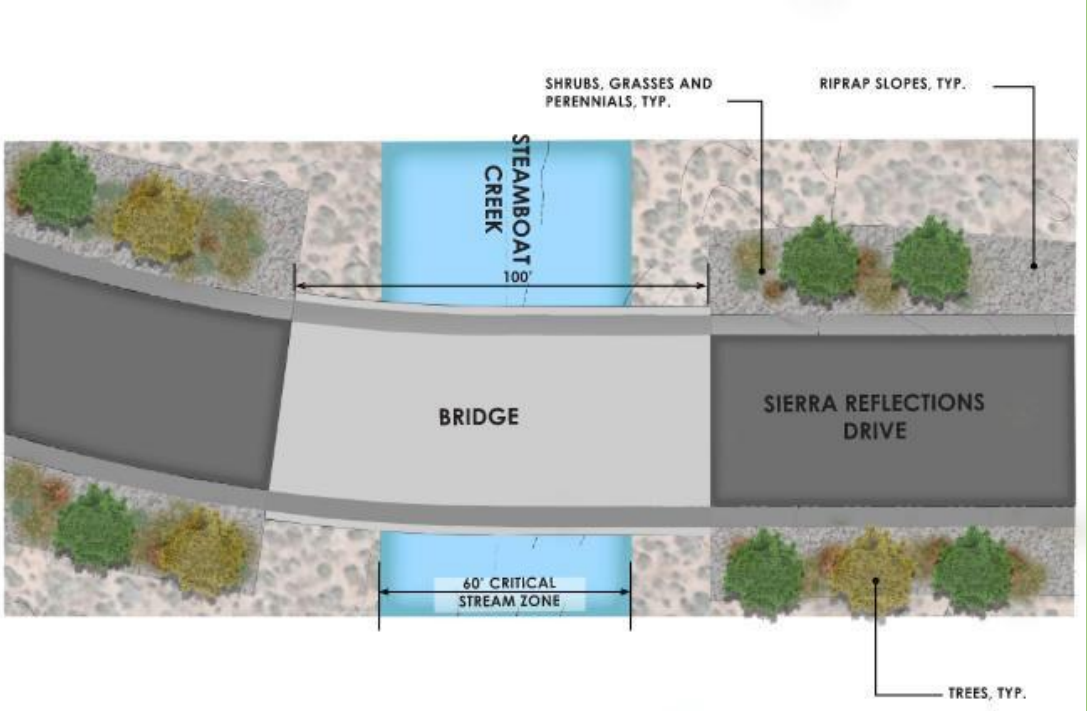
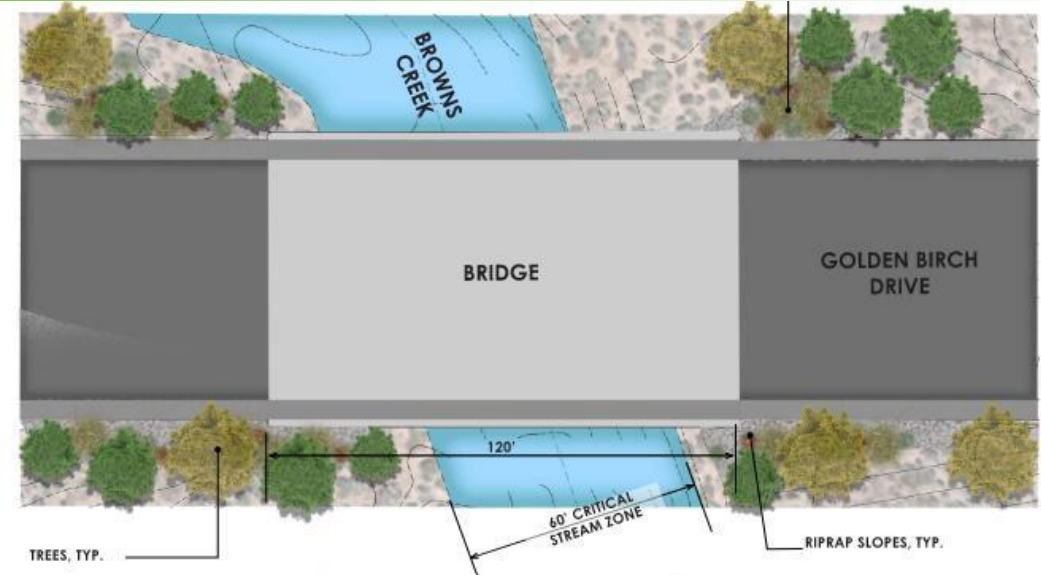


303 W. SHAW BLVD. SUITE 200
RENO, NV 89501
775.878.2800
www.sierrareflections.com

JOB NO: 21108.00 DATE: 15-07-2023

SHEET L4.13 OF 50

SUP (Bridge Crossings – Signif, Hydrologic Resources)



SUP (Lift Stations)

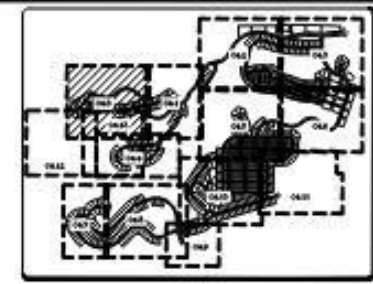


Grading Slides

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN



GRADING QUANTITIES

CUT: 8,000,000 SQ. FT.
FILL: 4,000,000 SQ. FT.
NEW ASPHALT ACI PAV.

EARTHWORK QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER-EXCAVATION, RE-USEABLE OVERSIDE, SURFPAVE OR EXISTING OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOLOGICAL INVESTIGATION AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

GRADING NOTES

1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO FEET OF BASES & SUBBASE MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PROPERLY MAINTAINED.

HATCHING LEGEND

OUT AREA
(REF. SEC. 6.2 OF DRAFT RFP)

RETENTIONAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT RFP)

SAMPLING LEGEND (BORINGS 0-4')

POUGHED FROM SURFACE PLAN
(REF. SEC. 6.2.2 OF DRAFT RFP FOR SAMPLING)
(REF. SEC. 6.2 OF DRAFT RFP FOR ACTION LEVELS)
YELLOW RECOVERING ACTION LEVEL OF 2.0 METER
(REF. SEC. 6.2.2 OF DRAFT RFP FOR SAMPLING)
(REF. SEC. 6.2 OF DRAFT RFP FOR ACTION LEVELS)
GREEN RECOVERING ACTION LEVEL OF 1.5 METER
(REF. SEC. 6.2.2 OF DRAFT RFP FOR SAMPLING)
(REF. SEC. 6.2 OF DRAFT RFP FOR ACTION LEVELS)
BLUE RECOVERING ACTION LEVEL OF 1.0 METER
(REF. SEC. 6.2.2 OF DRAFT RFP FOR SAMPLING)
(REF. SEC. 6.2 OF DRAFT RFP FOR ACTION LEVELS)
PINK RECOVERING ACTION LEVEL OF 0.5 METER
(REF. SEC. 6.2.2 OF DRAFT RFP FOR SAMPLING)
(REF. SEC. 6.2 OF DRAFT RFP FOR ACTION LEVELS)
SHADE LOCATIONS AND HEIGHTS
CONTAMINATED FILL PLACEMENT GUIDANCE UNIT

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

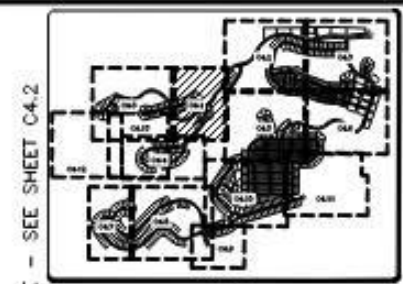
Bowman

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JOB NO. 21128.02 DATE: 11-05-2005

SHEET C4.0 OF 54

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN



MATCH LINE - SEE SHEET C4.2

MATCH LINE - SEE SHEET C4.5

GRAPHIC SCALE



1 inch = 50 ft.



GRADING NOTES

1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF ACCESS & EGRESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PROPERLY MAINTAINED.

HATCHING LEGEND

CUT AREA
(REF. SEC. 6.2 OF DRAFT MAP)

BENEFICIAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT RAP)

SAMPLING LEGEND (BORINGS 0-4')

RECEIVED FROM COMPANY PLAN (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) RECEIVED REVENUE, ACTION LEVEL OF 7.5 mg/m³ (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) ACTION REVENUE, ACTION LEVEL OF 7.5 mg/m³ (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) ACTION REVENUE, ACTION LEVEL OF 30 mg/m³ (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) RECEIVED FROM AIR DETAILS (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) COMPANIES WILL PAYMENT GUARANTEE LATE	RECEIVED FROM COMPANY PLAN (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) RECEIVED REVENUE, ACTION LEVEL OF 7.5 mg/m³ (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) ACTION REVENUE, ACTION LEVEL OF 7.5 mg/m³ (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) ACTION REVENUE, ACTION LEVEL OF 30 mg/m³ (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) RECEIVED FROM AIR DETAILS (NET DEC. 3.0 IN DRAFT PAY FOR COMPANY) (NET DEC. 0.0 IN DRAFT PAY FOR ACTION LEVEL) COMPANIES WILL PAYMENT GUARANTEE LATE
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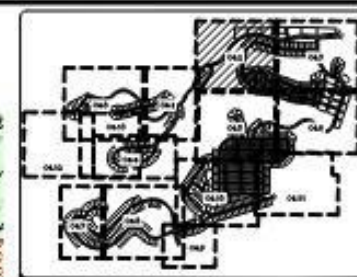
SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

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OR NO. 311.88.00 DATE: 11/04/2025

SHEET C4.1 OF 54



GRAPHIC: SCAM P



GRADING NOTES

1. CRUISED PAVE OF FUTURE CONSTRUCTION A MINIMUM OF TWO FEET OF ACCESS & EGRESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PROPERLY MAINTAINED.

HATCHING LEGEND

OUT AREA
(REF. SEC. 6.2 OF DRAFT RMP)

BENEFICIAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT RMP)

SAMPLING LEGEND (BORINGS 0-4')

[illegible]

SIERRA REFLECTIONS
MON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

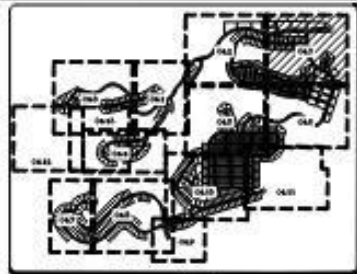
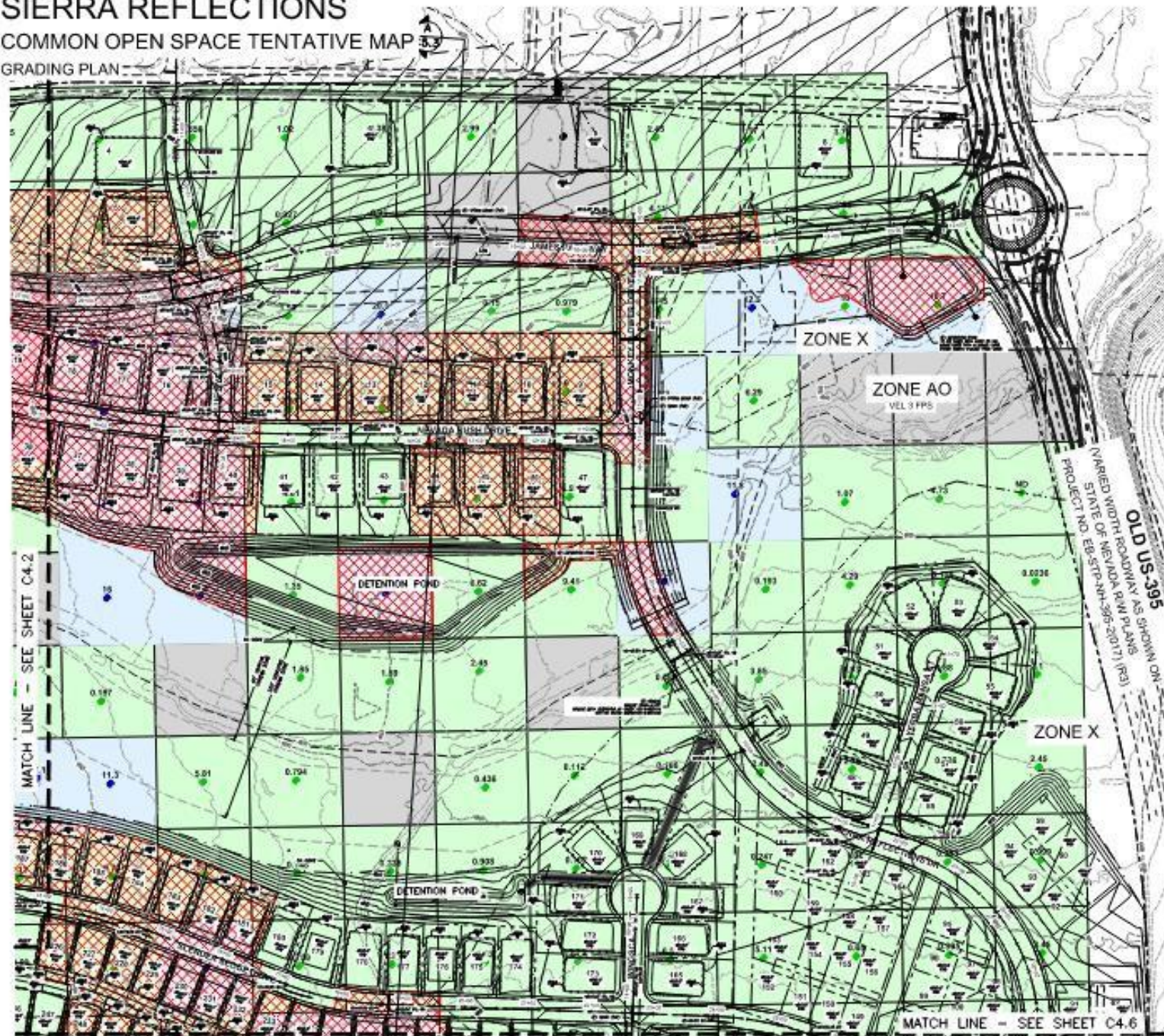
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JOB NO: 21128.02 DATE: 11-08-2025

SHEET C4.2 OF 54

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN



- GRADING NOTES**
1. ELEVATION TABLE OF EXISTING CONSTRUCTION A MINIMUM OF TWO POINTS OF INTEREST & DRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PROBABLY UNGRADED.

- HATCHING LEGEND**
- CUT AREA
(REF. SEC. 6.2 OF DRAFT R/W)
- BENEFICIAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT R/W)
- SAMPLING LEGEND (BORINGS 0-4')**
- REMOVED FROM EXISTING PLAN
REF. SEC. 6.2 OF DRAFT R/W FOR UNGRADED
REF. SEC. 6.3 OF DRAFT R/W FOR ACTION LEVEL
- BELLO INTERIOR ACTION LEVEL OF 7.5' depth
REF. SEC. 6.2 OF DRAFT R/W FOR UNGRADED
REF. SEC. 6.3 OF DRAFT R/W FOR ACTION LEVEL
- BELLO INTERIOR ACTION LEVEL OF 7.5' depth
REF. SEC. 6.2 OF DRAFT R/W FOR UNGRADED
REF. SEC. 6.3 OF DRAFT R/W FOR ACTION LEVEL
- BELLO INTERIOR ACTION LEVEL OF 7.5' depth
REF. SEC. 6.2 OF DRAFT R/W FOR UNGRADED
REF. SEC. 6.3 OF DRAFT R/W FOR ACTION LEVEL
- BELLO INTERIOR ACTION LEVEL OF 7.5' depth
REF. SEC. 6.2 OF DRAFT R/W FOR UNGRADED
REF. SEC. 6.3 OF DRAFT R/W FOR ACTION LEVEL
- CHANGE (LOCATION AND AREA)
UNGRADED FILL PLACEMENT SUGGEST LINE

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN

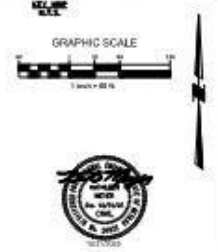
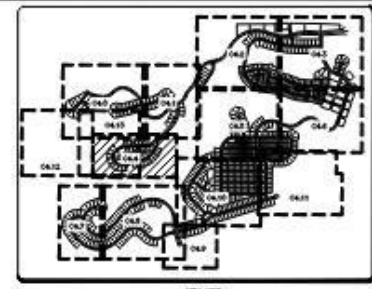
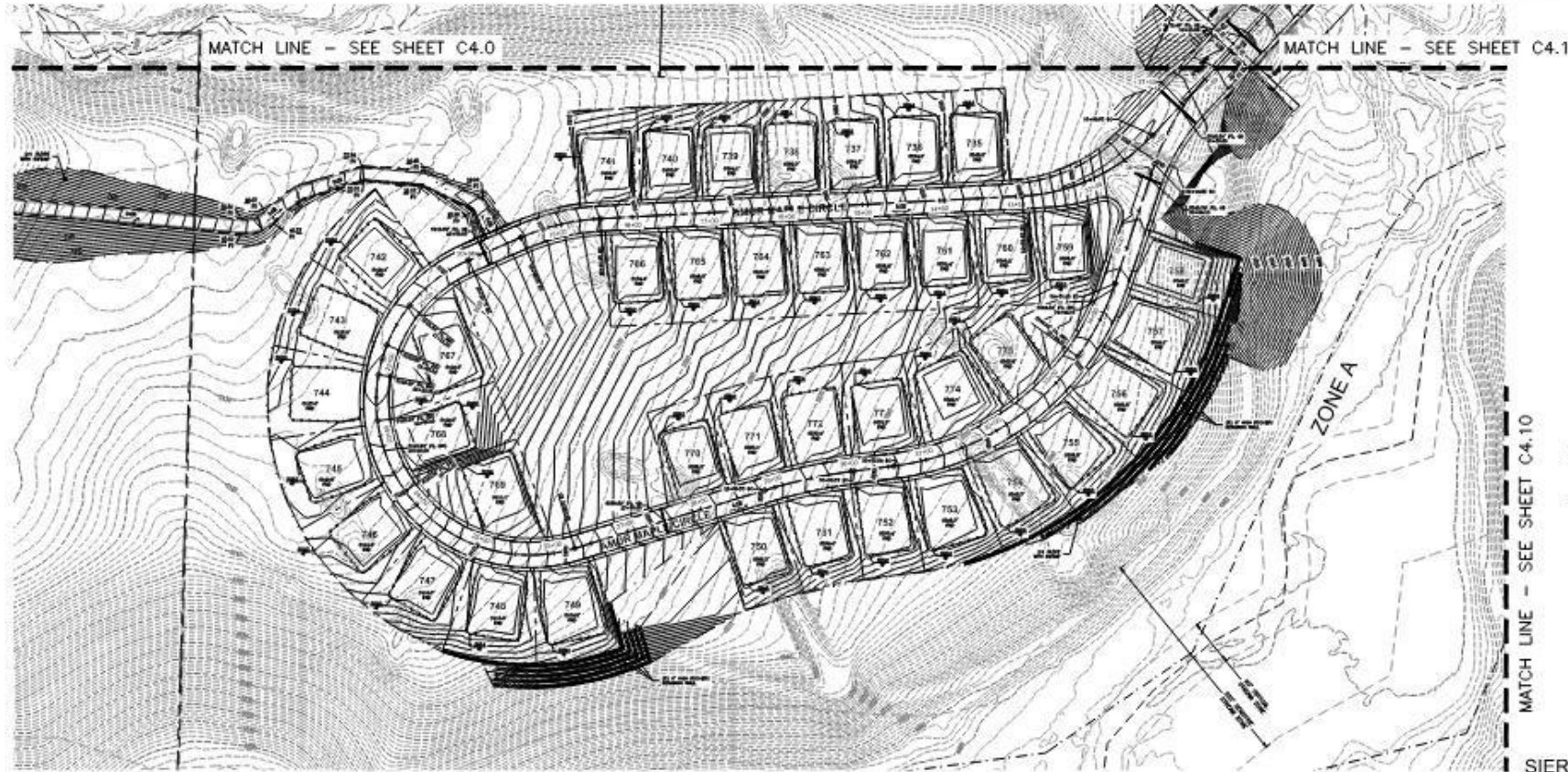
WASHOE COUNTY NEVADA

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JOB NO. 21126.02 DATE: 11-08-2025

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN



- GRADING NOTES**
1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF INGRESS & EGRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PERMANENTLY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

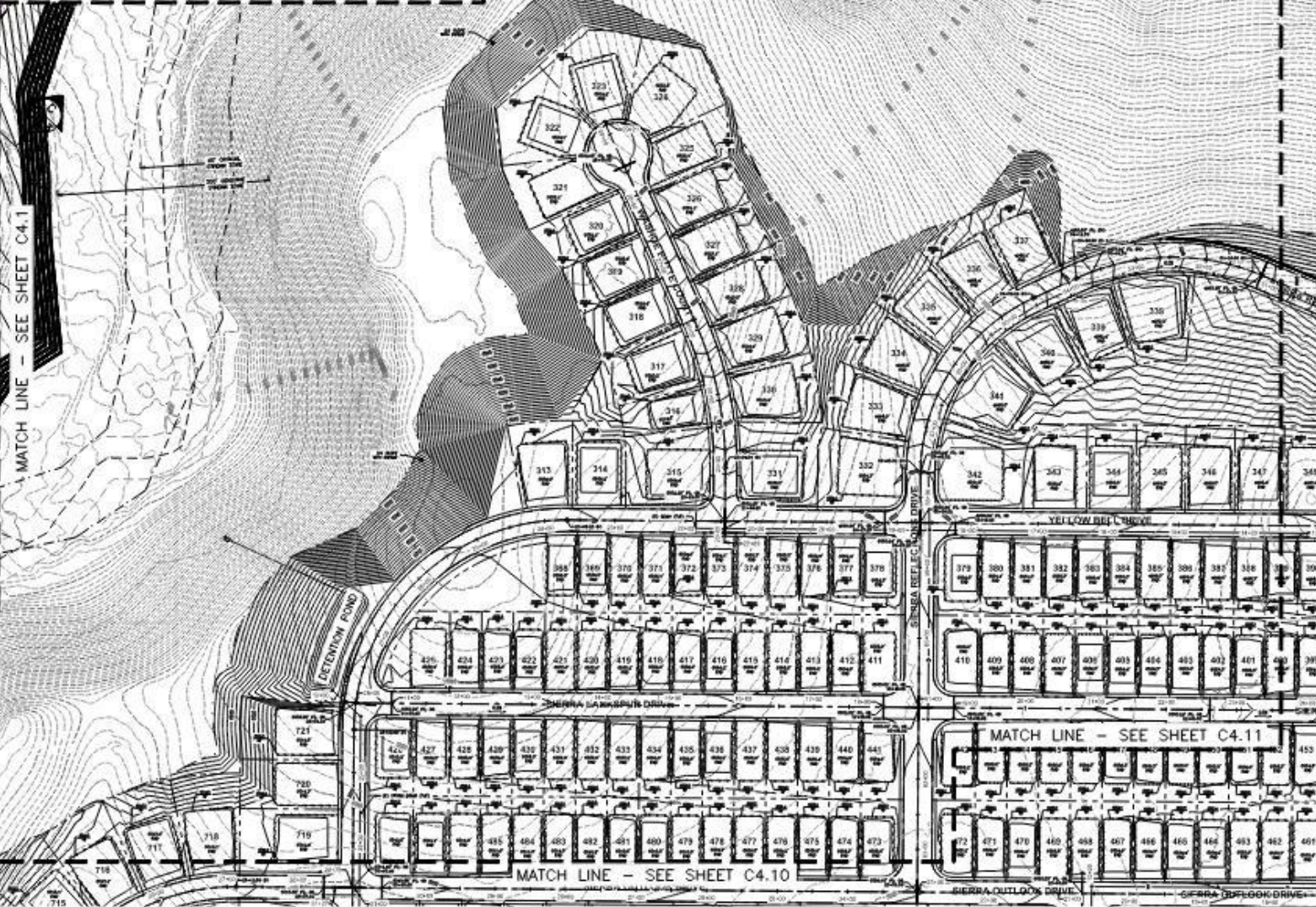
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JOB NO: 21126-02 DATE: 11-08-2025

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

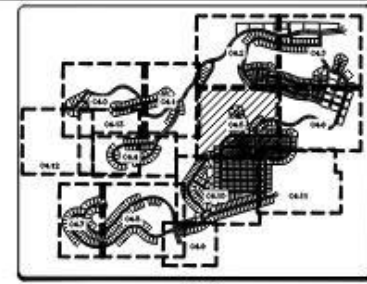
GRADING PLAN

MATCH LINE - SEE SHEET C4.2



MATCH LINE - SEE SHEET C4.1

MATCH LINE - SEE SHEET C4.6



GRADING NOTES

1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF EGRESS & EXCESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PERMANENTLY MAINTAINED.

HATCHING LEGEND

CUT AREA
(REF. SEC. 6.2 OF DRAFT RAP)

BENEFICIAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT RAP)

SAMPLING LEGEND (BORINGS 0-4')

- REMOVED FROM SAMPLING PLAN
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.8 IN DRAFT RAP FOR ACTION LEVELS)
- BELOW RESIDUAL ACTION LEVEL OF 7.1 m/ft
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.8 IN DRAFT RAP FOR ACTION LEVELS)
- Above RESIDUAL ACTION LEVEL OF 7.1 m/ft
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.8 IN DRAFT RAP FOR ACTION LEVELS)
- Above COMBINED ACTION LEVEL OF 30 m/ft
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.8 IN DRAFT RAP FOR ACTION LEVELS)
- SAMPLE LOCATION AND RESULT
CONTAMINATED FILL PLACEMENT GUIDANCE LINE

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN

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JOB NO. 21126.02 DATE: 11-06-2023

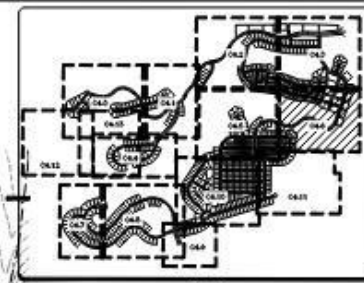
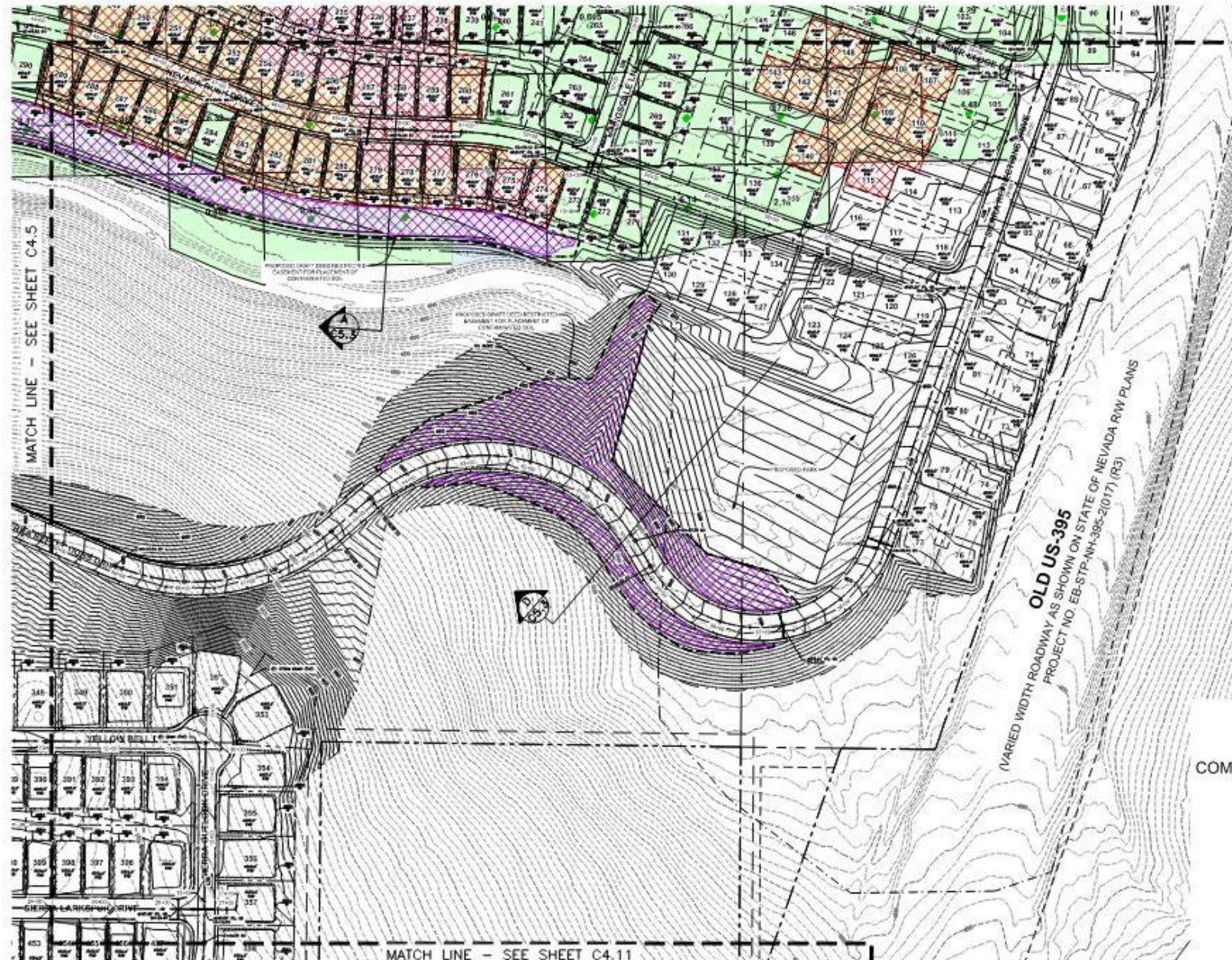
SHEET C4.5 OF 54

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN

MATCH LINE - SEE SHEET C4.3



GRADING NOTES

1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF INGRESS & EGRESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

HATCHING LEGEND

CUT AREA
(REF. SEC. 6.2 OF DRAFT RAP)

BENEFICIAL REUSE AREA
(REF. SEC. 6.3 OF DRAFT RAP)

SAMPLING LEGEND (BORINGS 0-4')

- REMOVED FROM SAMPLING PLAN
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.0 IN DRAFT RAP FOR ACTION LEVELS)
- BELOW RESIDENTIAL ACTION LEVEL OF 7.1 mg/kg
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.0 IN DRAFT RAP FOR ACTION LEVELS)
- ABOVE RESIDENTIAL ACTION LEVEL OF 7.1 mg/kg
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.0 IN DRAFT RAP FOR ACTION LEVELS)
- ABOVE COMMERCIAL ACTION LEVEL OF 30 mg/kg
(REF. SEC. 2.5.5 IN DRAFT RAP FOR SAMPLING)
(REF. SEC. 5.0 IN DRAFT RAP FOR ACTION LEVELS)
- SAMPLE LOCATION AND RESULT
- CONFIRMED FILL PLACEMENT EXISTENCE LINE

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

Bowman

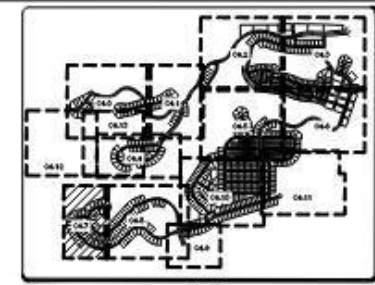
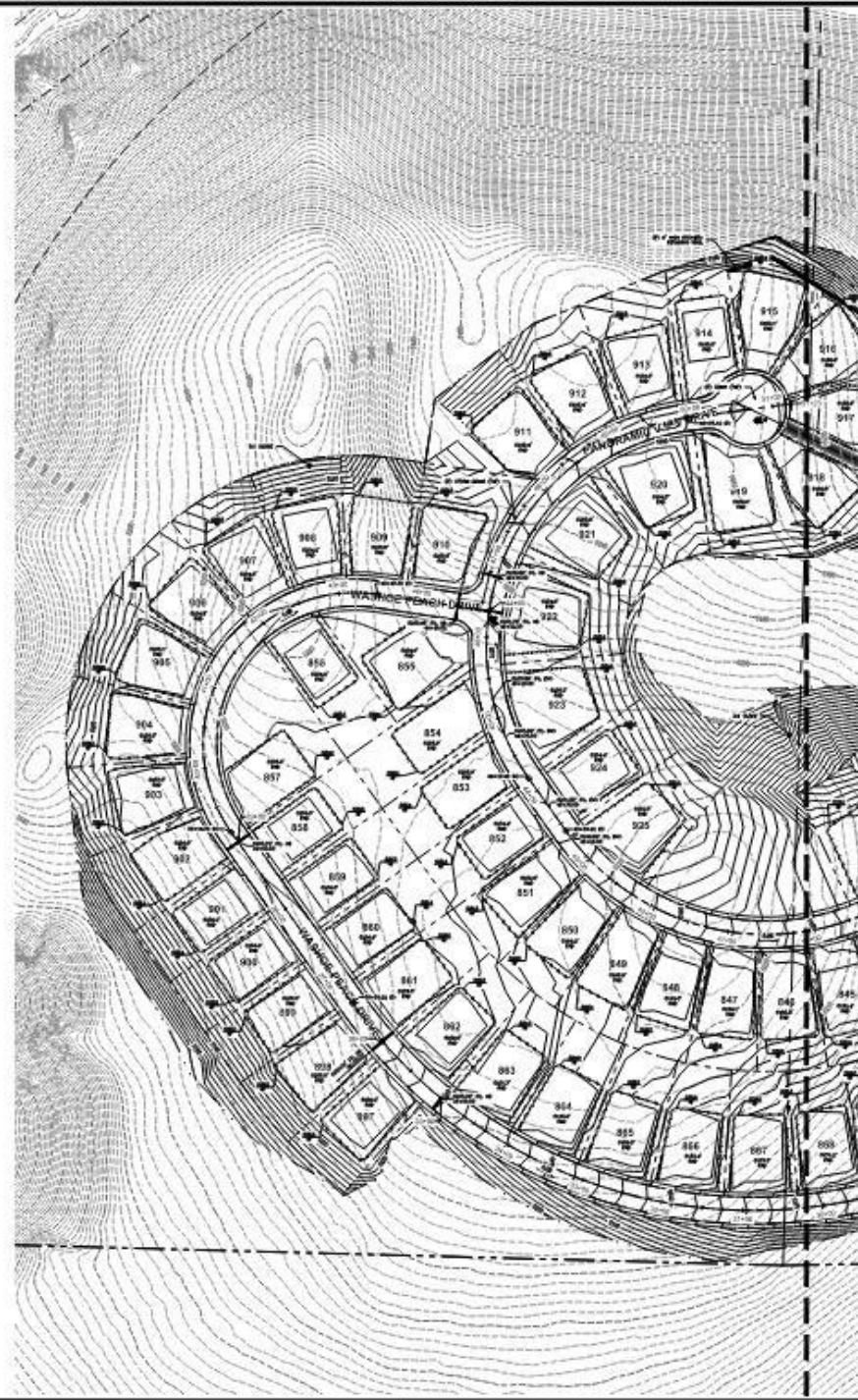
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JOB NO. 21126-02 DATE: 11-06-2025

SHEET C4.6 OF 54

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN



GRADING NOTES

1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF SURVEY & EGRESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

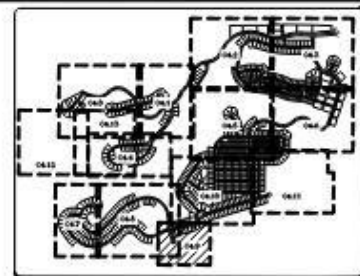
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JOB NO: 21126-02 DATE: 11-06-2025

SHEET C4.7 OF 54



SEX: MALE

GRAPHIC SCALE



GRADING NOTES

1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF ingress & egress MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

Bowman

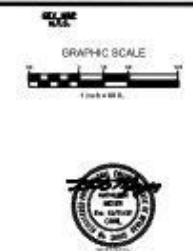
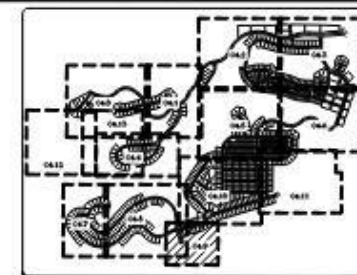
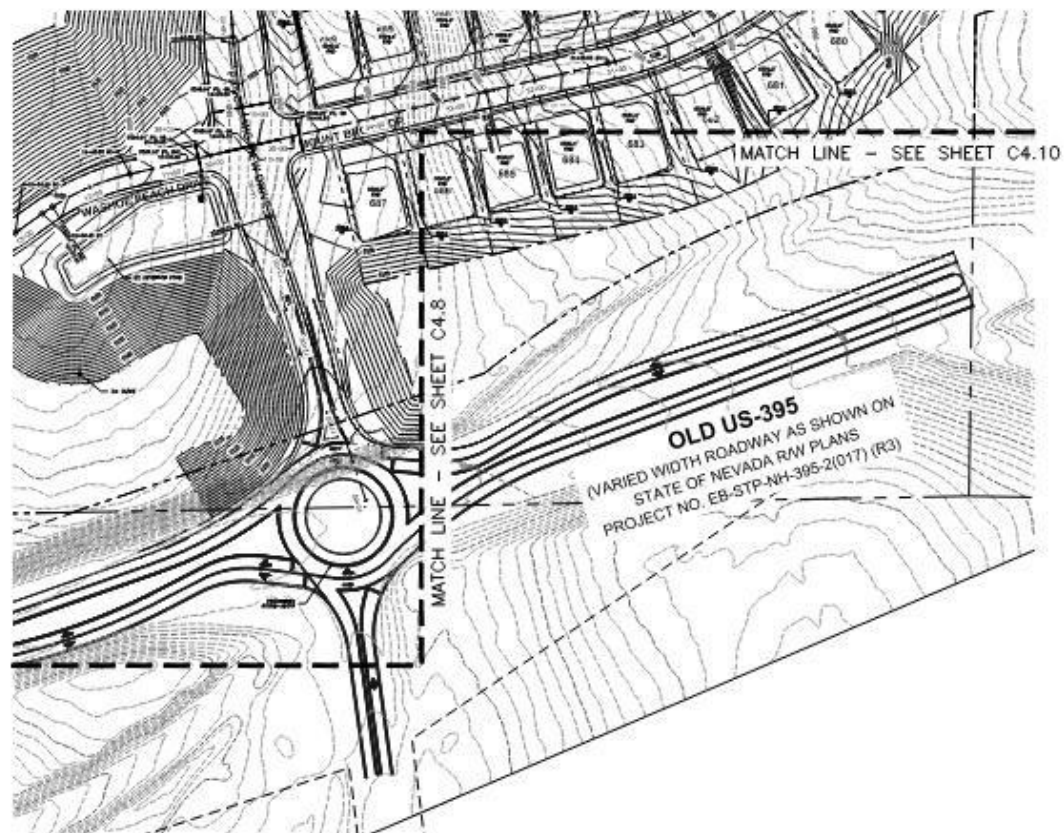
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JCR NO: 21126103 DATE: 11-06-2025

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN



- GRADING NOTES**
1. DURING TIME OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF ACCESS TO EGRESS MUST BE PRESENT AT ALL TIMES.
 2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

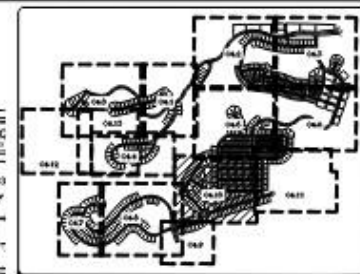
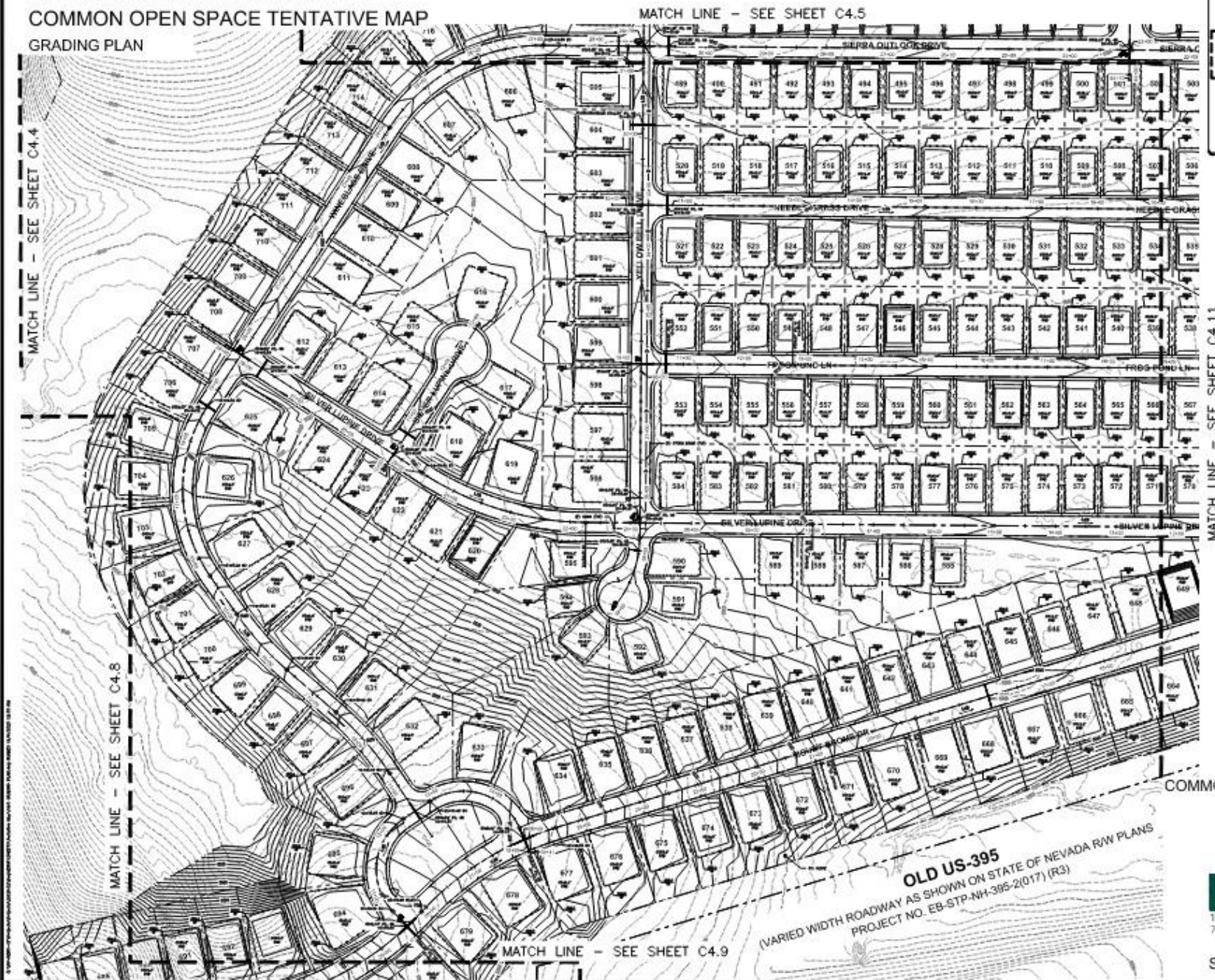
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JOB NO. 21126.02 DATE: 11-06-2025

SHEET C4.9 OF 54

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN



GRADING NOTES

1. DURING THE OF FUTURE CONSTRUCTION A VERIFICATION OF TWO POINTS OF INTEREST & EGRESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PERMANENTLY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

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JOB NO: 21120-02 DATE: 11-09-2025

SHEET C4.10 OF 54

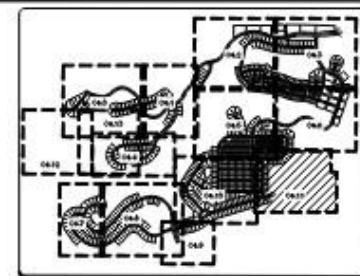
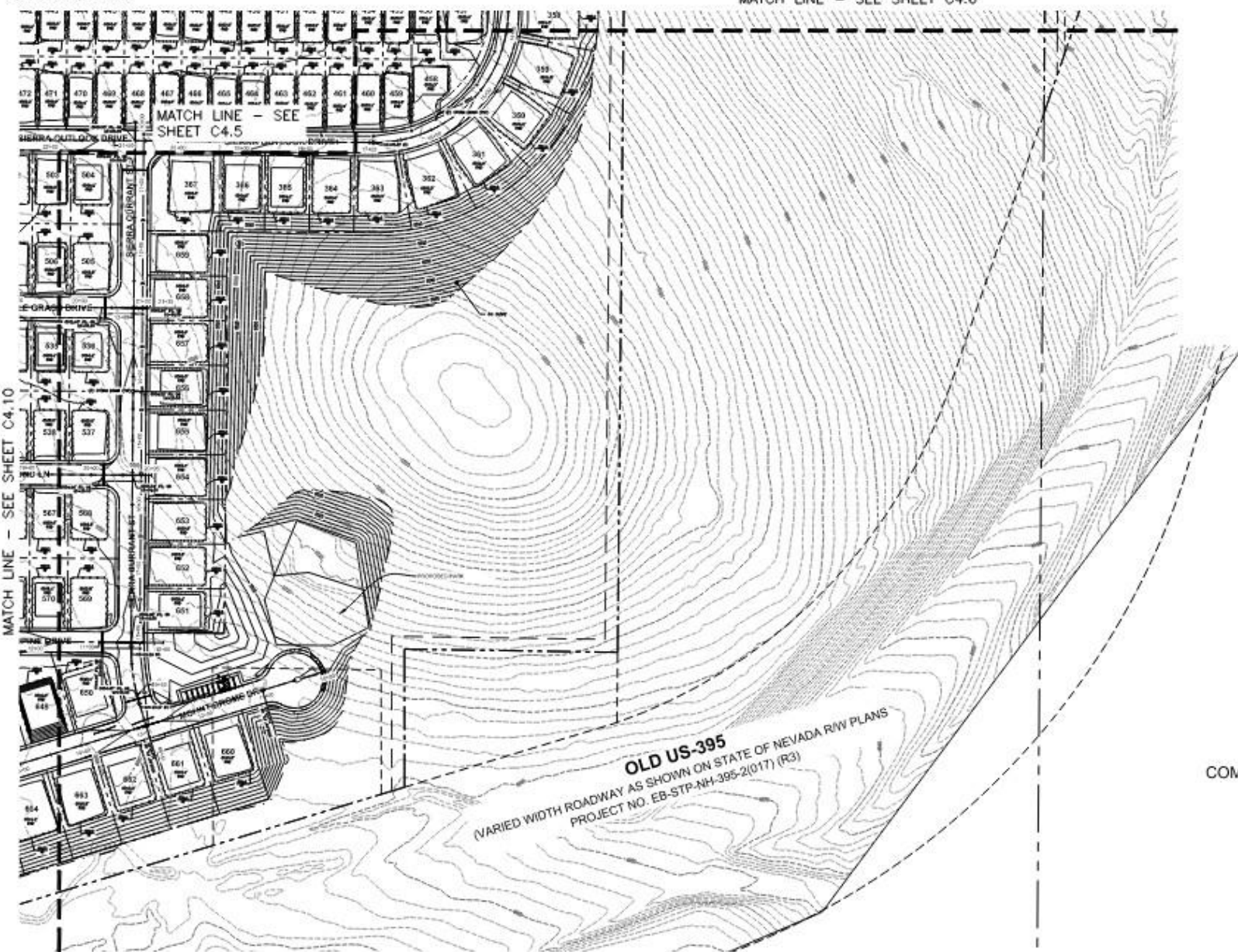
OLD US-395

(VARIED WIDTH ROADWAY AS SHOWN ON STATE OF NEVADA R/W PLANS
PROJECT NO. EB-STP-NH-395-2(017) (R3)

SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

GRADING PLAN



SEE SHEET C4.5

GRAPHIC SCALE
1 inch = 50 ft.



GRADING NOTES

1. DURING THE OF FUTURE CONSTRUCTION A MINIMUM OF TWO POINTS OF ACCESS & EGRESS MUST BE PRESENT AT ALL TIMES.
2. ALL RETAINING WALLS ARE TO BE PRIVATELY MAINTAINED.

SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
GRADING PLAN

WASHOE COUNTY NEVADA

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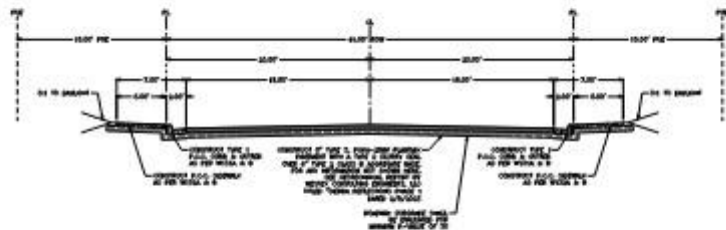
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SHEET C4.11 OF 54

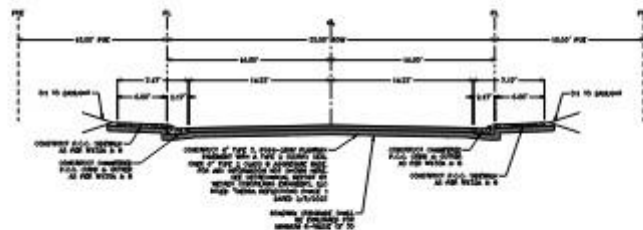
SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

DETAILS



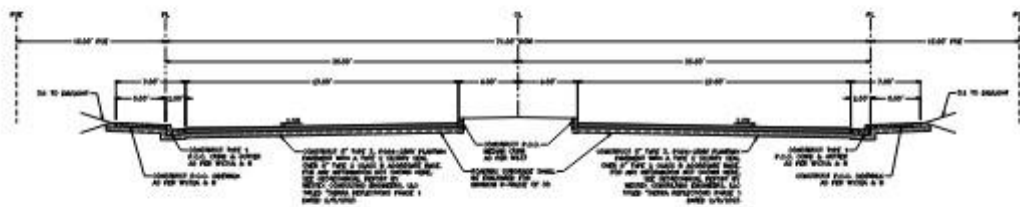
1 41' STREET ROW SECTION
SCALE: 1" = 5'



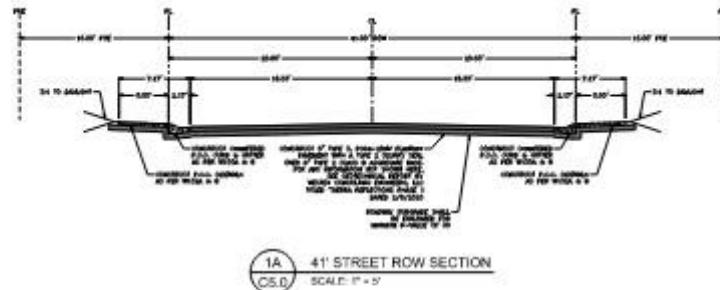
2 33' STREET ROW SECTION
SCALE: 1" = 5'



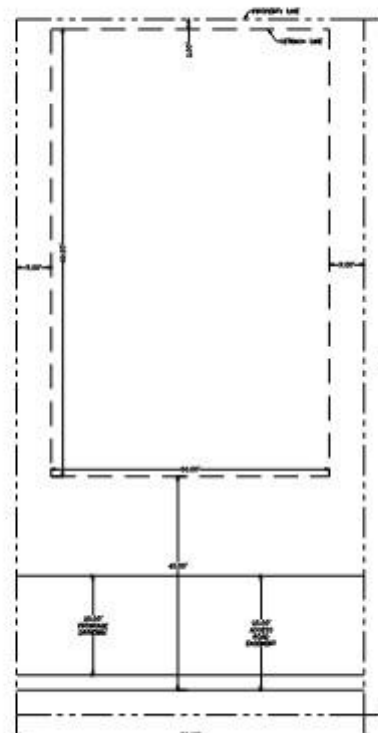
3 ACCESS ROAD
SCALE: 1" = 5'



4 71' STREET ROW SECTION
SCALE: 1" = 5'



1A 41' STREET ROW SECTION
SCALE: 1" = 5'



6 70 x 140 TYP. LOT
SCALE: 1" = 10'

LOT SETBACK NOTE
ONE ACRE LOT SETBACK DETAIL NOT SHOWN FOR CLARITY. ALL ONE ACRE LOTS WILL FOLLOW SETBACK REQUIREMENTS OUTLINED IN THE WASHOE COUNTY DEVELOPMENT CODE FOR LDC (LOW DENSITY SUBURBAN).



SIERRA REFLECTIONS
COMMON OPEN SPACE TENTATIVE MAP
DETAILS

WASHOE COUNTY NEVADA

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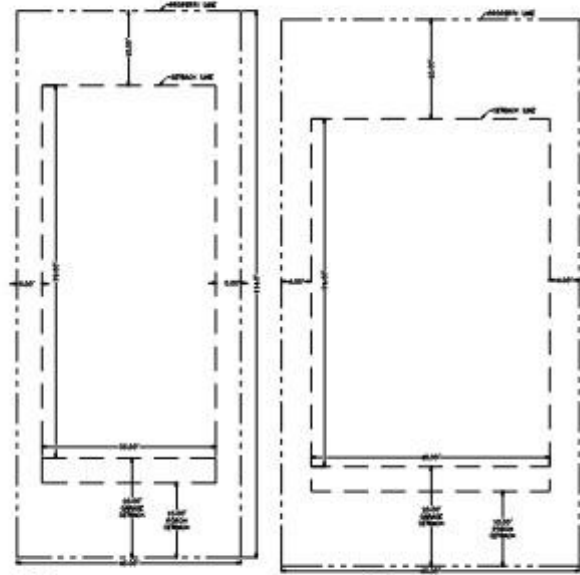
JOB NO: 21126.00 DATE: 11-05-2023

SHEET C5.0 OF 54

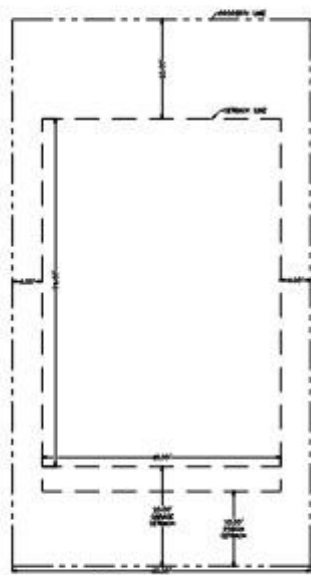
SIERRA REFLECTIONS

COMMON OPEN SPACE TENTATIVE MAP

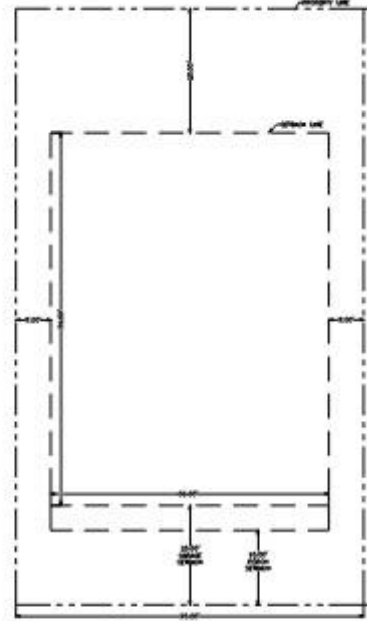
DETAILS



1 45 x 114.5 TYP. LOT
SCALE: 1" = 10'



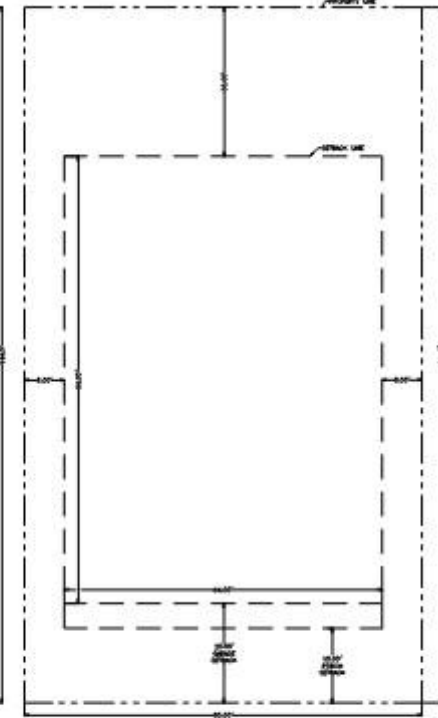
3 60 x 114.5 TYP. LOT
SCALE: 1" = 10'



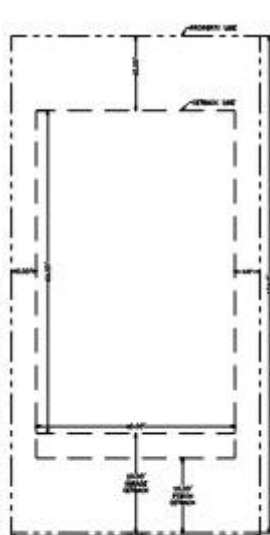
5 70 x 124.5 TYP. LOT
SCALE: 1" = 10'



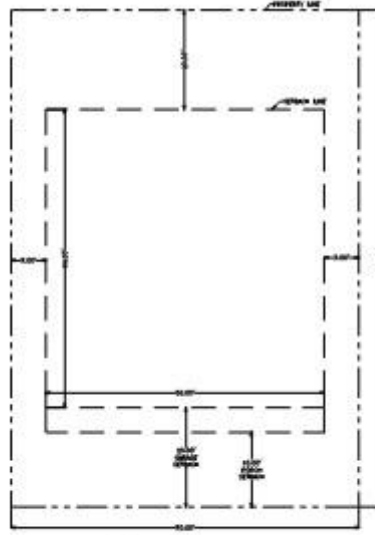
7 70 x 144.5 TYP. LOT
SCALE: 1" = 10'



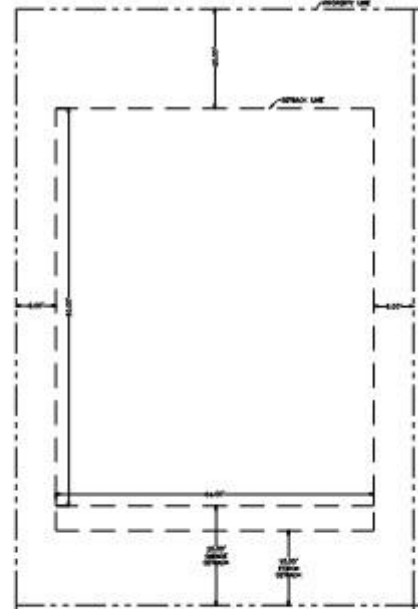
8 80 x 144.5 TYP. LOT
SCALE: 1" = 10'



2 50 x 104.5 TYP. LOT
SCALE: 1" = 10'



4 70 x 104.5 TYP. LOT
SCALE: 1" = 10'



6 80 x 124.5 TYP. LOT
SCALE: 1" = 10'

LOT SETBACK NOTE

ONE ACRE LOT SETBACK DETAIL NOT SHOWN FOR CLARITY, ALL ONE ACRE LOTS WILL FOLLOW SETBACK REQUIREMENTS OUTLINED IN THE WASHOE COUNTY DEVELOPMENT CODE FOR LDC (LOW DENSITY SUBURBAN).



SIERRA REFLECTIONS COMMON OPEN SPACE TENTATIVE MAP DETAILS

WASHOE COUNTY, NEVADA

Bowman

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JOB NO.: 21126.00 DATE: 11-05-2025

SHEET C5.1 OF 54

Cut and Fill Exhibit

ELEVATIONS TABLE				
NUMBER	MINIMUM ELEV. FT	MAXIMUM ELEV. FT	AREA SF	COLOR
1	-56.81	-60.00	36603.85	Dark Red
2	-60.00	-50.00	116833.19	Red
3	-50.00	-40.00	219566.41	Light Red
4	-40.00	-30.00	482645.78	Very Light Red
5	-30.00	-20.00	991380.35	Light Pink
6	-20.00	-10.00	1162460.76	Light Purple
7	-10.00	0.00	2465268.15	Green
8	0.00	10.00	5544913.67	Cyan
9	10.00	20.00	2409865.31	Light Blue
10	20.00	30.00	469838.47	Medium Blue
11	30.00	40.00	243707.58	Dark Blue
12	40.00	50.00	151200.33	Very Dark Blue
13	50.00	60.00	108485.15	Purple
14	60.00	67.11	17246.26	Dark Purple

