

**MAINTENANCE AND CONSTRUCTION AGREEMENT FOR THE
GALENA TERRACE PARK**

This Maintenance and Construction Agreement is made and entered into this _____ day of _____, 2018, by and between Washoe County, a political subdivision of the State of Nevada, acting by and through its Community Services Department, hereafter called "County" and Galena Terrace Maintenance Association, Inc. a Nevada Domestic Nonprofit Corporation ("Galena Terrace Maintenance Association"). In consideration of the terms and conditions hereof, the parties agree as follows:

WITNESSETH:

Galena Terrace Maintenance Association is the current owner of real property located in Washoe County, Nevada, known as Parcel "A" within Galena Terrace Unit 10 subdivision map (FM No. 3712, currently Assessor's Parcel Number 144-180-01) and described in Exhibit "A" attached hereto and incorporated herein by reference ("Galena Terrace Park");

Nevada Revised Statutes NRS 278.4983 is a law relating to the residential construction tax (the "RCT"), providing the manner for its imposition, establishing its use and setting its rate at one percent (1%) of the valuation of each building permit issued, or \$1,000 per residential dwelling unit or mobile home, whichever is less, and providing other matters properly relating thereto;

Washoe County, has adopted by ordinance a residential construction tax, Washoe County Code Sections 20.435 to 20.467 pursuant to NRS 278.4983, to impose a tax upon the construction of apartment houses, residential dwelling units and mobile-home lots, as well as a method for its collection. The Project will be funded entirely by RCT, as compliant with Nevada Revised Statutes;

Washoe County has collected RCT funds from the development of the Galena Terrace Subdivision, located within Park District 1C. for the development of the real property as a park;

Galena Terrace Maintenance Association, is to assume the maintenance and liability of Galena Terrace Park, while County agrees to contribute staff and funding from RCT to plan, develop and construct Galena Terrace Park;

The parties agree on the following terms and conditions:

1. CONSTRUCTION

- 1.1 The County shall solicit competitive bids for the construction of Galena Terrace Park compliant with Nevada Revised Statutes. The County intends to award the bid to the lowest responsive, complete and qualified bidder. Once the bids are received and certified, they will be presented to the Board of County Commissioners for consideration and possible approval.
- 1.2 The County shall be responsible for executing a separate construction agreement with the awarded bidder. All contractors hired for the purposes of constructing the Project shall meet the standard County indemnification and insurance requirements, including the addition of GTMA and Washoe County as named as additional insured and provide waiver of subrogation and shall provide proof to parties of said coverage prior to the beginning of any construction. The contract shall include proper protections for fencing, fire prevention, accidents, and dust control.
- 1.3 Park equipment should be placed based upon standards set by the U.S. Consumer Product Safety Commission and constructed to manufacturers' specifications.
- 1.4 Either party may at any time enter upon Galena Terrace Park during construction to inspect construction progress. In any event, GTMA shall be notified before the irrigation system is covered and shall be afforded an opportunity to inspect it.
- 1.5 The contractor, with the assistance of design professional, shall provide reproducible as-built drawings at the completion of construction and prior to final payment. One hard copy and one electronic copy of the as-builts will be provided to GTMA.
- 1.6 In the event any of the obligations identified above or the contracts do not have proper protections against liability for fire, accidents, dust control, etc., Galena Terrace Maintenance Association may provide written notice of such failure and County shall have ten (10) days to respond. The Parties shall work in good faith to resolve any issues.

2. MAINTENANCE

Galena Terrace Maintenance Association will maintain the Galena Terrace Park by providing the labor, equipment and materials to properly maintain the park as follows:

- 2.1 Irrigation systems shall be adequately maintained on a year round basis to ensure proper operation and efficient irrigation to turf, trees and shrubs.
- 2.2 Landscape maintenance, mowing, fertilization, watering, and aeration will be performed on a regular and routine maintenance schedule in accordance with the level of service standards as attached as Exhibit C.
- 2.3 Galena Terrace Maintenance Association will pick up all litter, debris and trash from park and empty trash cans (if in place) at a minimum of once per week during the term of this agreement.
- 2.4 Maintenance does include replacement of all improvements related to the construction of Galena Terrace Park and further identified in Exhibit B
- 2.5 Galena Terrace Maintenance Association will maintain the sidewalk on County owned parcel 144-150-01.
- 2.6 Damage and Vandalism to Park. Replacement or repair of damage of the improvements within Exhibit "B" shall be the sole responsibility of the Galena Terrace Maintenance Association. Galena Terrace Maintenance Association, at its sole cost and expense, shall secure and maintain fire and all risk insurance for all property located at Galena Terrace Park. Galena Terrace Maintenance Association shall also secure and maintain a policy of Comprehensive General Liability coverage, in an amount of not less than \$1,000.00 per occurrence, and at least \$2,000,000 annual aggregate.
- 2.7 Right of Entry. Galena Terrace Maintenance Association grants Washoe County the right to enter upon the premises in order to perform visual inspections of the park for purposes of upholding the maintenance standards outlined within this contract. County shall hold harmless, indemnify, and defend Galena Terrace Maintenance Association from and against any and all claims, demands, and losses of Galena Terrace Maintenance Association and third parties arising out of or related to the Right of Entry granted to County for the purposes of inspecting the Park, hereof resulting from actions of County or any consultants, contractors, subcontractor, or others under County direction or control. Under no circumstances shall the County have any responsibility for any claims, demands, and losses resulting from any action or lack of action by Galena Terrace Maintenance Association.

3. MISCELLANEOUS PROVISIONS

- 3.1 Time is of the essence of this Agreement.
- 3.2 Any notices, requests or instructions deemed by either Party to be given to the other shall be given in writing and are to be mailed by certified mail with return receipt requested, as follows:

Galena Terrace Maintenance Association
C/O Association Sierra North
10509 Professional Circle Ste 200
Reno, NV 89521

With a copy to:

Gayle A. Kern, Esq.
Leach Kern Gruchow Anderson Song
5421 Kietzke Lane, Suite 200
Reno, NV 89511

Washoe County -CSD
Attention: Operations Division Director
P. O. Box 11130
Reno, Nevada 89520

- 3.3 Except as otherwise set forth herein, service of any notice or demand made by mail shall be deemed completed on the day of actual delivery or upon personal delivery.
- 3.4 This Agreement shall be construed and enforced in accordance with the laws of the State of Nevada and venue for any such action shall be in Washoe County, Nevada. In the event that there is a dispute concerning this Agreement, neither party will reimburse the other party its attorney's fees or costs.
- 3.5 This Agreement may not be modified, amended, altered or changed in any respect whatsoever except by further agreement in writing, duly executed by the parties.
- 3.6 This Agreement shall be binding upon and inure to the benefit of the parties hereto, and their respective successors, subcontractors, personal representatives, and assigns.

- 3.7 All periods of time referred to in this Agreement shall include all Saturdays, Sundays, and state or national holidays, unless the period of time specifies business days, provided that if the date to perform any act or give any notice with respect to this Agreement shall fall on a Saturday, Sunday, or state or national holiday, such act or notice may be timely performed or given on the next succeeding day which is not a Saturday, Sunday, or state or national holiday.
- 3.8 The parties hereto acknowledge and agree that each has been given the opportunity to review this Agreement with legal counsel independently, and/or has the requisite experience and sophistication to understand, interpret, and agree to the particular language of the provisions hereof. The parties have equal bargaining power and intend the plain meaning of the provisions herein. In the event of an ambiguity in or dispute regarding interpretation of terms, the interpretation of this Agreement shall not be resolved by any rule of interpretation providing for interpretation against the party who causes the uncertainty to exist or against the draftsman.
- 3.9 Each party shall indemnify, hold harmless and defend, not excluding the other's right to participate, the other party from and against all liability, claims, actions, damages, losses, and expenses, including but not limited to reasonable attorneys' fees and costs, arising out of any alleged negligent or willful acts or omissions of the indemnifying party, its officers, employees and agents. Such obligation shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any party or person described in this paragraph.
- Washoe County will not waive and intends to assert available NRS chapter 41 liability limitations in all cases. Contract liability of both parties shall not be subject to punitive damages.
- 3.10 The parties recognize that upon completion of the Project, the Property will become a public park and shall remain open to all members of the public. Any reservations of the park are to be made through the GTMA and noticed on the site 48 hours prior the event taking place.

4. TERM

Regular maintenance shall occur on a reasonable basis on a schedule as determined by the Association and included within Exhibit C. GTMA shall maintain the Project on the Property in perpetuity, and ensure the Property is open and available for the general public and compliant with Nevada Revised Statutes.

5. WARRANTY

GTMA shall receive full and complete warranties from the construction contractors, equipment manufacturers, architects, consultants, any service or material provider, on the Park Project. Such warranties shall be implied and written and no waiver of any warranty shall be agreed to in any contract with any provider.

6. PROPERTY TAX LIABILITY

There shall be no property taxes assessed on the Park Property pursuant to NRS 361.233.

7. WASHOE COUNTY DRAINAGE PIPES/CULVERTS UNDER PARK PROPERTY

The County shall ensure reasonable maintenance of all drainage easements held on, adjacent to, or under the Park Property.

8. ENTIRETY OF THE AGREEMENT

This Agreement for the Galena Terrace Park contains the entire agreement between the parties hereto and supersedes any and all prior agreements, arrangements or understandings regarding the same subject matter as this Agreement, which are null and void.

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be signed the day and year first above written.

COUNTY OF WASHOE, a political
subdivision of the State of Nevada

By _____
Marsha Berkbigler, Chair
Washoe County Commission

STATE OF NEVADA)
 : ss.
COUNTY OF WASHOE)

On this _____ day of _____, 2018, before me, a Notary Public,
personally appeared _____, known to me to be the person who
executed the above instrument, and acknowledged to me that she executed the same for
the purposes therein stated.

NOTARY PUBLIC

GALENA TERRACE
MAINTENANCE ASSOCIATION,
INC., a Nevada Domestic Nonprofit
Corporation

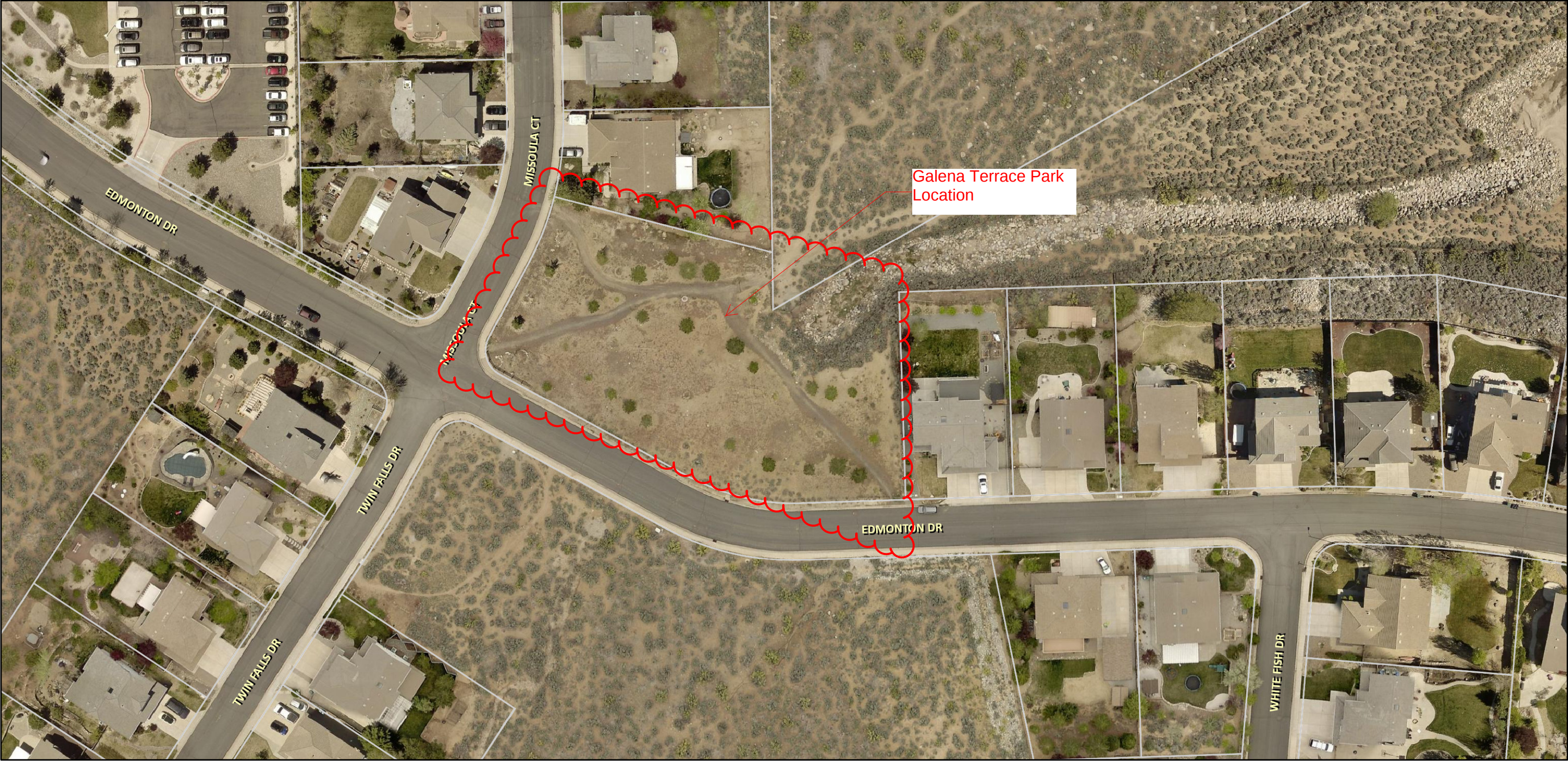
By _____

STATE OF NEVADA)
 : ss.
COUNTY OF WASHOE)

On this _____ day of _____, 2018, before me, a Notary Public, personally
appeared _____, known to me to be the person who executed
the above instrument, and acknowledged to me that s/he executed the same for the
purposes therein stated.

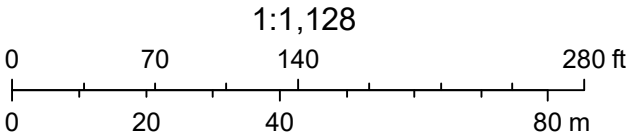
NOTARY PUBLIC

Galena Terrace Park Exhibit A



June 21, 2018

- Ditch
- Reno City Boundary



Washoe County
Washoe County GIS
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics,
CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User
Community



GALENA TERRACE PARK

VICINITY MAP

LANDSCAPE ARCHITECT

L.A. STUDIO NEVADA
1552 C STREET
SPARKS, NV 89431
(775) 323-2223
CONTACT: RYAN HANSEN, A.S.L.A., P.L.A.

ELECTRICAL ENGINEER

JENSEN ENGINEERING, INC.
9655 GATEWAY DRIVE, #A
RENO, NV 89521
(775) 852-2288
CONTACT: GERALD JENSEN, P.E.

LIST OF ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	L.F.	LINEAL FEET
A.P.	ANGULAR POINT	L.P.	LOW POINT
B.C.	BEGIN CURVE	L.S.	LIGHT STANDARD
B.F.C.	BACK FACE CURB	M.H.	MANHOLE
B.V.C.	BEGIN VERTICAL CURVE	P.	PAD ELEVATION
B.S.	BACK OF SIDEWALK	P.I.	POINT OF INTERSECTION
C.B.	CATCH BASIN	P.O.	PUSH ON
C.	CENTERLINE	P.R.C.	POINT OF REVERSE CURVATURE
CH.	CHORD	P.O.T.	POINT OF TANGENT
C.M.P.	CORRUGATED METAL PIPE	P.V.C.	POLYVINYL CHLORIDE PIPE
CONC.	CONCRETE	P.	PROPERTY LINE
CONST.	CONSTRUCT	(R)	RADIAL
C.P.	CONCRETE PIPE	R.	RADIUS
D.I.	DROP INLET	R.E.	RECLAIMED EFFLUENT
DET.	DETAILS	REF.	REFERENCE
D.W.	DEWATERING OR DRIVEWAY	RET.	RETURN
ELEV.	ELEVATION	R.C.C.	REINFORCED CONCRETE PIPE
E.C.	END OF CURVE	R.T.	RIGHT
E.V.C.	END VERTICAL CURVE	R/W.	RIGHT OF WAY
EXIST.	EXISTING	S.D.C.O.	STORM DRAIN CLEAN OUT
E.G.	EXISTING GRADE	S.S.C.O.	SANITARY SEWER CLEAN OUT
F.F.	FINISH FLOOR	S.S.	SANITARY SEWER
F.F.C.	FRONT FACE CURB	S.W.	SIDEWALK
F.G.	FINISH GRADE	SPT.	SHEET
F.H.	FIRE HYDRANT	STA.	STATION
F.	FLOW LINE	S.D.	STORM DRAIN
F.V.A.	FLUSH VALVE ASSEMBLY	T.	TANGENT
G.	GAS	T.C.	TOP OF CURB
G.B.	GRADE BREAK	T.P.	TOP OF PAVEMENT
G.V.	GATE VALVE	TYPE.	TYPICAL
HORIZ.	HORIZONTAL	VERT.	VERTICAL
H.P.	HIGH POINT	V.C.	VERTICAL CURVE
INT.	INTERSECTION	V.P.I.	VERTICAL POINT OF INTERSECTION
I.E.	INVERT ELEVATION	W.	WATER
L.T.	LEFT	W.C.	WASHOE COUNTY
L.	LENGTH	W.S.E.	WATER SURFACE ELEVATION

CIVIL SHEET INDEX

T-1		TITLE SHEET
N-1		OVERALL SITE PLAN AND NOTES
DEM-1		DEMOLITION PLAN
G-1		GRADING AND DRAINAGE PLAN
S-1		SITE DIMENSIONAL PLAN

LANDSCAPE SHEET INDEX

L1		REFERENCE PLAN
L2		PLANTING PLAN
L3		IRRIGATION PLAN
L4		IRRIGATION DETAILS
L5		LANDSCAPE DETAILS
L6		PARK AMENITY DETAILS

ELECTRICAL SHEET INDEX

E1.0		SYMBOLS, NOTES & LUMINAIRE SCHEDULE
E2.0		SITE ELECTRICAL PLAN

BASIS OF BEARINGS

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983
(NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939
APPLIED.

BASIS OF ELEVATION

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
USING CONTROL CITY OF RENO BENCHMARK3091
(ELEVATION=4555.77 FT.)

FLOOD ZONE:

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED
ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE
DATE MARCH 16, 2009

SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS, FOR PUBLIC WORKS CONSTRUCTION (2012 EDITION AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.

ENGINEER'S CERTIFICATE

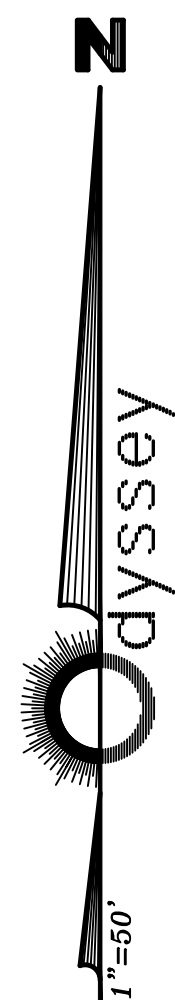
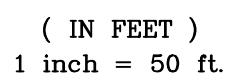
THESE PLANS (SHEETS T-1 OF 5 THRU S-1 OF 5) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, CITY ORDINANCES, STANDARDS, AND CITY CODE. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND CITY CODE, CITY STANDARDS SHALL PREVAIL.



KENNETH W. ANDERSON

P.E. #15598

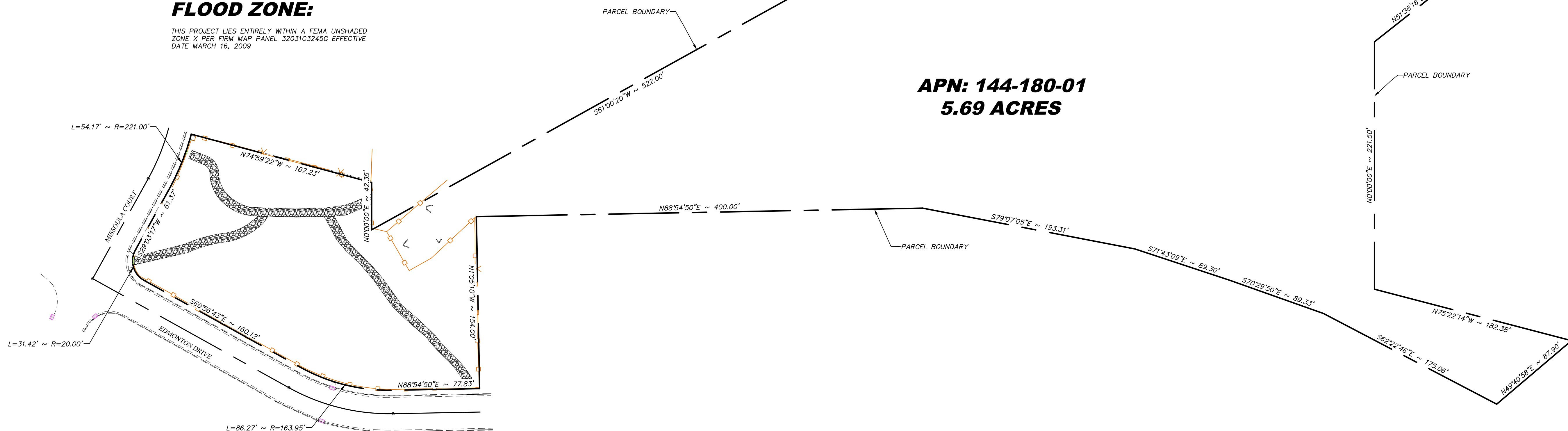
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BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988
(NAVD 88) USING CONTROL USING CONTROL CITY OF
RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

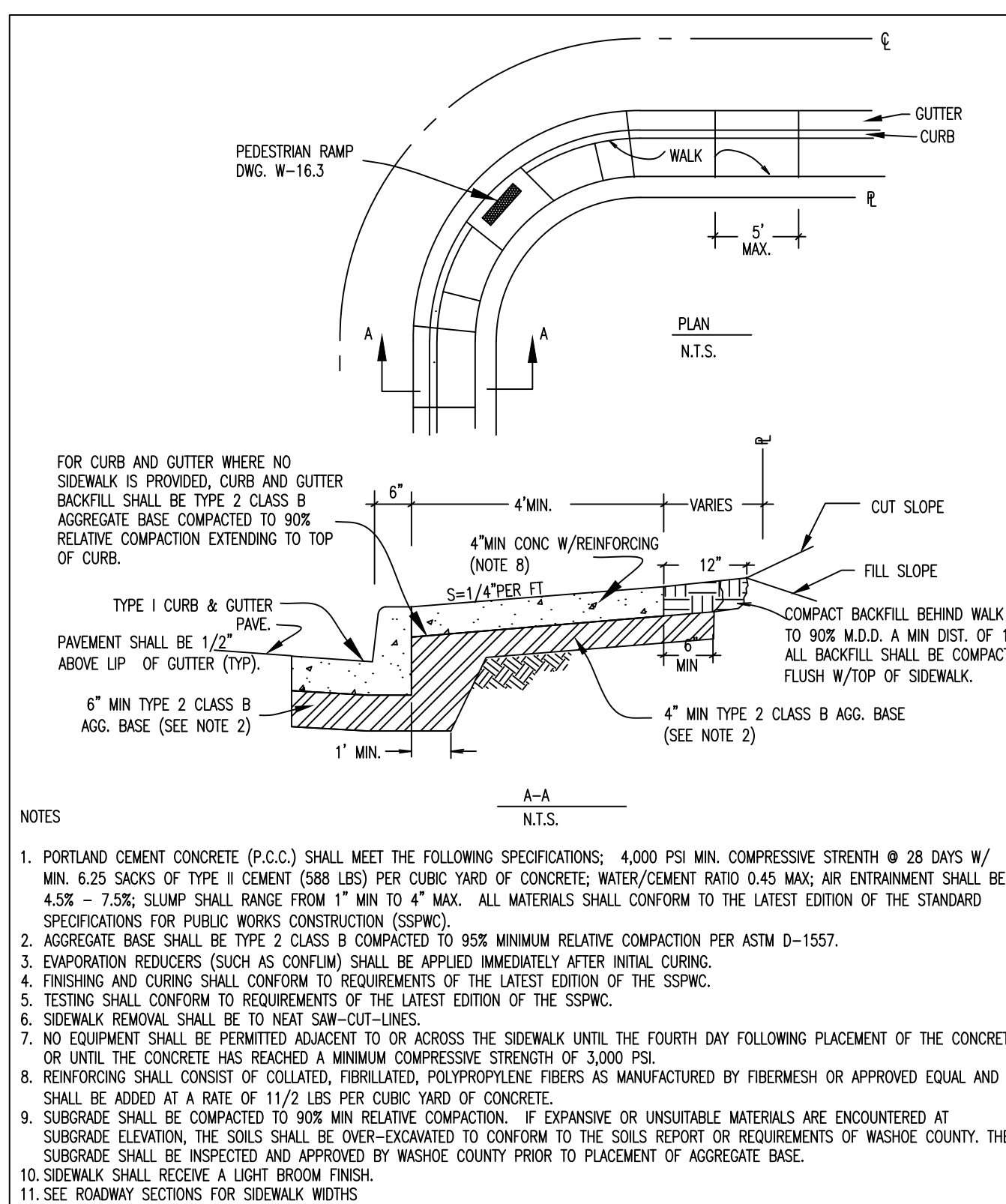
THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED
ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE
DATE MARCH 16, 2009



1. ALL PUBLIC WORKS SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION 2012 ADDITION (AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.
2. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH SECTION 040.030 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINT OF CONNECTION WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLDING PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS PER FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES.
5. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM SURFACE EVIDENCE AND AVAILABLE UTILITY COMPANY RECORDS. ALL UTILITIES SHOULD BE VERIFIED IN THE FIELD. ODYSSEY ENGINEERING INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS OF SUCH RECORDS.
6. THE CONTRACTOR SHALL MAINTAIN AN ON-GOING PROCESS OF REMOVAL OF ALL SPILLAGE OF EXCAVATION MATERIAL ON ALL PAVED STREETS.
7. LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
8. ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND OWNERS PERSONNEL.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN EXISTING B.M.P. IMPROVEMENTS THAT ARE IN PLACE, AND SHALL PROVIDE AND MAINTAIN ADDITIONAL B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.P.
10. THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
11. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, CITY OF SPARKS, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
12. ADD 5000 FEET TO ALL TRUNCATED ELEVATIONS.
13. THE NATURAL VEGETATION AND EXISTING LANDSCAPING SHALL BE PRESERVED AS MUCH AS PRACTICAL DURING SITE IMPROVEMENTS CONSTRUCTION.
14. SLOPES STEEPER THAN 3:1 SHALL BE MECHANICALLY STABILIZED WITH ROCK-RIP.
15. ANY ACCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST WASHOE COUNTY REGULATIONS OR IN APPROVED AREAS.

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITY. CONSTRUCTION SITE DEBRIS AND CONSTRUCTION POLLUTION PREVENTION MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NV100000, SECTION 1.B.A.B. (2).
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND LOCATIONS WITH ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS DURING DROUGHT PERIODS OR DURING PERIODS OF LOW DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NV100000, SECTION 1.B.A.B.
5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHEREVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP STORAGE CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

	EXISTING ASPHALT PAVING		CURB AND GUTTER (DASHED IF EXISTING)
	EXISTING PATH (TO REMAIN)		POST CURB (DASHED IF EXISTING)
	P.C.C. SIDEWALK		MANHOLE
	GRAVEL PATH		TYPE 4-R CATCH BASIN (DASHED IF EXISTING)
	DG PATH		STORM DRAIN (DASHED IF EXISTING)
	EXISTING CONTOUR		SITE LIGHT (DASHED IF EXISTING)
	PROPOSED CONTOUR		GRADE BREAK
(E)	EXISTING	<u>2.0%</u>	SLOPE IN PERCENT
	EXISTING SPOT ELEVATION		ELEVATION @ FINISH GRADE
			ELEVATION @ TOP OF CURB
			ELEVATION @ GRADE BREAK
			ELEVATION @ FLOW LINE



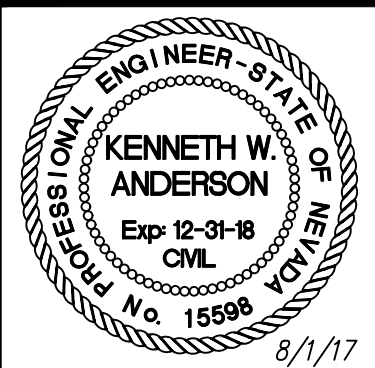
NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
1	REDRAWN	2/94 ^{up}	P.C.C. SIDEWALK	WASH
2	Notes	11/11 ^{sw}		DRAWING NO:
3	Revision	8/16 ^{ww}		W-16
				DATE: 08/16 ^{ww} PAGE:

DATE:	REV.	DATE	DESCRIPTION	BY	APP'D
7-10-2017					
DRAWN BY:					
K. W. A.					
DESIGNED BY:					
ACAD2017					
CHECKED BY:					
K. W. A.					

PERMIT SET

GALENA TERRACE PARK
OVERALL SITE PLAN AND NOTES
WASHOE COUNTY NEVADA

395 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
(775) 359-3303 FAX (775) 359-3329
ODYSSEYRENO.COM



SCALE
HORIZ. 1"=50'
VERT. _____

JOB NO.
3335

SHEET

N-1

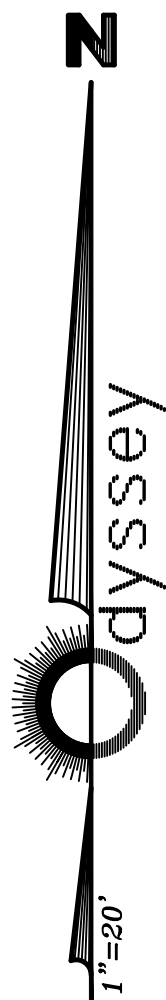
5



Know what's **below**.
Call before you dig.



(IN FEET)
1 inch = 20 ft.



BASIS OF BEARING:

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

FLOOD ZONE:

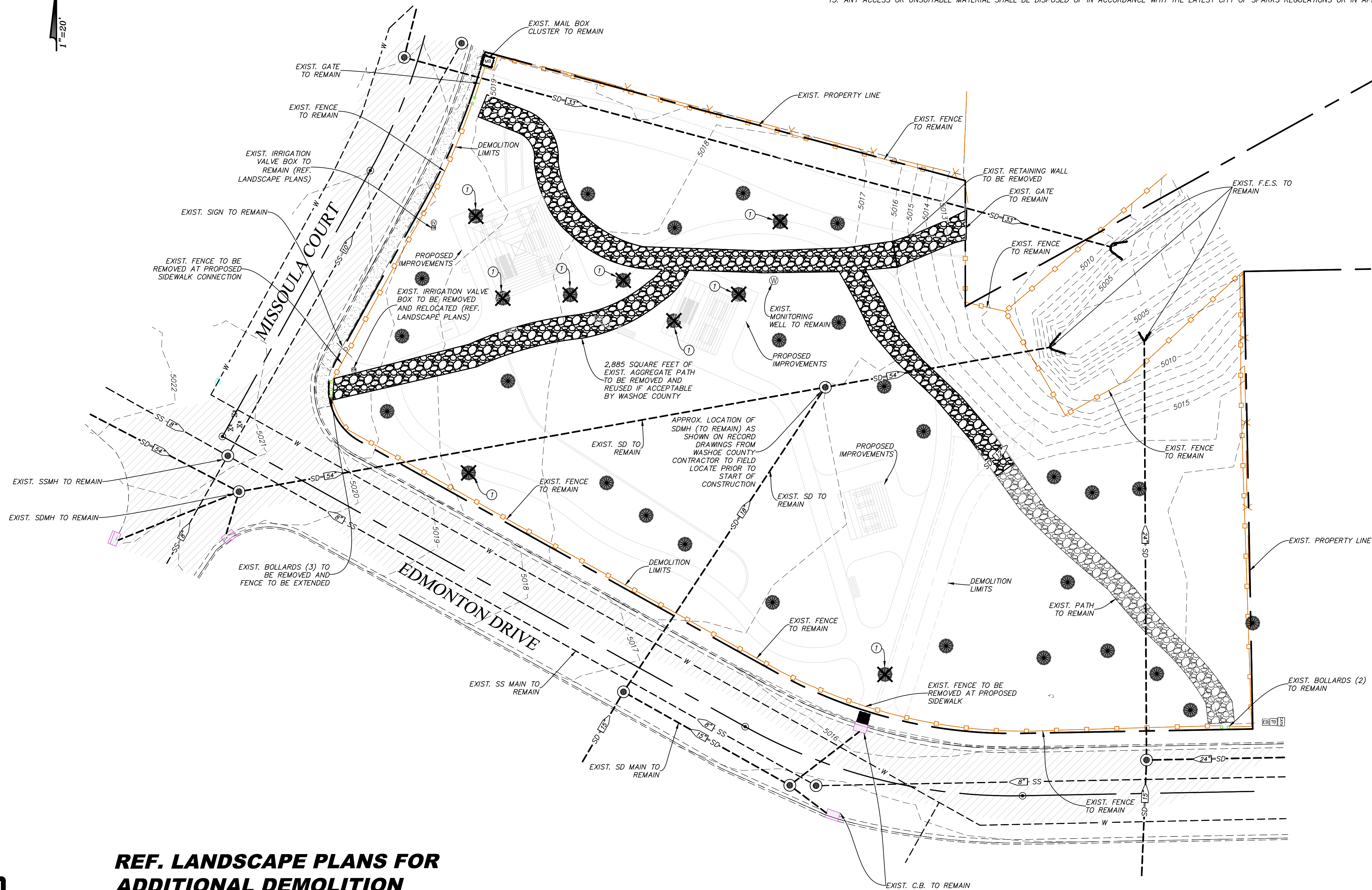
THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

NOTE:

- ① EXIST. TREE TO BE REMOVED

DEMOLITON NOTES:

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4. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS PER FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES.
5. NO MATERIAL OF ANY KIND SHALL BE STOCKPILED, OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES MAINTAINED BY WASHOE COUNTY.
6. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM SURFACE EVIDENCE AND AVAILABLE UTILITY COMPANY RECORDS. ALL UTILITIES SHOULD BE VERIFIED IN THE FIELD. ODYSSEY ENGINEERING INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS OF SUCH RECORDS.
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9. ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND OWNERS PERSONNEL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN EXISTING B.M.P. IMPROVEMENTS THAT ARE IN PLACE, AND SHALL PROVIDE AND MAINTAIN ADDITIONAL B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.P.
11. THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
12. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, WASHOE COUNTY, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
13. ADD 5000 FEET TO ALL TRUNCATED ELEVATIONS.
14. THE NATURAL VEGETATION AND EXISTING LANDSCAPING SHALL BE PRESERVED AS MUCH AS PRACTICAL DURING ROADWAY AND DRAINAGE IMPROVEMENTS CONSTRUCTION.
15. ANY ACCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST CITY OF SPARKS REGULATIONS OR IN APPROVED AREAS.



LEGEND:

- EXISTING ASPHALT PAVING
- GRAVEL PATH TO BE REMOVED
- GRAVEL PATH (TO REMAIN)
- EXISTING CURB AND GUTTER
- EXISTING POST CURB
- EXISTING MANHOLE
- EXISTING TYPE 4-R CATCH BASIN
- EXISTING TYPE 1 CATCH BASIN
- EXISTING TYPE 3 CATCH BASIN
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER LATERAL
- EXISTING WATER AND GAS
- EXISTING WATER
- EXISTING GAS
- EXISTING RECLAIM IRRIGATION MAIN
- EXISTING UNDERGROUND ELECTRIC/TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING FIRE HYDRANT
- EXISTING WATER SERVICE
- EXISTING SITE LIGHT
- EXISTING CONTOUR
- EXISTING
- EXISTING SPOT ELEVATION
- SAWCUT LINE
- EXISTING TREE
- EXISTING TREE TO BE REMOVED

**REF. LANDSCAPE PLANS FOR
ADDITIONAL DEMOLITION
INFORMATION**



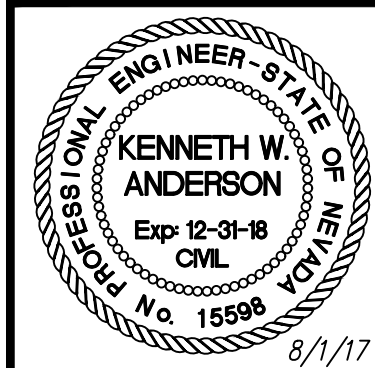
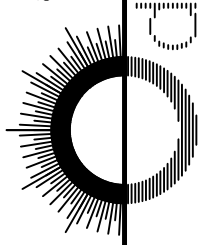
Know what's below.
Call before you dig.

PERMIT SET

GALENA TERRACE PARK
DEMOLITION PLAN

WASHOE COUNTY NEVADA

885 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
(775) 359-3303 FAX (775) 359-3329
ODYSSEYRENO.COM



SCALE
HORIZ. 1"=20'
VERT. ---
JOB NO.
3837
SHEET
DEM-1
OF
5

BASIS OF BEARING:

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

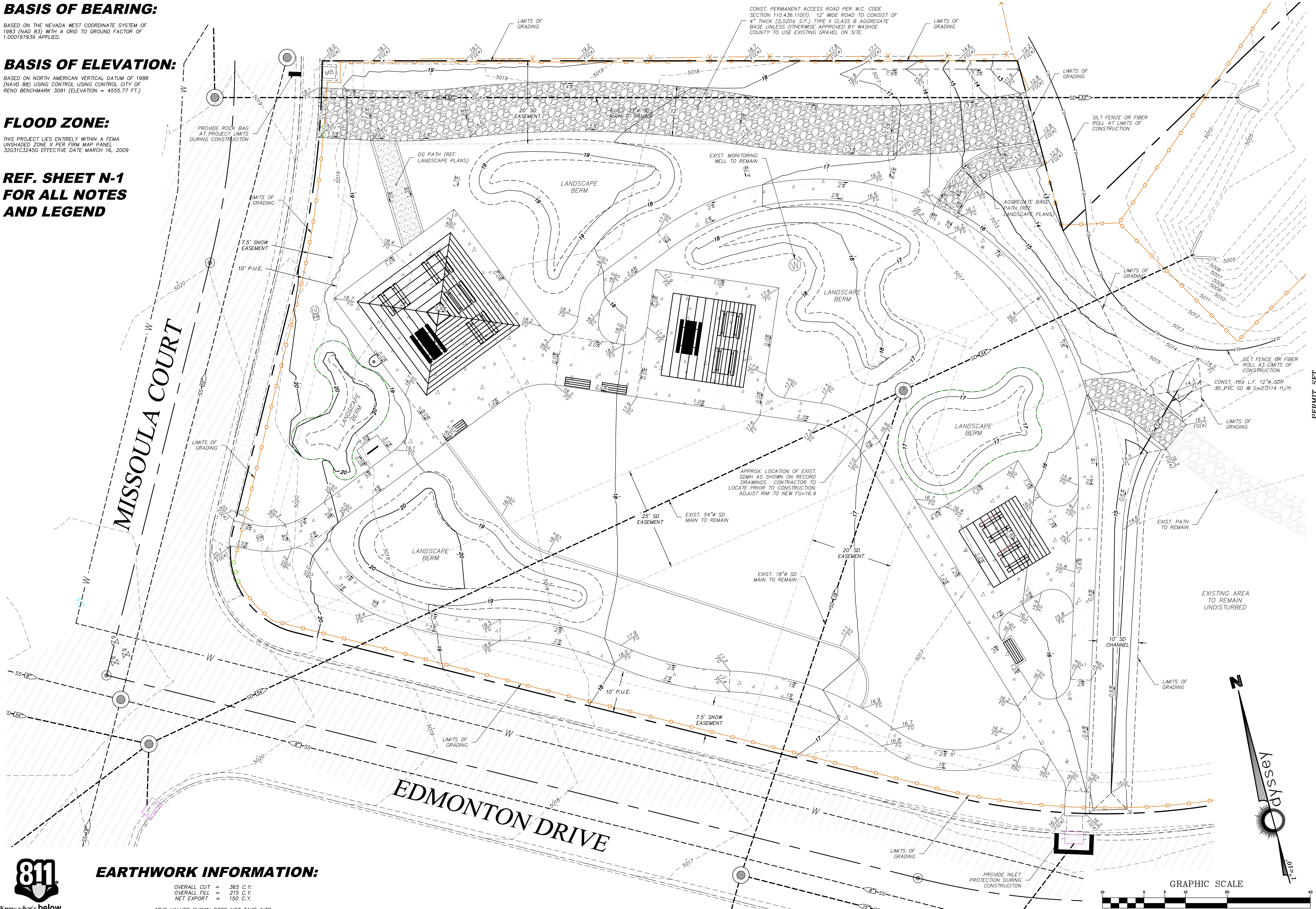
BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

FLOOD ZONE:

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

**REF. SHEET N-1
FOR ALL NOTES
AND LEGEND**



EARTHWORK INFORMATION:

OVERALL CUT = 365 C.Y.
OVERALL FILL = 215 C.Y.
NET EXPORT = 150 C.Y.

*THE VALUES SHOWN DOES NOT TAKE INTO ACCOUNT SHRINK/SWELL OF THE IN-SITU SOIL.



Know what's below.
Call before you dig.

DATE	REV.	DATE	DESCRIPTION	BY	APP'D
7-10-2017					
DRAWN BY: K.W.A.					
DESIGNED BY: ACAD2017					
CHECKED BY: K.W.A.					

PERMIT SET

GALENA TERRACE PARK
GRADING AND DRAINAGE PLAN

WASHOE COUNTY
NEVADA

895 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
(775) 359-3303 FAX (775) 359-3329
ODYSSEYRENO.COM

odyssey ENGINEERING INCORPORATED

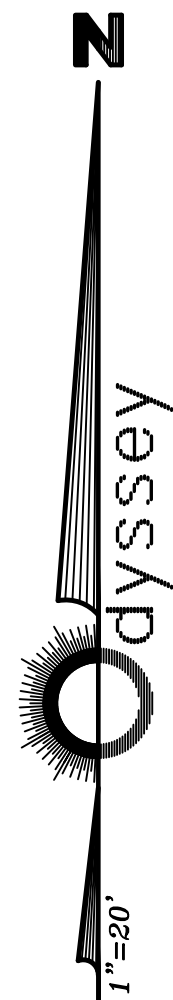
PROFESSIONAL ENGINEER-STATE OF NEVADA
KENNETH W. ANDERSON
Exp 12-31-18
CIVIL
No. 15598
8/1/17

SCALE
HORIZ. 1"=10'
VERT. ---
JOB NO. 3837
SHEET G-1 OF 5

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.



(IN FEET)
1 inch = 20 ft.



CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	13.16'	16.00'	47°07'43"
C2	15.71'	10.00'	90°00'00"
C3	11.78'	5.00'	135°00'00"
C4	8.65'	11.00'	45°04'44"
C5	104.43'	65.00'	92°03'17"
C6	51.56'	80.00'	36°55'35"
C7	2.97'	5.00'	34°05'07"
C8	7.85'	5.00'	90°00'00"
C9	35.86'	30.00'	68°29'20"
C10	39.45'	65.00'	34°46'32"
C11	29.10'	75.00'	22°13'49"
C12	27.75'	65.00'	24°27'49"
C13	31.11'	75.00'	23°46'05"
C14	19.01'	30.00'	36°18'10"
C15	6.45'	5.00'	73°52'21"
C16	9.40'	22.00'	24°28'34"
C17	96.40'	60.00'	92°03'17"

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C18	45.30'	75.00'	34°36'25"
C19	12.73'	5.00'	145°54'53"
C20	17.44'	20.00'	49°58'28"
C21	7.85'	5.00'	90°00'00"
C22	7.85'	5.00'	90°00'00"
C23	7.85'	5.00'	90°00'00"
C24	4.72'	6.00'	45°04'44"
C25	11.78'	15.00'	45°00'00"
C26	13.08'	15.00'	49°58'28"
C27	7.85'	5.00'	90°00'00"
C28	29.88'	25.00'	68°29'20"
C29	42.49'	70.00'	34°46'32"
C30	27.16'	70.00'	22°13'49"
C31	29.89'	70.00'	24°27'49"
C32	29.04'	70.00'	23°46'05"
C33	15.84'	25.00'	36°18'10"
C34	7.95'	5.04'	90°19'08"

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C35	9.95'	10.00'	57°00'28"
C36	15.04'	17.35'	49°40'57"
C37	13.04'	14.00'	53°21'53"
C38	18.63'	20.00'	53°21'53"
C39	8.22'	212.00'	2°13'14"
C40	65.07'	212.00'	17°35'07"
C41	64.13'	238.00'	15°26'15"
C42	26.37'	160.00'	9°26'40"
C43	24.40'	148.00'	9°26'40"
C44	67.36'	250.00'	15°26'15"
C45	68.21'	200.00'	19°32'22"
C46	7.85'	5.00'	90°00'10"
C47	12.94'	5.00'	148°14'03"
C48	7.85'	5.00'	90°00'00"
C49	10.83'	5.00'	124°05'07"

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S64°25'38"E	5.82'
L2	N68°26'39"E	25.62'
L3	N21°33'21"W	28.00'
L4	N68°26'39"E	36.00'
L5	S21°33'21"E	35.01'
L6	N23°26'39"E	2.58'
L7	N68°31'23"E	17.85'
L8	S17°30'14"W	76.37'
L9	N17°30'14"E	6.11'
L10	N16°34'53"W	5.55'
L11	N15°01'51"W	1.02'
L12	N64°25'38"W	5.80'
L13	S68°31'23"W	17.85'
L14	N17°30'14"E	16.48'

LINE TABLE		
LINE	DIRECTION	LENGTH
L15	S16°34'53"E	16.23'
L16	S66°33'21"E	9.05'
L17	S23°26'39"W	21.00'
L18	S66°33'21"E	30.00'
L19	N23°26'39"E	14.00'
L20	S66°33'21"E	1.79'
L21	S23°26'39"W	2.58'
L22	S68°26'39"W	50.89'
L23	N66°33'21"W	63.92'
L24	N16°34'53"W	71.49'
L25	N35°30'13"W	11.32'
L26	S35°30'13"E	10.78'
L27	N43°17'22"E	4.57'
L28	S84°31'01"E	8.91'

LINE TABLE		
LINE	DIRECTION	LENGTH
L29	N43°17'22"E	4.57'
L30	N1°29'26"W	22.83'
L31	N1°29'26"W	26.94'
L32	S71°45'12"E	10.60'
L33	N71°45'12"W	10.57'
L34	N73°25'07"E	21.00'
L35	S16°34'53"E	10.12'
L36	S73°25'07"W	9.23'
L37	S73°18'36"W	2.50'
L38	S16°41'24"E	7.00'
L39	S73°18'36"W	2.51'
L40	S16°34'53"E	6.64'

BASIS OF BEARING:

BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

BASIS OF ELEVATION:

BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CONTROL USING CONTROL CITY OF RENO BENCHMARK 3091 (ELEVATION = 4555.77 FT.)

FLOOD ZONE:

THIS PROJECT LIES ENTIRELY WITHIN A FEMA UNSHADED ZONE X PER FIRM MAP PANEL 32031C3245G EFFECTIVE DATE MARCH 16, 2009

SITE NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS, AND THE LATEST STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION 2012 ADDITION (AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINT OF CONNECTION WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANY AND LEGENDS PERSONNEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE, PERMIT AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN EXISTING B.M.P.'S AS REQUIRED TO IMPLEMENT HIS S.W.P.P.
- THE CONTRACTOR SHALL OBTAIN AND THE OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, NEVADA ENERGY, WASHOE COUNTY, AND THE TRUCKEE MEADOWS WATER AUTHORITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.

LEGEND:

- EXISTING ASPHALT PAVING
- EXISTING PATH (TO REMAIN)
- GRAVEL PATH
- DG PATH (REF. LANDSCAPE PLANS)
- P.C.C. SIDEWALK (REF. DETAIL SHEET N-1)
- CURB AND GUTTER (DASHED IF EXISTING)
- POST CURB (DASHED IF EXISTING)
- MANHOLE (DASHED IF EXISTING)
- TYPE 4-R CATCH BASIN (DASHED IF EXISTING)
- TYPE 1 CATCH BASIN (DASHED IF EXISTING)
- TYPE 3 CATCH BASIN (DASHED IF EXISTING)
- EXISTING SITE LIGHT
- SAWCUT LINE

PERMIT SET

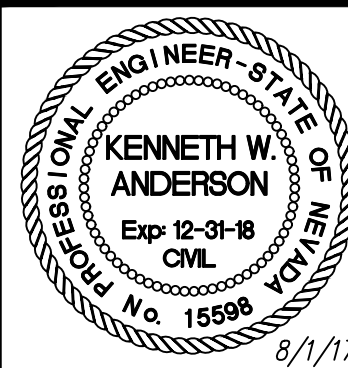
GALENA TERRACE PARK
SITE PLAN

NEVADA

WASHOE COUNTY

885 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
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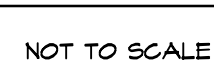
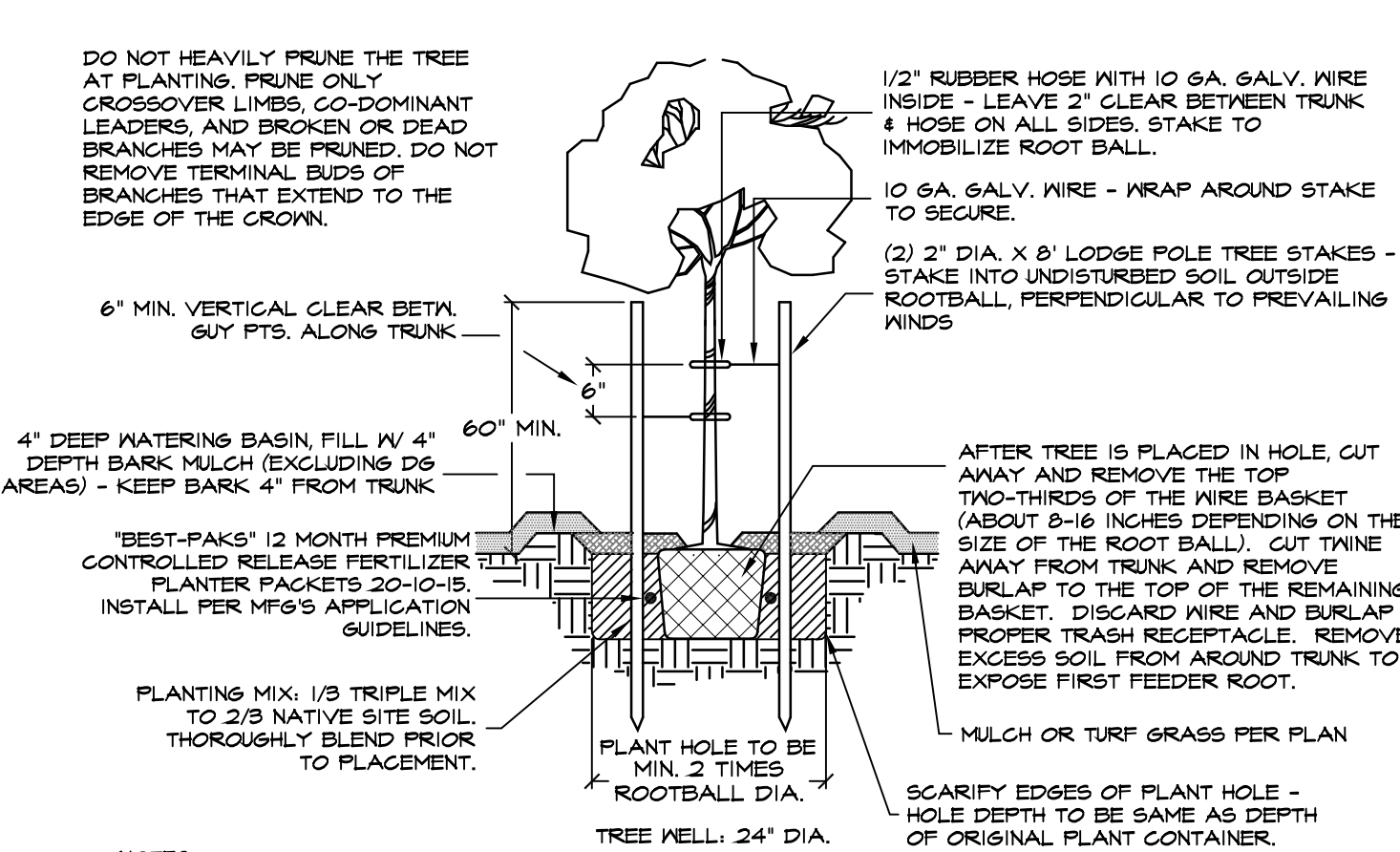
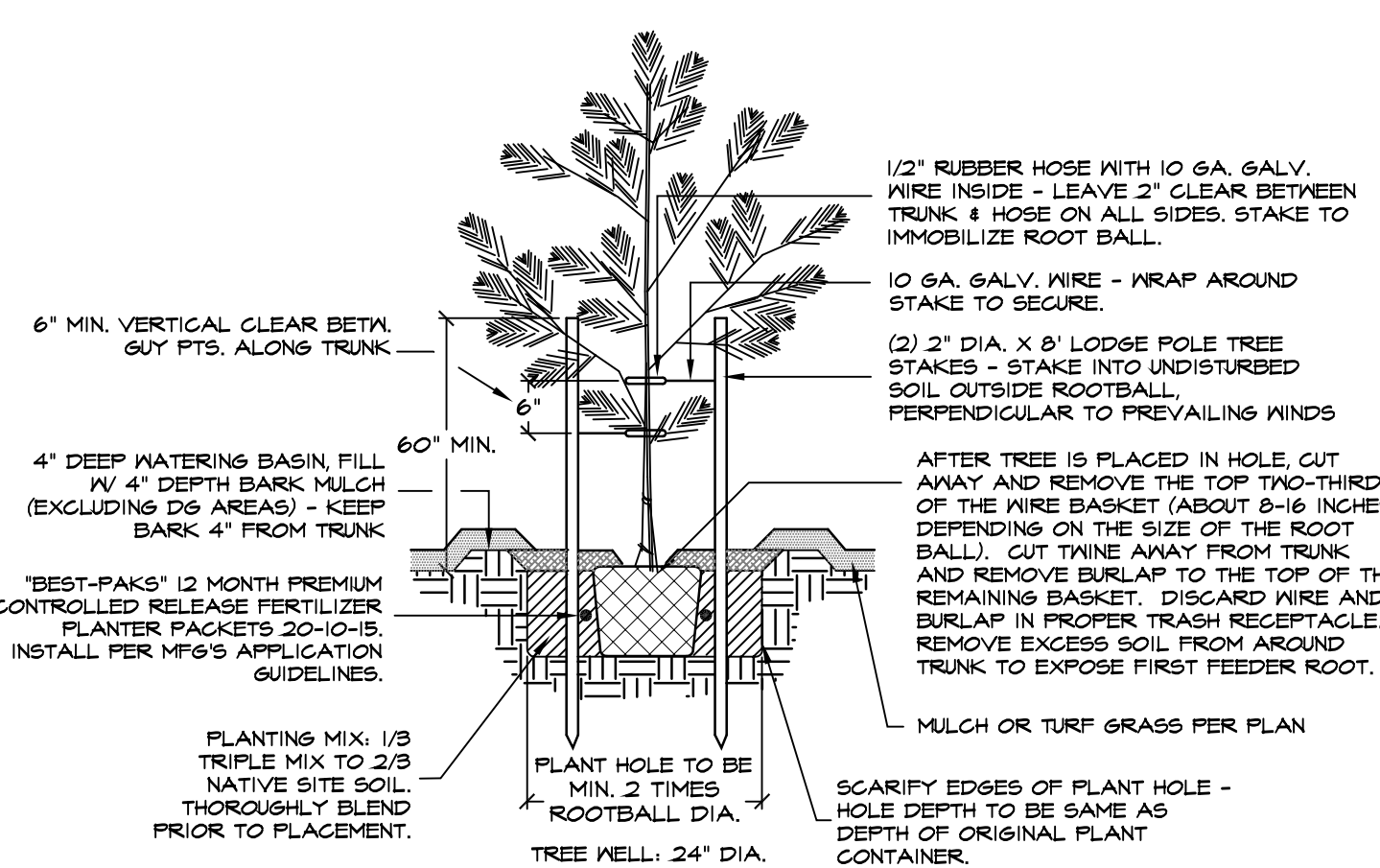
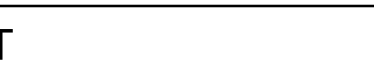
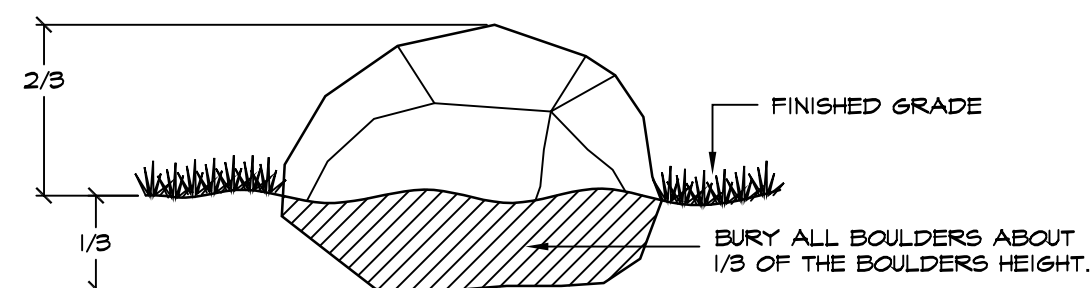
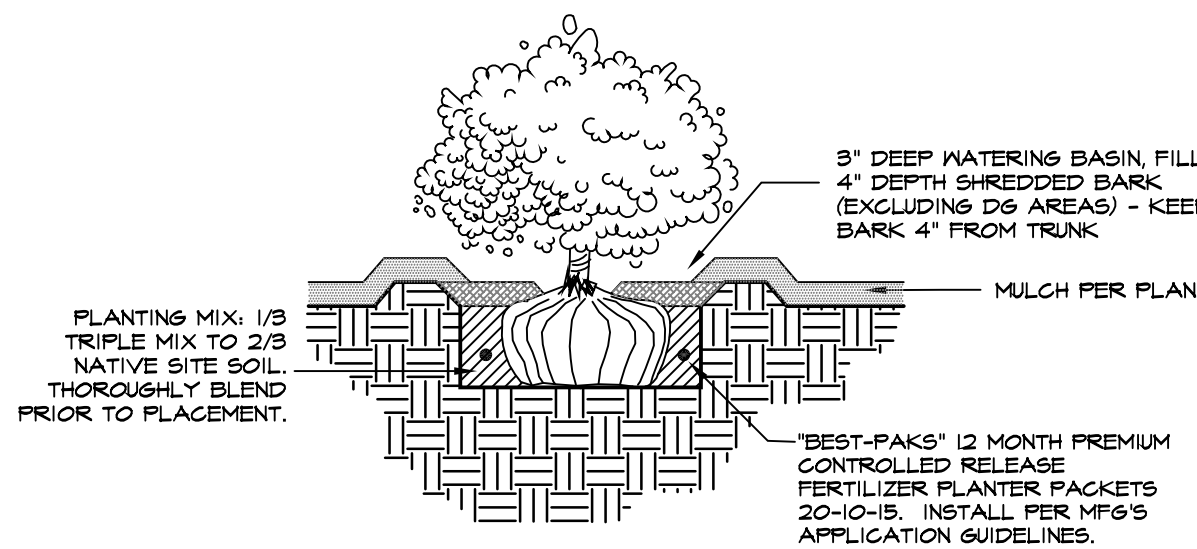
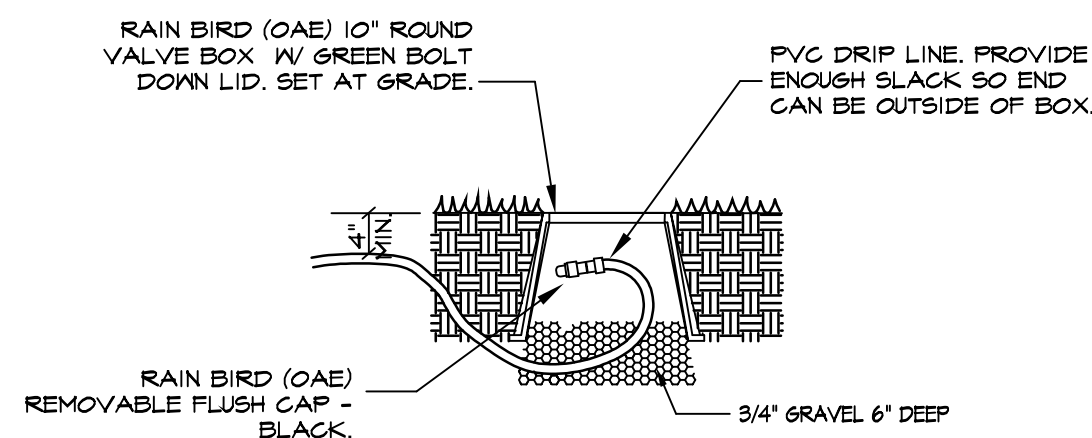
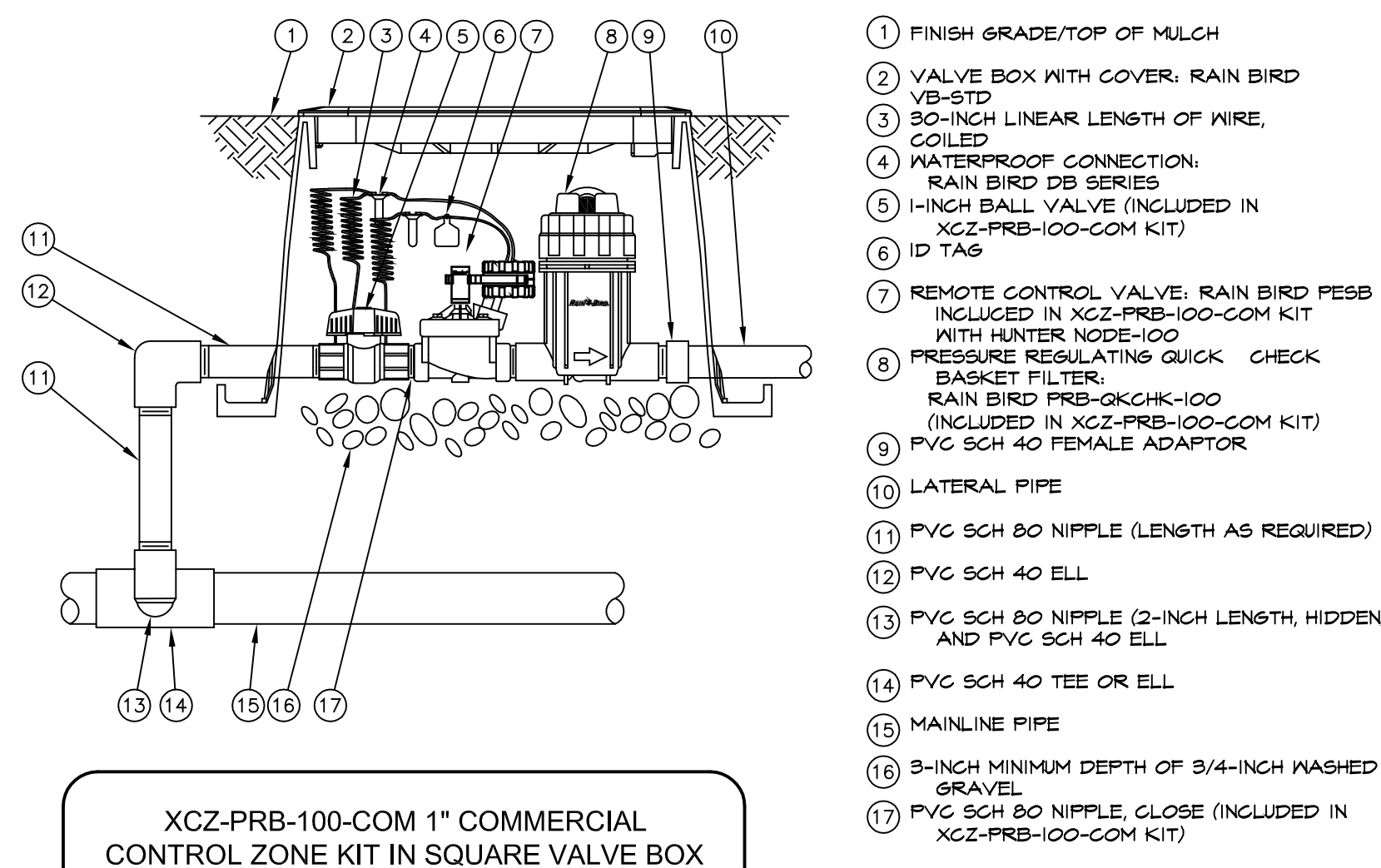
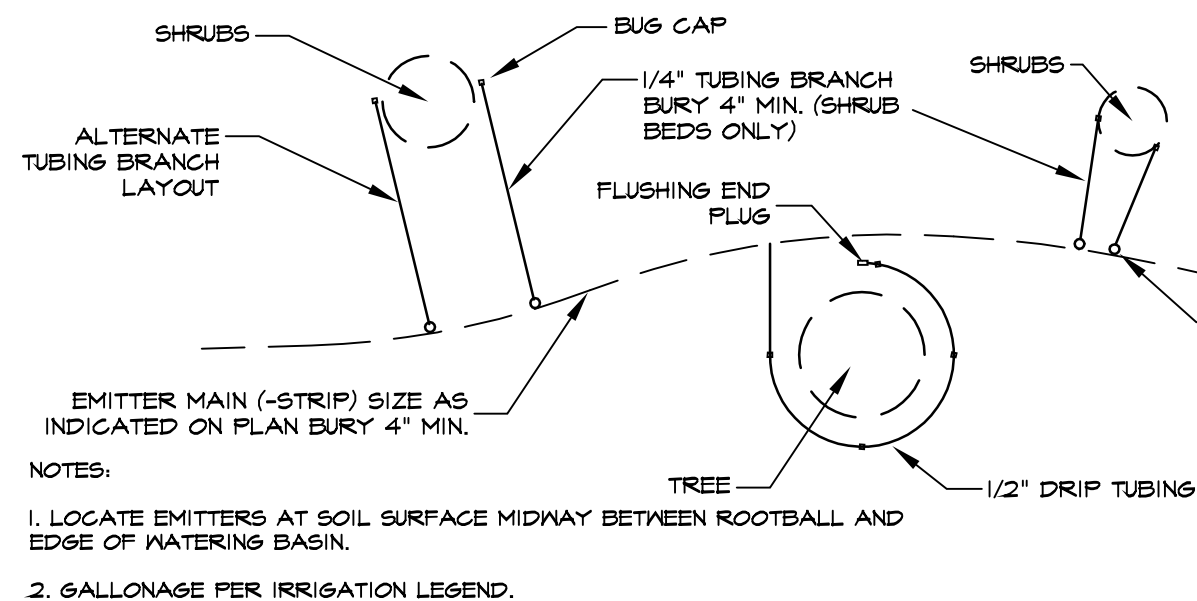
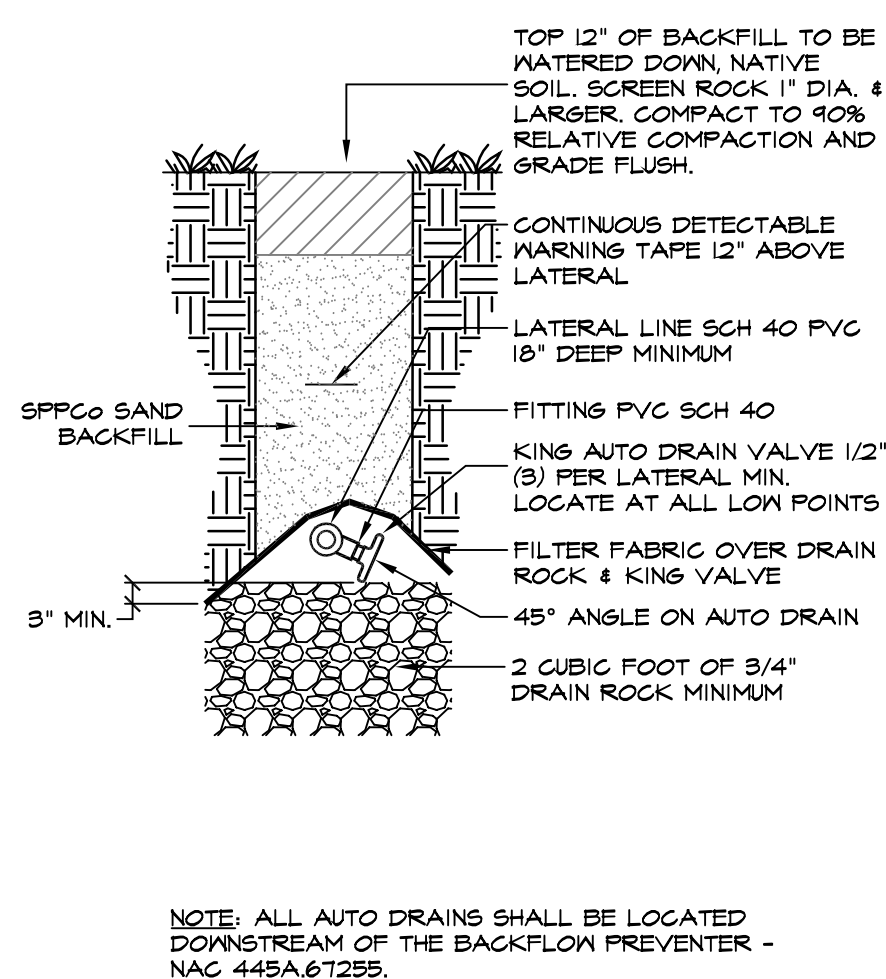
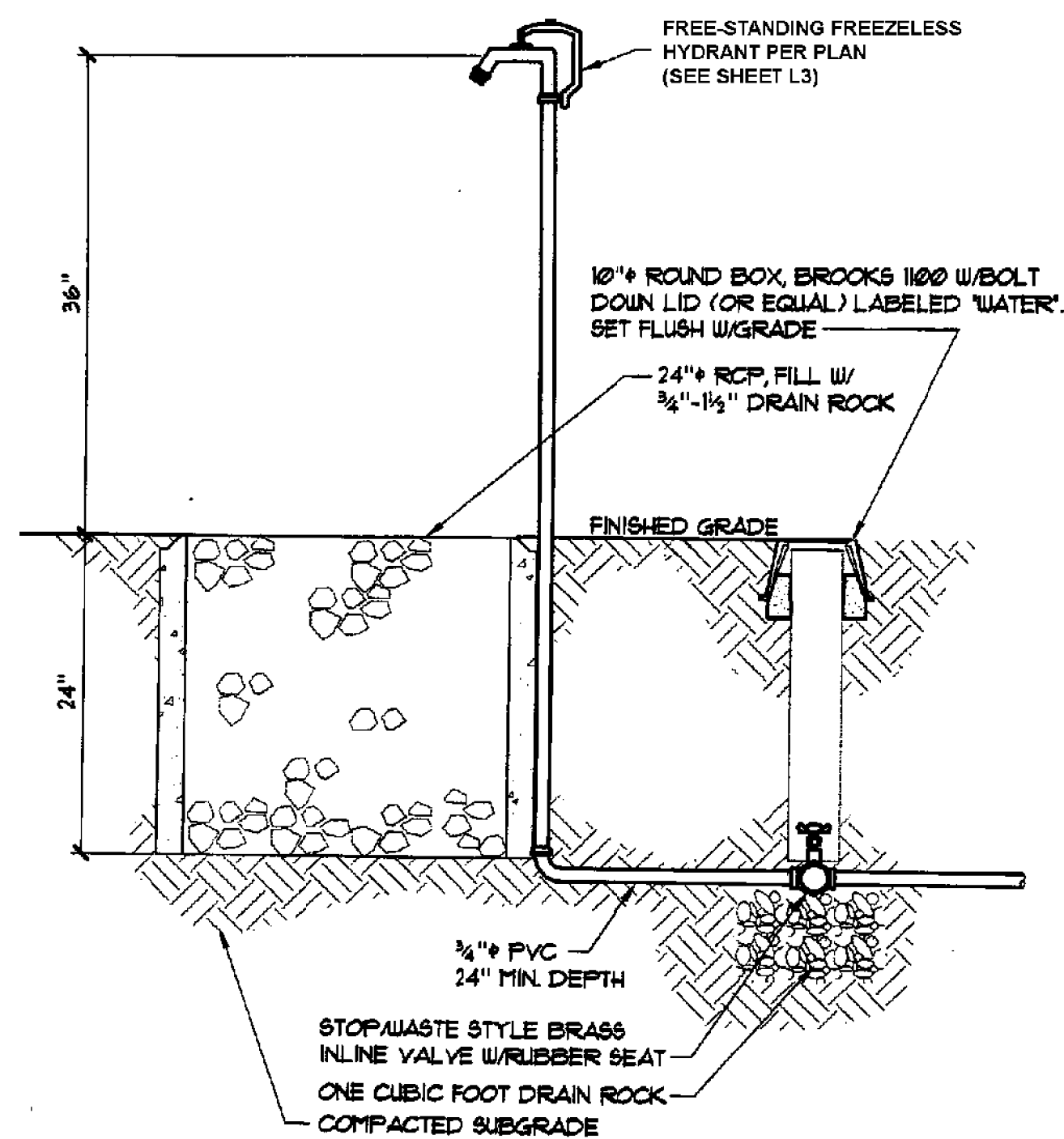
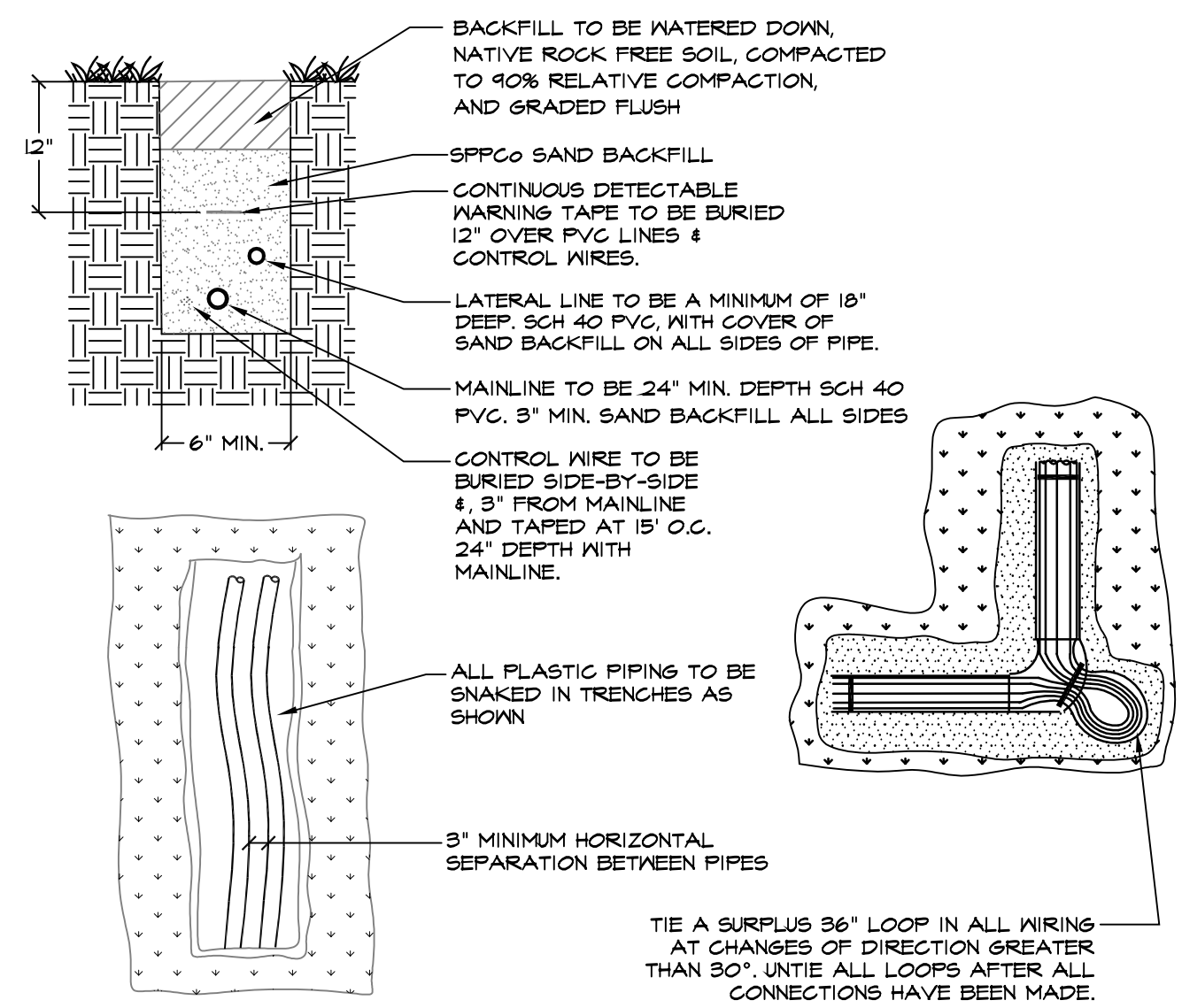
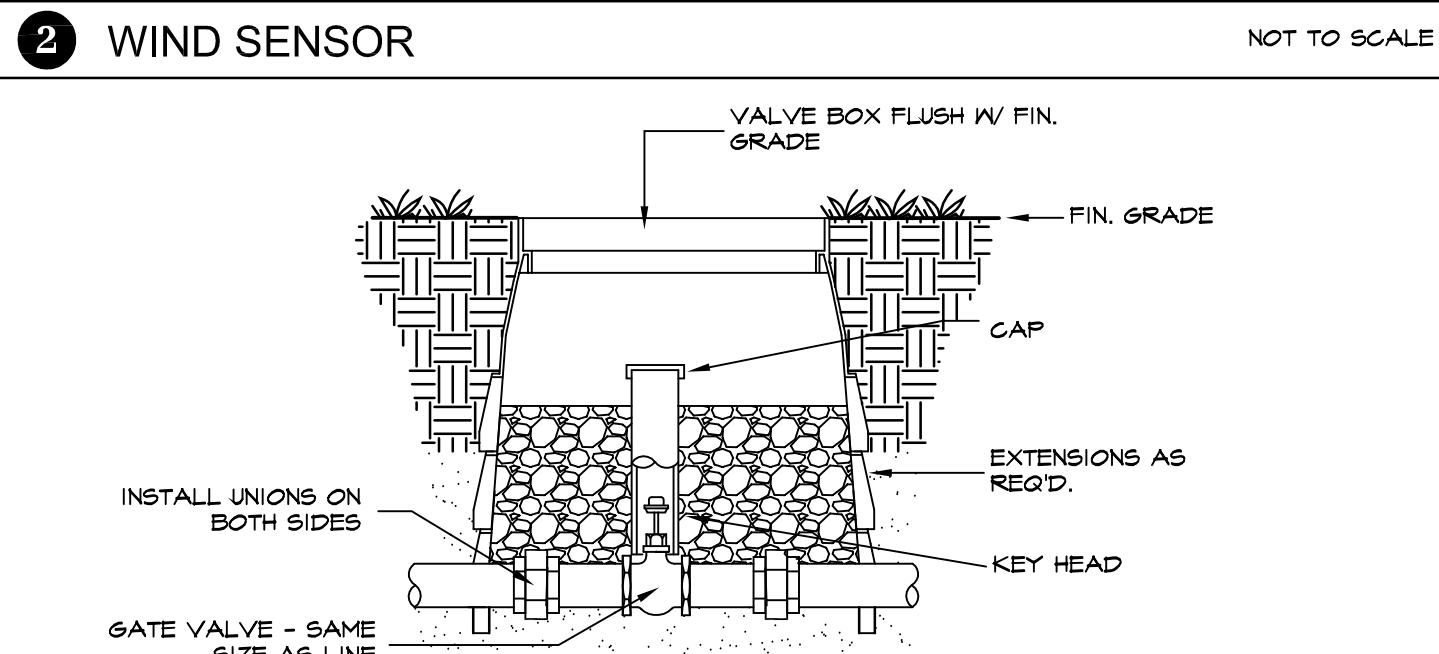
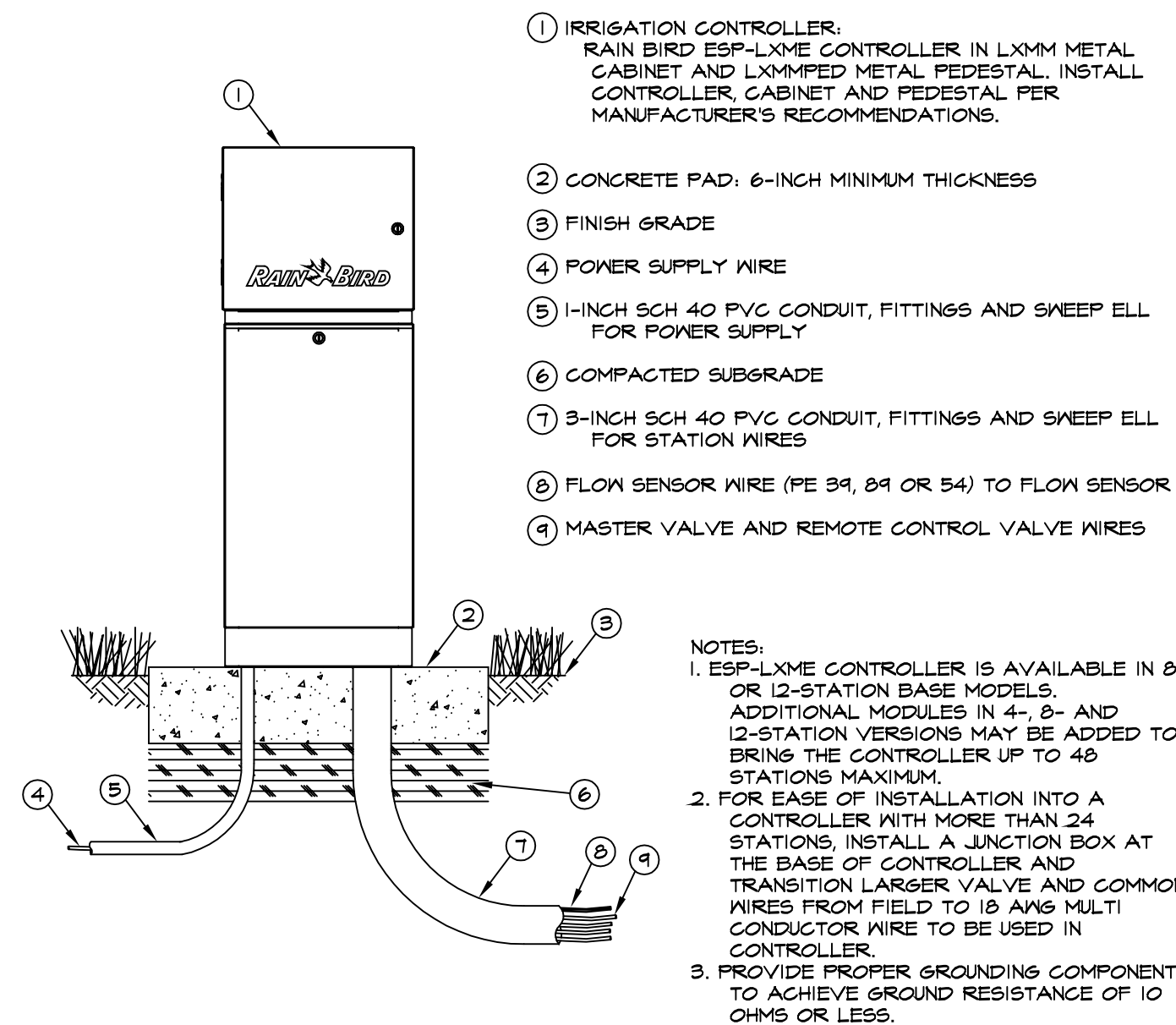
odyssey ENGINEERING
INCORPORATED

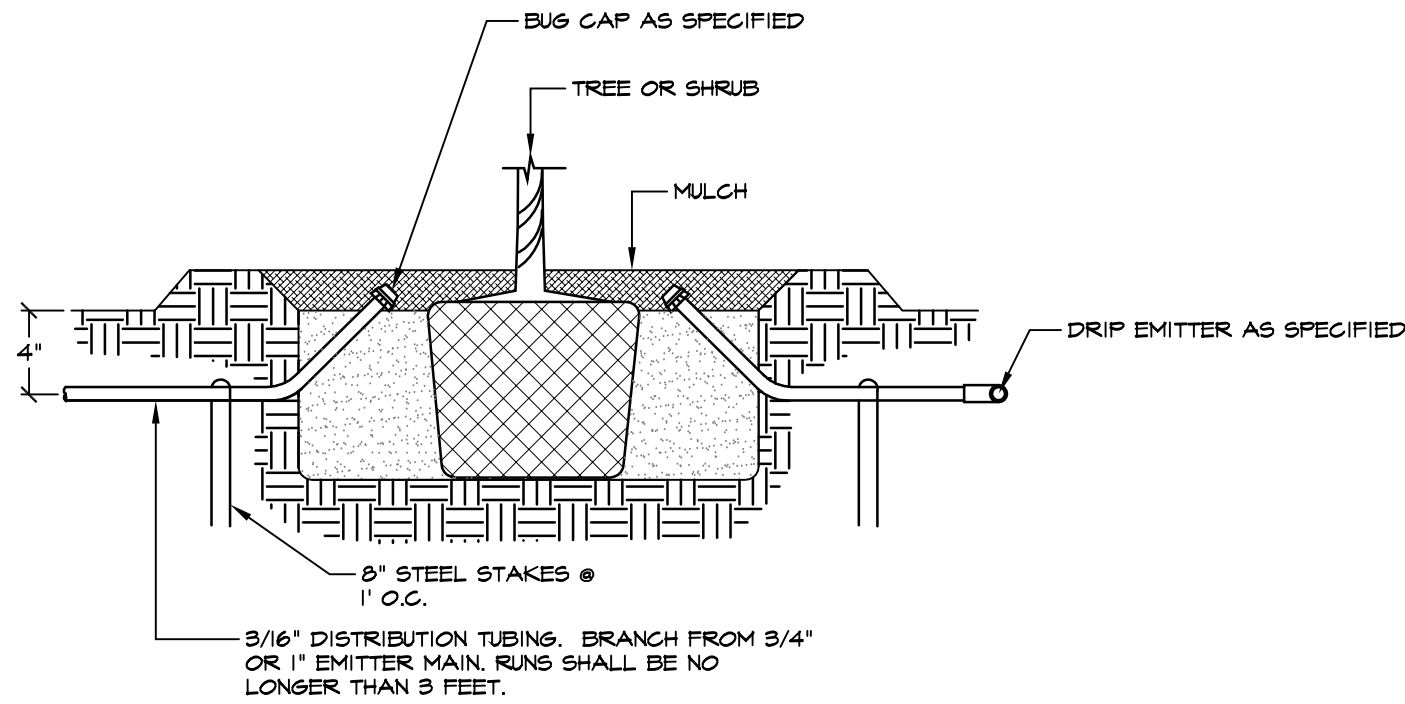


SCALE
HORIZ. 1"=20'
VERT. ---
JOB NO.
3837
SHEET
S-1
OF
5



Know what's below.
Call before you dig.

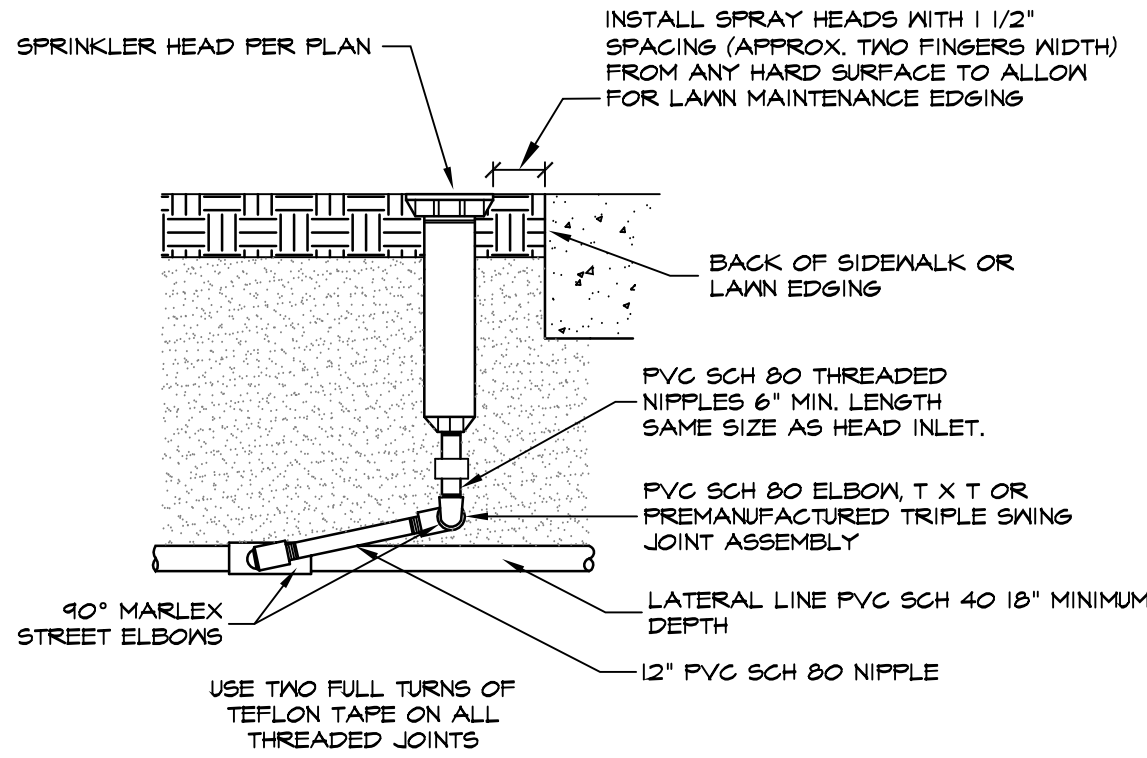




- NOTES:
1. LOCATE EMITTERS AT SOIL SURFACE MIDWAY BETWEEN ROOTBALL AND EDGE OF WATERING BASIN.
 2. GALLONAGE PER IRRIGATION LEGEND.

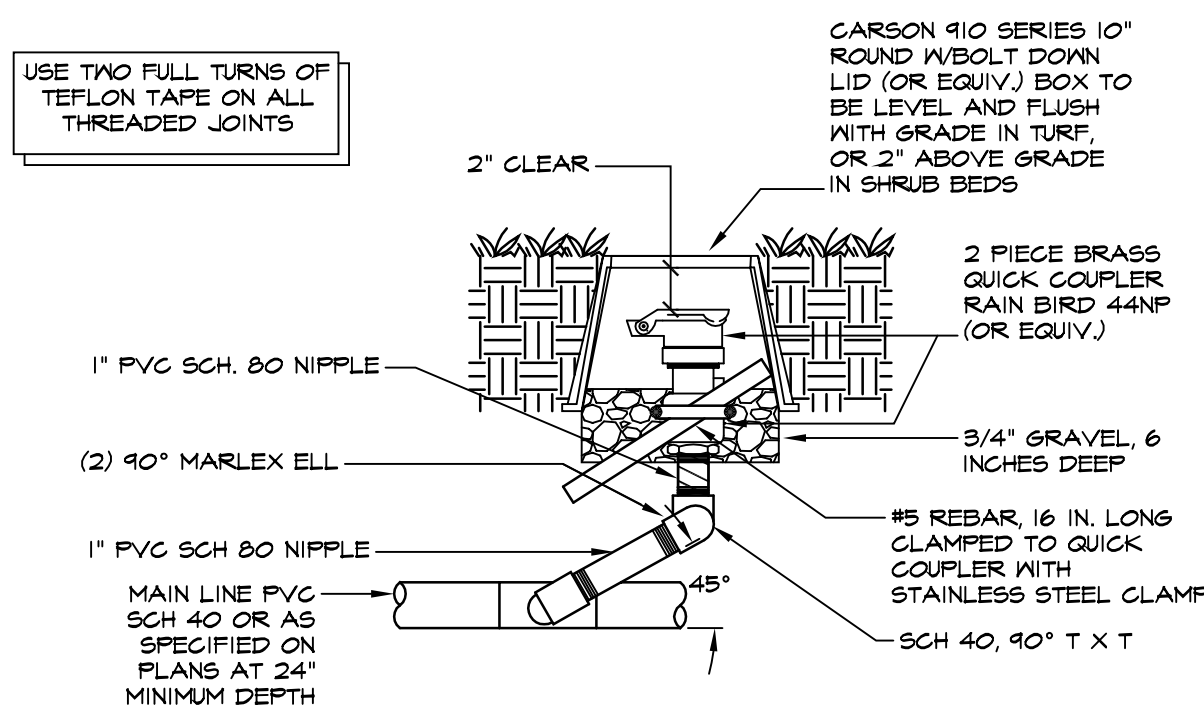
1 DRIP EMITTER INSTALLATION

NOT TO SCALE



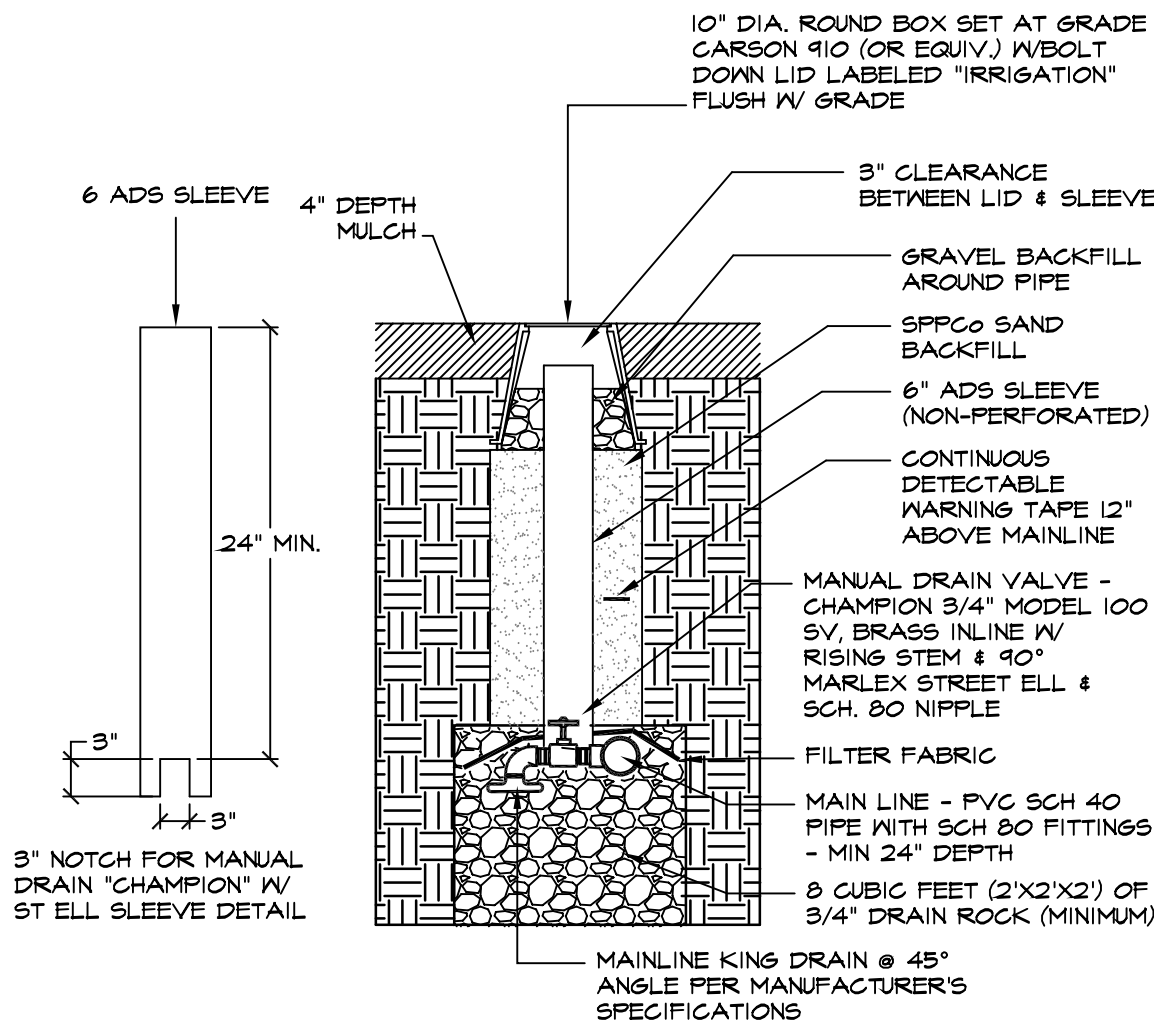
2 SMALL TURF SPRINKLER

NOT TO SCALE



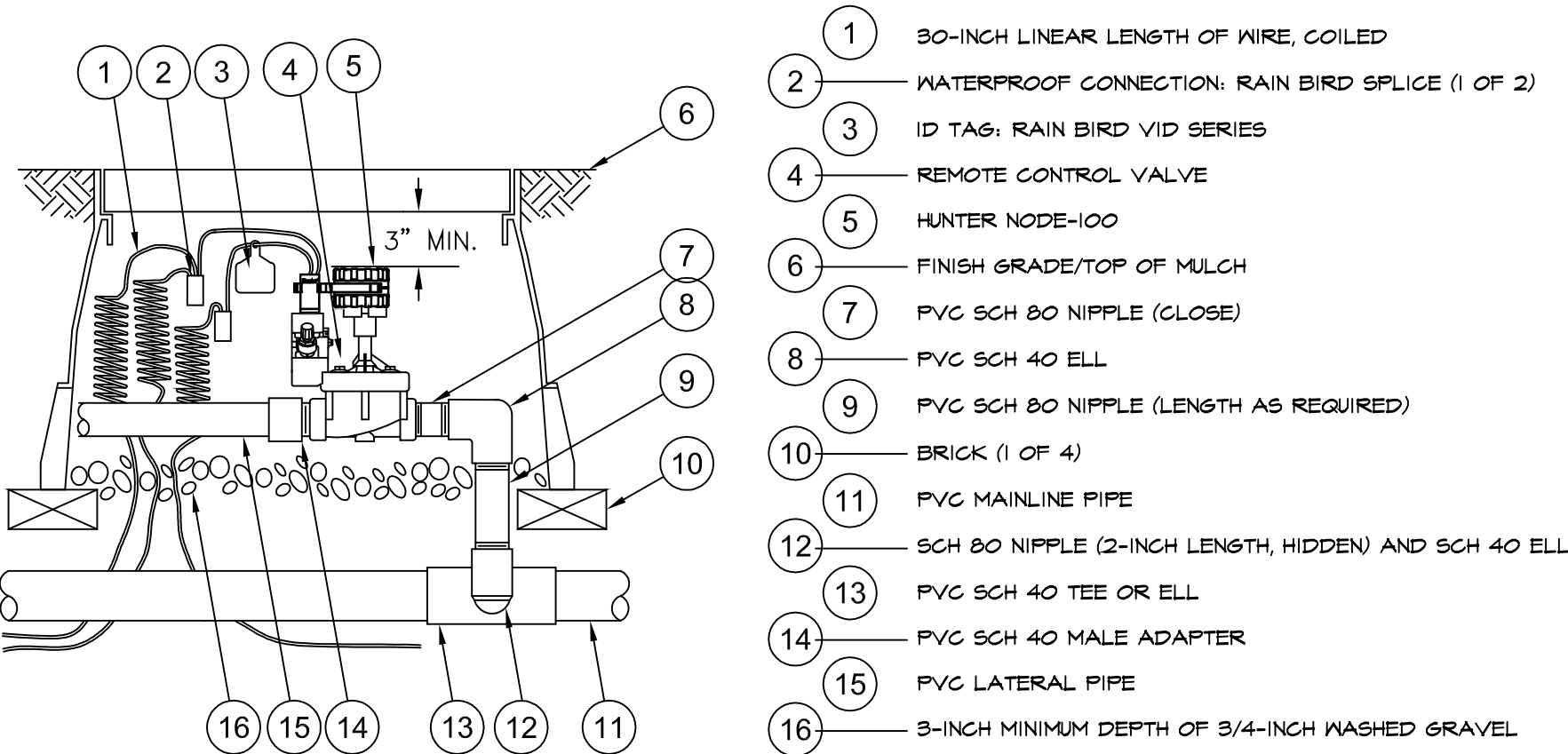
3 QUICK COUPLER DETAIL

NOT TO SCALE



4 MANUAL DRAIN VALVE

NOT TO SCALE



5 SPRAY VALVE ASSEMBLY

NOT TO SCALE



PERMIT SET

Landscape and Irrigation Details
GALENA TERRACE PARK
Washoe County Community Services

Reno

No. Revision Date

LA No. 088-510-03-17

Designed: GSS

Drawn: GSS

Checked: R/H

Date: 8/2/17

Sheet

L5

of

6



Nevada

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L.A. Studio Nevada
the landscape architecture studio

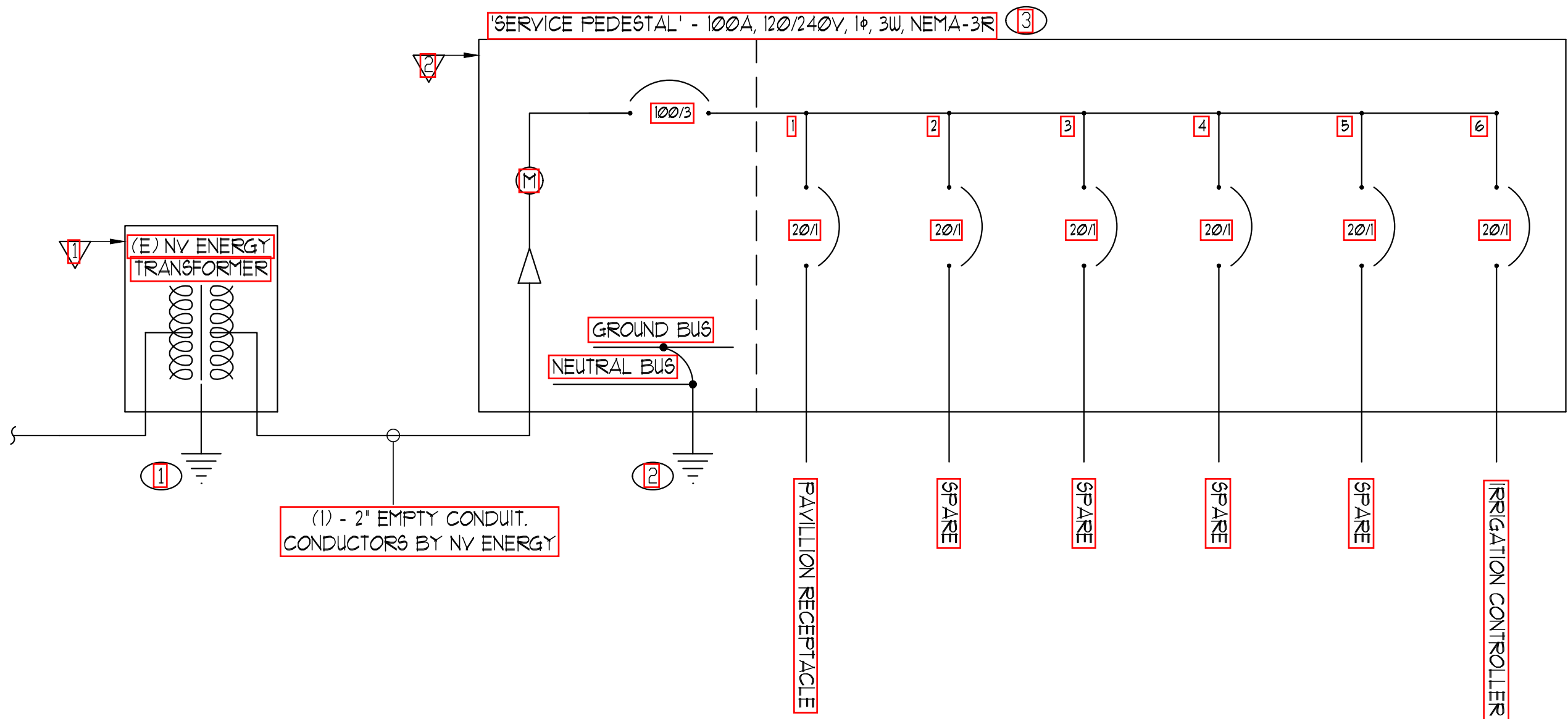
Sparks, NV 89431 (775) 323-2223
www.la.studionevada.com

NV RLA #440

ELECTRICAL SYMBOLS AND NOMENCLATURE			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE-OUTLET RECEPTACLE		1-Ø 1-POLE CIRCUIT PATH (1/2" CONDUIT, (2) - #12 CU UN) ABOVE FLOOR
	DOUBLE-OUTLET "DUPLEX" RECEPTACLE		1-Ø 2-POLE CIRCUIT PATH (1/2" CONDUIT, (3) - #12 CU UN) ABOVE FLOOR
	THREE-PHASE (3Ø) RECEPTACLE (CONFIGURATION AS NOTED)		3-Ø 3-POLE CIRCUIT PATH (1/2" CONDUIT, (4) - #12 CU UN) ABOVE FLOOR
	QUADRUPLE-OUTLET "QUAD" RECEPTACLE		RETURN CIRCUIT TO PANEL "HOMERUN" (CIRCUIT AS NOTED) ABOVE FLOOR
	SPECIAL RECEPTACLE (VOLTAGE/CONFIGURATION AS NOTED)		1-Ø 1-POLE CIRCUIT PATH (1/2" CONDUIT, (2) - #12 CU UN) BELOW FLOOR
	JUNCTION BOX		1-Ø 2-POLE CIRCUIT PATH (1/2" CONDUIT, (3) - #12 CU UN) BELOW FLOOR
	THERMOSTAT		3-Ø 3-POLE CIRCUIT PATH (1/2" CONDUIT, (4) - #12 CU UN) BELOW FLOOR
	FLOOR MOUNT RECEPTACLE		CODE SIZE GROUND BONDING CONDUCTOR PER N.E.C. TABLE 250-95
	SAFETY DISCONNECT SWITCH (SIZE/VOLTAGE/CONFIGURATION AS NOTED)		NEUTRAL CONDUCTOR: #12 THHN
	COMBINATION SAFETY SWITCH/MAGNETIC STARTER		RETURN CIRCUIT TO PANEL "HOMERUN" (CIRCUIT AS NOTED) BELOW FLOOR
	TELEPHONE/DATA JUNCTION BACKBOX # 3/4" EMPTY CONDUIT INTO ACCESSIBLE CEILING SPACE		CIRCUIT BREAKER (AMPS/POLES AS NOTED)
	SINGLE-POLE TOGGLE SWITCH (VOLTAGE AS REQUIRED)		FUSE (AMPS/POLES AS NOTED)
	MULTI-STATION "THREE-WAY" TOGGLE SWITCH (VOLTAGE AS REQUIRED)		EQUIPMENT NOTE INDICATOR
	SOLID STATE DIMMING SWITCH (VOLTAGE AS REQUIRED)		REVISION "DELTA" NOTE INDICATOR
	MOTOR-RATED TOGGLE SWITCH (VOLTAGE AS REQUIRED)		FEEDER NOTE INDICATOR
	KEYED TOGGLE SWITCH (VOLTAGE AS REQUIRED)		48" MOUNTING HEIGHT AFF. (ACTUAL HEIGHT AS NOTED)
	OCCUPANCY SENSING (MOTION SENSOR) SWITCH		ABOVE FINISHED FLOOR
	CABLE TELEVISION OUTLET		ABOVE FINISHED GRADE
	PANELBOARD (NAME/AMP/PHASE/VOLTAGE/CONFIGURATION AS NOTED)		AUTOMATIC TRANSFER SWITCH
	AUXILIARY SYSTEM EQUIPMENT (KEYPAD/FOB)		CONDUIT
	MULTI-OUTLET ASSEMBLY (PLUG MOLD)		CIRCUIT BREAKER
	TRANSFORMER (NAME/KVA RATING/PHASE/VOLTAGE AS NOTED)		CEILING
	MECHANICAL EQUIPMENT INDICATOR		NEW
	PHOTO ELECTRIC CELL		EXISTING
	TIME CLOCK		RELOCATE (AS SHOWN)
	DUCT DETECTOR FIRE ALARM SYSTEM COMPONENT		FUTURE
	SMOKE DETECTOR FIRE ALARM SYSTEM COMPONENT		FIRE ALARM CONTROL PANEL
	HEAT DETECTOR FIRE ALARM SYSTEM COMPONENT		FURNISHED BY OTHERS
	CONTACTOR		GROUND FAULT INTERRUPTING TYPE
	FLOW SWITCH FIRE ALARM SYSTEM COMPONENT		HIGH INTENSITY DISCHARGE
	TAMPER SWITCH FIRE ALARM SYSTEM COMPONENT		LIGHTING
	HORN/STROBE COMBINATION FIRE ALARM SYSTEM COMPONENT		LOW VOLTAGE
	MANUAL PULL STATION		MAIN CIRCUIT BREAKER
	SHUNT TRIP STATION		MAIN SWITCH BOARD
	MOTOR (HORSEPOWER AS NOTED)		NIGHT LIGHT
	DETAIL/SHEET NOTE INDICATOR		TYPICAL
	SHEET NOTE INDICATOR		UNDER GROUND
	SHEET/EQUIPMENT NOTE INDICATOR		UNLESS OTHERWISE NOTED
			WEATHER PROOF
			TRANSFORMER

GENERAL ELECTRICAL NOTES:

- IT IS THE INTENT OF THESE DRAWINGS TO REQUIRE A COMPLETE AND FINISHED ELECTRICAL SYSTEM IN EVERY WAY. FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.
- ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY AND LOCAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT STANDARDS, CODES AND PRACTICES AS REQUIRED BY: 2011 NEC, 2012 IBC, 2012 IECC AND UTILITY COMPANY STANDARDS.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AT THE PROJECT SITE, PRIOR TO SUBMITTING A BID. NO EXTRA PAYMENT WILL BE MADE FOR CONDITIONS THAT WOULD HAVE BEEN EVIDENT DURING A SITE INSPECTION. PAYMENT WILL BE MADE FOR CONDITIONS THAT WOULD HAVE BEEN EVIDENT DURING A SITE INSPECTION.
- APPEARANCE AND WORKMANSHIP SHALL BE OF THE HIGHEST STANDARDS OF QUALITY. ONLY LICENSED ELECTRICIANS AND TECHNICIANS SHALL BE USED TO ACCOMPLISH THE ELECTRICAL WORK.
- ELECTRICAL CONTRACTOR SHALL GUARANTEE THE ELECTRICAL WORK TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. LIGHTING LAMPS SHALL BE EXEMPT FROM THIS REQUIREMENT BUT SHALL BE NEW AND IN PERFECT WORKING ORDER AT THE TIME OF FINAL ACCEPTANCE.
- VERIFY THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT AND OUTLETS PRIOR TO ROUGHING-IN. FINAL CONNECTIONS TO EQUIPMENT SHALL BE MADE ACCORDING TO THE EQUIPMENT MANUFACTURERS APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE A NEAT AND COMPLETE SET OF "AS-BUILT" DRAWINGS WITHIN 30 DAYS OF FINAL ACCEPTANCE OF HIS WORK.
- CONDUIT/CONDUCTOR RUNS SHOWN ARE DIAGRAMMATICAL ONLY. THE BEST FINAL CONDUIT ROUTING SHALL BE AS DETERMINED BY THE ELECTRICAL CONTRACTOR AT THE TIME OF INSTALLATION.
- ALL CONDUCTORS SHALL BE COPPER TYPE THHN/THWN 90° C. RATED.



SINGLE-LINE DIAGRAM

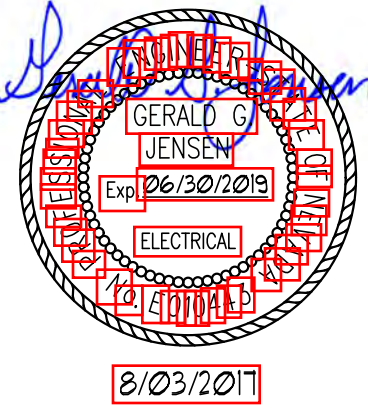
NOT TO SCALE

NOTES: (SINGLE-LINE DIAGRAM, ONLY)

- EXISTING NV ENERGY TRANSFORMER SECONDARY GROUND ROD.
- GROUND MAIN ELECTRICAL SERVICE PER NEC ARTICLE 250-C INCLUDING:
 - 3Ø - #3/0 CU CONCRETE ENCASED "UFER" GROUNDING ELECTRODE.
 - #3/0 CU CONNECTION TO EACH METAL PIPING SYSTEM.
 - #3/0 CU CONNECTION TO BUILDING STRUCTURAL STEEL.
 - #6 CONNECTION TO THE TELEPHONE TERMINAL CABINET.
 - #3/0 CU MINIMUM MAIN BONDING JUMPER.
- TESCO CONTROLS - TESCOFLEX SINGLE METER SERVICE UTILITY PEDESTAL - #4-200 OR APPROVED EQUIVALENT ELECTRICAL SERVICE PEDESTAL. 100A MAIN CIRCUIT BREAKER, 120/240V, 1Ø, 3W, N3R ENCLOSED MODULAR METERMAIN SERVICE PEDESTAL. PROVIDE AND INSTALL COMPLETE WITH INTEGRAL 12 CIRCUIT PANEL ("SP1") AND IRRIGATION CONTROLLER.

'SP-1' SCHEDULE			
POSITION NO.	LOAD DESCRIPTION	BREAKER SIZE	LOAD KVA
SP - 1	PAVILLION LIGHT	20/1	0.25
SP - 2	SPARE	20/1	0.00
SP - 3	SPARE	20/1	0.00
SP - 4	SPARE	20/1	0.00
SP - 5	SPARE	20/1	0.00
SP - 6	IRRIGATION CONT.	20/1	0.25
TOTAL KVA =			0.50
Ø 240V 1Ø =			2.00 AMPERES

EQUIPMENT SCHEDULE		
EQP. NO.	EQUIPMENT DESCRIPTION	NOTES
1	(E) NV ENERGY TRANSFORMER	COORDINATE WITH NV ENERGY
2	(N) SERVICE PEDESTAL "SP" - 100A, 120/240V, 1Ø, 3W, N3R	TESCO



ELECTRICAL PLANS FOR
GALENA TERRACE PARK

SYMBOLS, NOTES &
SINGLE LINE DIAGRAM

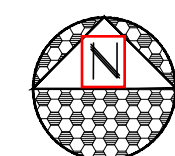
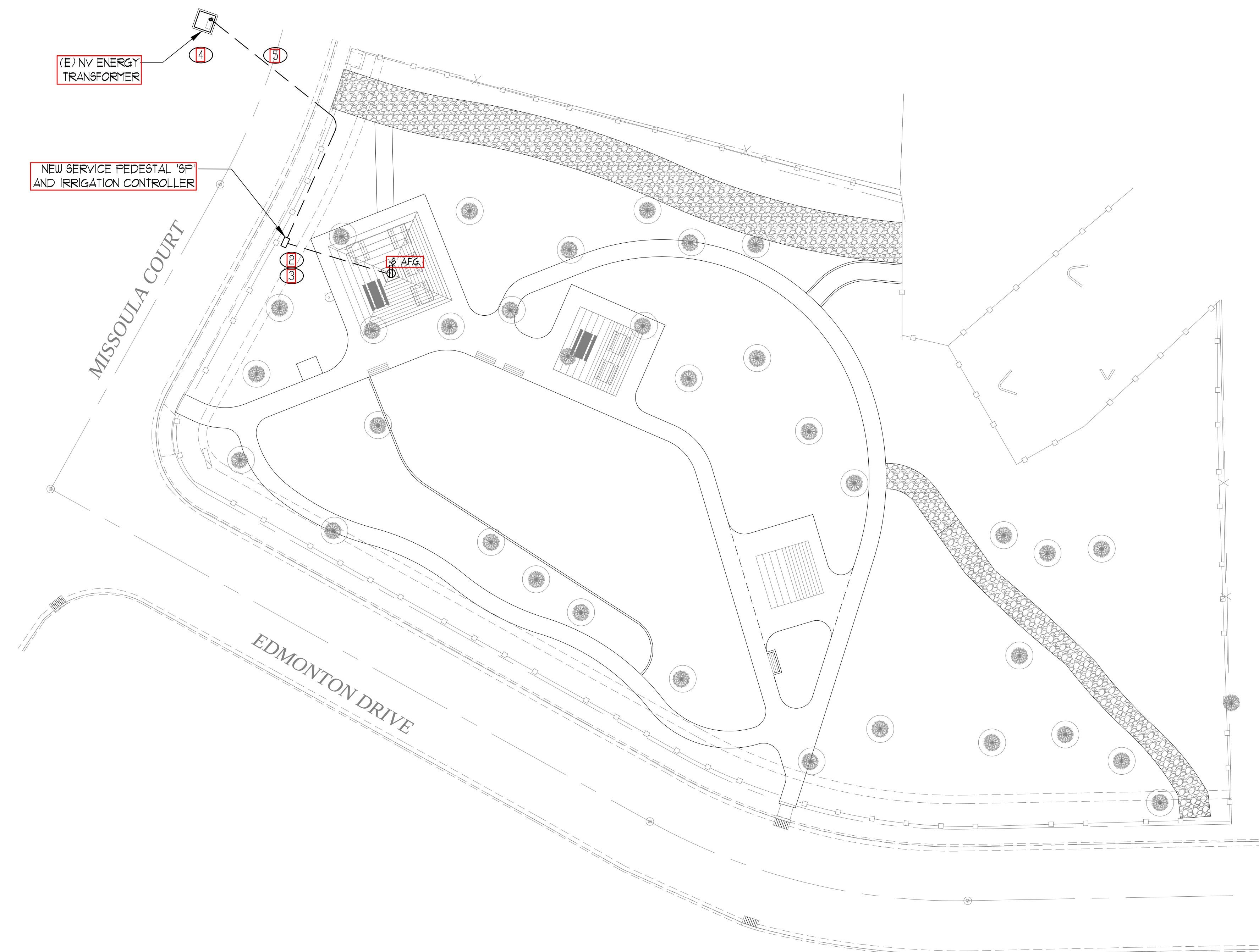
REVISONS		DATE	BY
NO.	DESCRIPTION		
1			
2			
3			
4			
5			

DRAWN BY: TAS
DESIGNED BY: TAS
CHECKED: GGJ
DATE: 6-29-17
PROJECT NO: C122XV

SHEET NUMBER

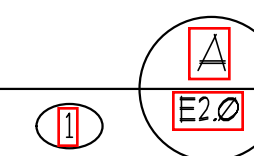
E1.0

SHEET 1 OF 2



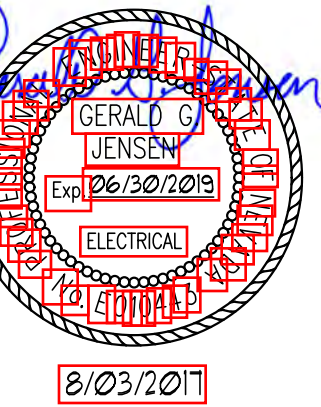
SITE ELECTRICAL PLAN

SCALE: 1" = 20'-0"



NOTES: (THIS SHEET ONLY)

- ELECTRICAL CONTRACTOR SHALL COORDINATE THE ELECTRICAL SERVICE WORK WITH THE SERVING UTILITY CO (NV ENERGY) AND SHALL PROVIDE AND INSTALL ALL NECESSARY UTILITY INFRASTRUCTURE AS DETAILED BY UTILITY COMPANY WORK ORDER DRAWINGS.
- PROVIDE AND INSTALL ELECTRICAL SERVICE AND EQUIPMENT COMPLETE INCLUDING 36" X 36" X 10" STEEL REINFORCED CONCRETE MOUNTING BASE AND ANCHOR BOLTS. VERIFY EXACT LOCATION OF ELECTRICAL EQUIPMENT AND IRRIGATION CONTROLLER WITH OWNER AND LANDSCAPE ARCHITECT PRIOR TO ROUGH IN.
- PROVIDE AND INSTALL (2) - 1" CONDUIT STUB-OUTS FROM ELECTRICAL COMPARTMENT (OF PEDESTAL) FOR FUTURE ELECTRICAL LOADS. PROVIDE AND INSTALL (2) - 2" CONDUIT STUB-OUTS FROM IRRIGATION CLOCK COMPARTMENT (OF PEDESTAL) FOR IRRIGATION WIRING. COORDINATE WITH LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK.
- COORDINATE WITH HOME OWNER TO INSTALL CONDUIT WITHIN UTILITY EASEMENT. REPLACE ANY EXISTING LANDSCAPING DURING EXCAVATION.
- CUT, PATCH, AND REPLACE EXISTING ROAD AND SIDEWALK AS NECESSARY.



ELECTRICAL PLANS FOR GALENA TERRACE PARK

SITE ELECTRICAL PLAN

REVISIONS	NO.	DESCRIPTION	DATE	BY
	1			TAS
	2			TAS
	3			TAS
	4			TAS
	5			TAS

DRAWN BY: TAS
DESIGNED BY: TAS
CHECKED: GGJ
DATE: 6-29-17
PROJECT NO: C122XV

SHEET NUMBER

E2.0

SHEET 2 OF 2

GALENA TERRACE MAINTENANCE ASSOCIATION

LANDSCAPE MAINTENANCE

Galena Terrace Maintenance Association (GTMA) agrees to furnish all labor, supervision, tools, materials, and equipment necessary to maintain Galena Terrace Park (Park). GTMA shall maintain the Park in accordance with the following specifications and conditions which adhere to and in most cases exceed HOA maintenance specification.

GROWING SEASON

(Starting first week of April through October, weather permitting)

1. TREES, SHRUBS, AND VINES

GTMA shall prune and trim trees, shrubs, and vines on a regular basis to maintain a neat appearance and promote healthy growth.

2. MOWING & SPRINKLER

GTMA shall mow all park lawns on a weekly basis through the growing season so as to maintain a neat appearance and to promote healthy growth. GTMA shall edge grass around trees, sprinklers, fences, lights, curbs, etc. After mowing and edging, GTMA shall remove all clippings from sidewalks, driveways, and curbs. GTMA shall check sprinkler weekly.

3. THATCHING

GTMA shall thatch and aerate lawn area at least once annually.

4. QUALITY FERTILIZER AND SOIL AMENDMENTS

GTMA shall fertilize the lawns four (4) times per year to maintain healthy growth and two (2) times a year to shrubs and trees. Application shall be determined by the time of the year, soils, type and condition of lawns and plantings. GTMA shall use quality fertilizers and soil amendment.

5. PARK MAINTENANCE

- **GTMA shall** remove leaves, dead branches, weeds, animal feces, etc. as needed,;
- **GTMA shall** maintain dog posts (once installed) by keeping disposal bags supplied and emptying waste receptacles as needed;
- **GTMA shall** walk the entire area weekly checking for maintenance needs and issues requiring attention.
- **GTMA shall** apply quality weed control application to weeds as needed.
- **GTMA shall** remove trash, paper plastic/bottles, and other debris from the common area as needed.

DORMANT SEASON

(Starting first week of November through March, depending upon weather)

GALENA TERRACE MAINTENANCE ASSOCIATION

LANDSCAPE MAINTENANCE

6. SNOW AND ICE REMOVAL

- **GTMA shall** clear snow and ice from Park sidewalks after 2 inches of snow accumulation.
- **GTMA shall** apply appropriate ice remover to keep sidewalks open and safe for Park users. GTMA shall use ice remover that shall not deteriorate or damage concrete sidewalks, curbing's, or gutters. GTMA shall be responsible for repairing any and all damage caused by applying the wrong ice remover or applying ice remover incorrectly.